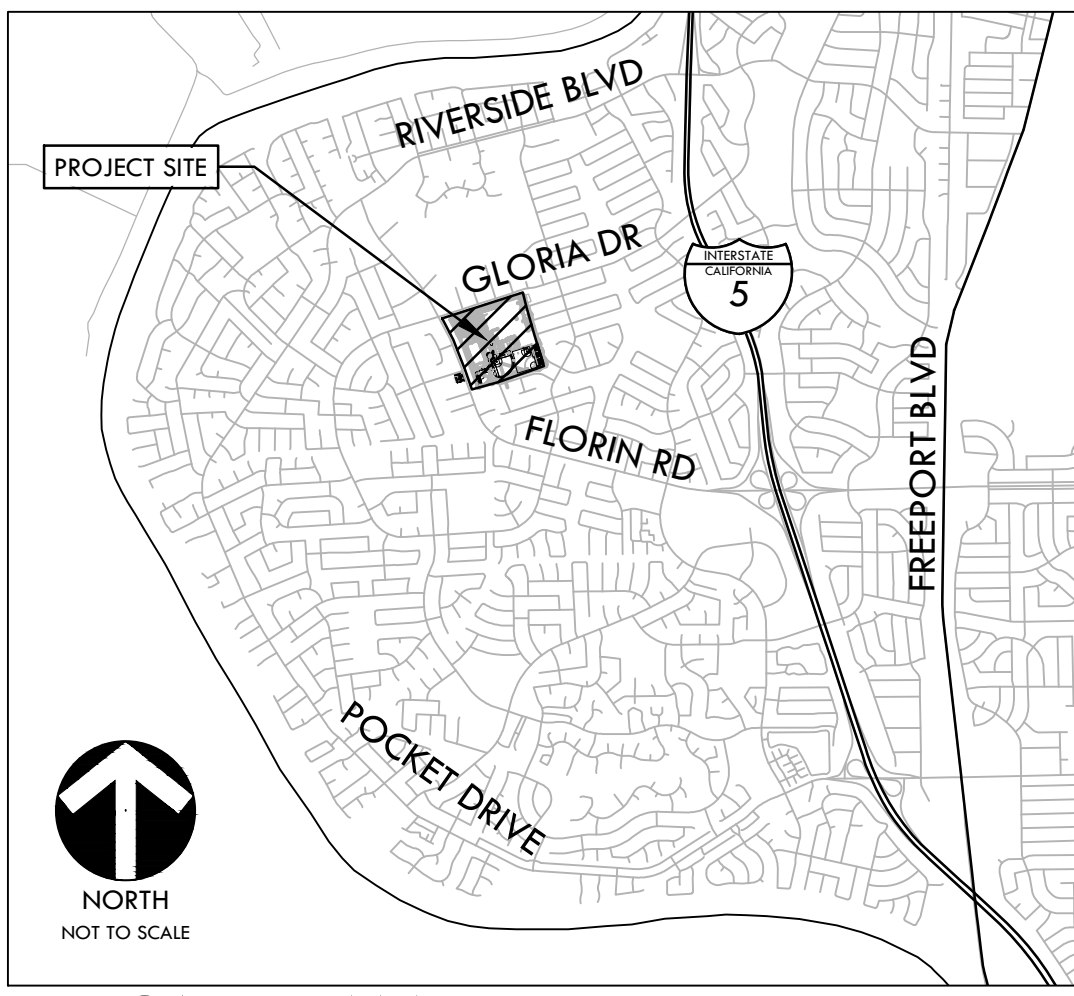


CONSTRUCTION DRAWINGS FOR JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL AND TENNIS COURT IMPROVEMENTS

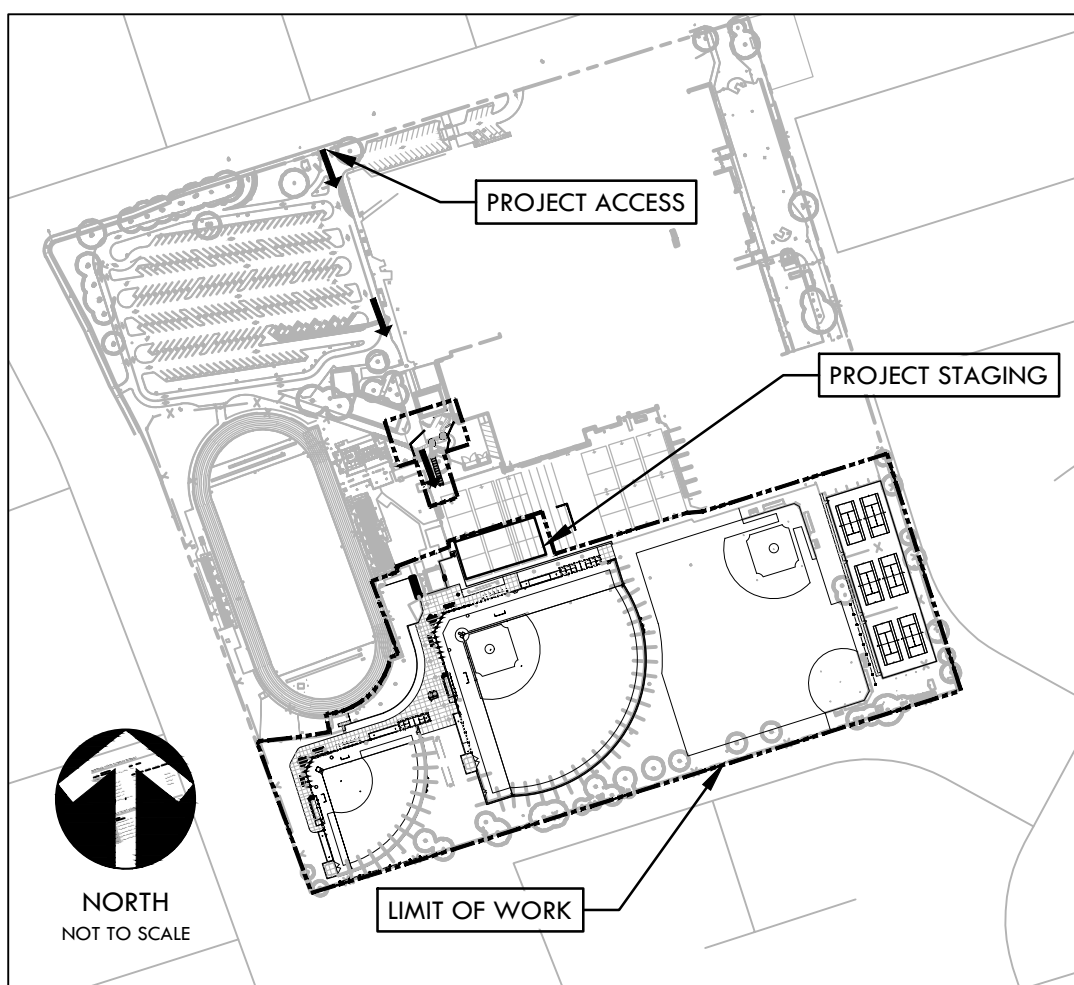
6715 GLORIA DRIVE SACRAMENTO, CA 95831

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT NO. 67439-470 VERDE DESIGN, INC PROJECT NO. 2304200 DSA APPLICATION NO. 02-121752

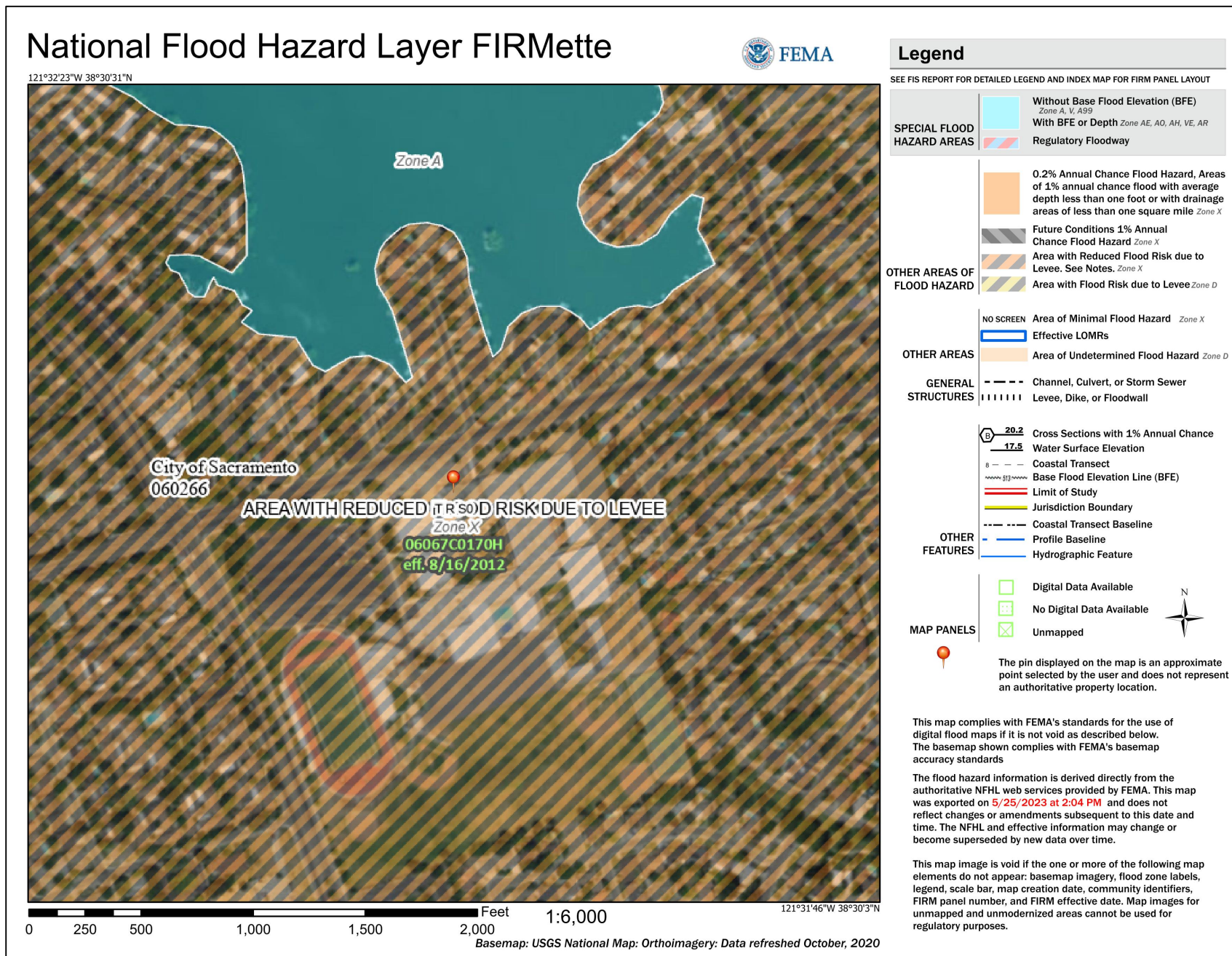
PROJECT MAPS



VICINITY MAP



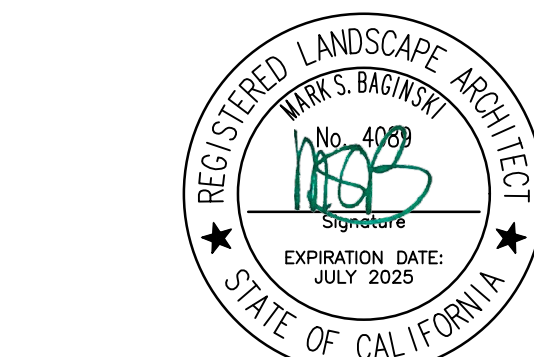
SITE MAP



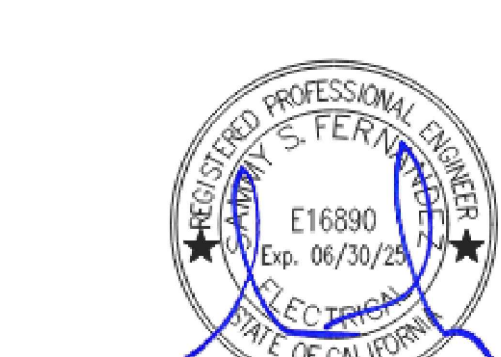
APPLICABLE CODES

- 1. 2022 CBC CHAPTER 35: PROVIDE ALL THE APPLICABLE ADOPTED STANDARDS... 2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE... 2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R....

PREPARED BY



VERDE DESIGN LANDSCAPE ARCHITECTURE CIVIL ENGINEERING SPORT PLANNING & DESIGN 1843 Iron Point Rd, Suite 140 Folsom, CA 95630



American Consulting Engineers, Inc. 1590 The Alameda, Suite 200 San Jose, California 95126 Phone 408.236.2312 Fax 408.236.2316



AKH Structural Engineers, Inc. 275 Tennant Avenue, Ste. B Morgan Hill, California 95037 ph: 408.978.1970 web: AKHSE.com

SCOPE OF WORK

SCOPE OF WORK TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING: REMOVAL OF EXISTING VARSITY BASEBALL AND SOFTBALL BACKSTOPS, DUGOUTS AND FENCING... SINGLE BULLPENS FOR BOTH HOME AND VISITORS AT EACH FIELD...

BID ADDITIVE ALTERNATES

ADDITIVE ALTERNATE #01: REPLACE EXISTING CHAIN LINK FENCING FABRIC AT TENNIS COURTS WITH BLACK VINYL FABRIC, PAINT POLE AND HARDWARE TO MATCH BLACK VINYL FABRIC.

GENERAL NOTES

- 1. PRIOR TO BIDDING, THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE & FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AFFECTING THE NEW WORK... 2. NO CONSTRUCTION SHALL COMMENCE WITHOUT THE OFFICIAL NOTICE TO PROCEED FROM THE SACRAMENTO CITY UNIFIED SCHOOL DISTRICT...

DSA SUPPLEMENTARY CONDITIONS

- 1. FABRICATION AND INSTALLATION OF DEFERRED SUBMITTAL ITEMS SHALL NOT BE STARTED UNTIL CONTRACTOR'S DRAWINGS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS FOR THE ACTUAL SYSTEMS TO BE INSTALLED HAVE BEEN ACCEPTED AND SIGNED BY THE ARCHITECT OR STRUCTURAL ENGINEER AND APPROVED BY THE DSA...

CONTACT INFORMATION

Table with columns: ORGANIZATION, NAME, PHONE. Includes contact info for Owner (Chris Ralston), Civil Engineer (Chris Sullivan), Electrical Engineer (Sammy Fernandez), and Structural Engineer (Tim Hyde).

SHEET INDEX

Table with columns: SHEET NO., SHEET DESCRIPTION, STRUCTURAL, ELECTRICAL, NEVCO SCOREBOARD, RESTROOM BUILDING. Lists sheets from C0.0 to D6.2.

Table with columns: I FIND THAT, IS/ARE IN GENERAL CONFORMANCE WITH THE PROJECT DESIGN INTENT, AND, HAS/HAVE BEEN COORDINATED WITH THE PROJECT PLANS AND SPECIFICATIONS. Includes signature and date lines.

Table with columns: SIGNATURE, DATE, ARCHITECT OR ENGINEER DESIGNATED TO BE IN GENERAL RESPONSIBLE CHARGE, PRINT NAME, LICENSE NUMBER, EXPIRATION DATE.

C0.0

PARKING COUNTS						
TOTAL (e)	(e) STANDARD	(e) ADA	(e) ADA	REQUIRED ADA	REQUIRED ADA	TOTAL NEW PARKING REQUIRED
PARKING AT WEST PARKING LOT (DSA # 02-120928)						
252	243	7	2	7	1	0

THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.

ACCESSIBILITY LEGEND		
SYM	DESCRIPTION	DTL
G7	8' TALL x 4' WIDE CHAIN LINK SWING GATE WITH NETTING	(L) D4.2
G8	8' TALL x 4' WIDE CHAIN LINK SWING GATE WITH TRANSOM	(G) D4.2
G9	8' TALL x 12' WIDE CHAIN LINK DOUBLE SWING GATE	(H) D4.2
G9	EXISTING PEDESTRIAN GATE - 8' TALL x 4' WIDE	

ACCESSIBILITY LEGEND		
SYM	DESCRIPTION	DTL
G1	42" TALL x 4' WIDE CHAIN LINK SWING GATE	(A) D4.2
G2	6' TALL x 4' WIDE SWING GATE WITH PANIC HARDWARE	(B) D4.2
G3	8' TALL x 4' WIDE DOUBLE SWING GATE WITH PANIC HARDWARE	(C) D4.2
G4	6' TALL x 12' WIDE DOUBLE SWING GATE (WITH OR WITHOUT SLATS)	(D) D4.2
G5	6' TALL x 20' WIDE DOUBLE SWING GATE	(E) D4.2
G6	6' TALL x 24' WIDE DOUBLE SWING GATE	(L) D4.2

ACCESSIBILITY PLAN NOTES

- ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM, AND IS AT LEAST 48" WIDE. SURFACE IS SLIP-RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2%, AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 3% UNLESS OTHERWISE NOTED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND FROM OBJECTS PROTRUDING MORE THAN 4" FROM WALL BETWEEN 27" AND 80" AFF. ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
- CONTRACTOR SHALL VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED, OR WILL BE REMOVED, UNDER THIS PROJECT, AND THAT THE PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B.
- CONTRACTOR TO ENSURE ACCESS THROUGH CAMPUS BY PROVIDING STRATEGIC CONSTRUCTION FENCING AND TRENCH LIDS AT APPROPRIATE LOCATIONS. VERIFY LOCATIONS WITH OWNER REPRESENTATIVE. SCHEDULE TRENCHING TO BE COMPLETED DURING PERIODS OF LEAST INTERRUPTION FOR CAMPUS USE.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO MODIFY THE FACILITY FOR ACCESSIBILITY IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP THAT ARE NOT COVERED BY THE CONTRACT DOCUMENTS SUCH THAT THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, A CONSTRUCTION CHANGE DIRECTIVE (CCD) DETAILING AND SPECIFYING THE WORK REQUIRED TO BRING CONDITIONS INTO COMPLIANCE WITH TITLE 24 SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK.

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:
THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS AND STRUCTURAL REPAIRS, AS PART OF THE DESIGN OF THIS PROJECT. THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTION OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTION OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARSHNESS ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

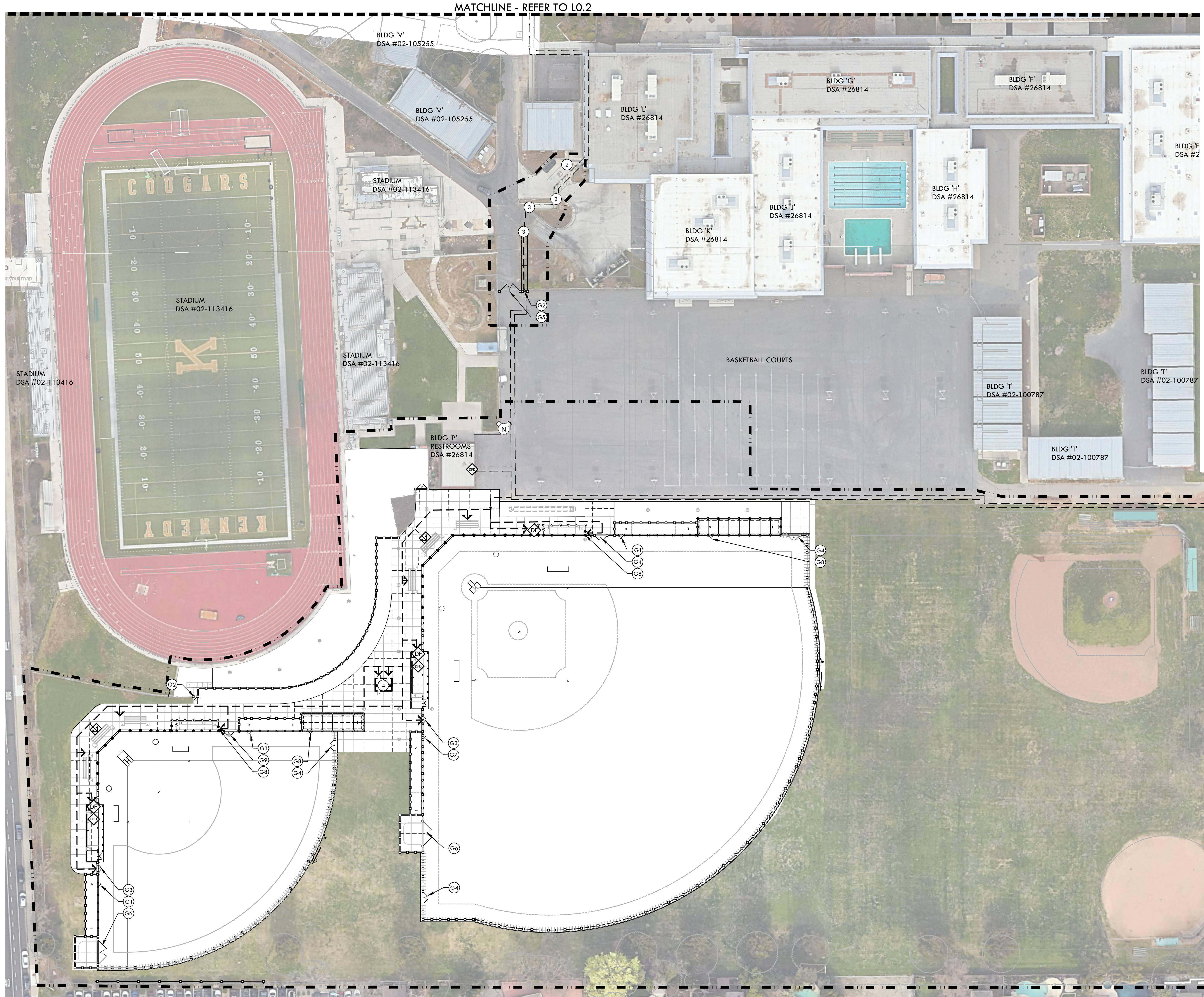
DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCOMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS PART OF THIS PROJECT BY MEANS OF A "CONSTRUCTION CHANGE DOCUMENT" (FORM DSA 140).

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN

1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.413.6554
fax: 916.413.6525
www.VerdeDesign.com

STAMP
REGISTERED LANDSCAPE ARCHITECT
STATE OF CALIFORNIA
EXPIRATION DATE: 06/30/2025

CONSULTANT



ACCESSIBILITY LEGEND		
SYM	DESCRIPTION	DTL
---	PROJECT LIMIT OF WORK	
→	EXISTING PEDESTRIAN ACCESS (02-120928), THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.	
→	PROPOSED PEDESTRIAN ACCESS	
(F)	PROPOSED DRINKING FOUNTAIN - WALL MOUNT	(L) B1.3
(F)	PROPOSED DRINKING FOUNTAIN - PEDESTAL	(L) B1.1
(F)	PROPOSED FIRE HYDRANT	(D) B1.2
(A)	ACCESSIBLE PARKING STALLS (DSA 02-120928), THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.	
(V)	ACCESSIBLE VAN PARKING STALLS (DSA 02-120928), THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.	
(1)	EXISTING TOW AWAY SIGN	(E) B3.1
(2)	RE-STRIPE ADA STALL	(A) B3.1
(3)	TRUNCATED DOMES (RECESSED)	(A) B3.1
(4)	PROPOSED RESTROOM BUILDING, REFER TO ROMTEC PLANS	

KEY MAP
L0.2
L0.1

SHEET TITLE
ACCESSIBILITY PLAN

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

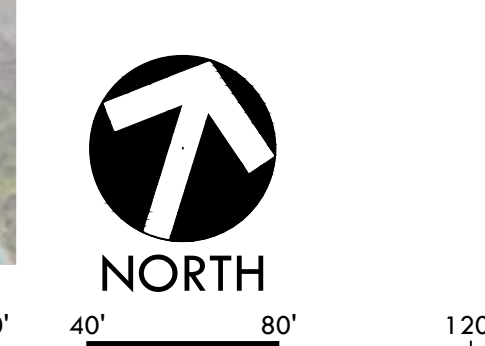
PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

DRAWN BY: RN/HM
CHECKED BY: CS/MB
DATE ISSUED: 10/25/23
SCALE: AS NOTED
PROJ. NO.: 2304200
SHEET NO.: L0.1

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PARKING COUNTS						
TOTAL (e)	(e) STANDARD	(e) ADA	(e) ADA	REQUIRED ADA	REQUIRED ADA	TOTAL NEW PARKING REQUIRED
PARKING AT WEST PARKING LOT (DSA # 02-120928)						
252	243	7	2	7	1	0

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ACCESSIBILITY LEGEND		
SYM	DESCRIPTION	DTL
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G8	8' TALL x 4' WIDE CHAIN LINK SWING GATE WITH TRANSOM	G D4.2
G9	8' TALL x 4' WIDE CHAIN LINK DOUBLE SWING GATE	H D4.2
G9	EXISTING PEDESTRIAN GATE - 8' TALL x 4' WIDE	

ACCESSIBILITY LEGEND		
SYM	DESCRIPTION	DTL
G1	42" TALL x 4' WIDE CHAIN LINK SWING GATE	A D4.2
G2	6' TALL x 4' WIDE SWING GATE WITH PANIC HARDWARE	B D4.2
G3	8' TALL x 4' WIDE DOUBLE SWING GATE WITH PANIC HARDWARE	C D4.2
G4	6' TALL x 12' WIDE DOUBLE SWING GATE (WITH OR WITHOUT SLATS)	D D4.2
G5	6' TALL x 20' WIDE DOUBLE SWING GATE	E D4.2
G6	6' TALL x 24' WIDE DOUBLE SWING GATE	F D4.2

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www.VerdeDesign.com

STAMP

REGISTRED LANDSCAPE ARCHITECT
No. 4095
EXPIRATION DATE: 08/31/2025
STATE OF CALIFORNIA

CONSULTANT

ACCESSIBILITY LEGEND		
SYM	DESCRIPTION	DTL
---	PROJECT LIMIT OF WORK	
→	EXISTING PEDESTRIAN ACCESS (02-120928), THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.	
→	PROPOSED PEDESTRIAN ACCESS	
⊕	PROPOSED DRINKING FOUNTAIN - WALL MOUNT	L B1.3
⊕	PROPOSED DRINKING FOUNTAIN - PEDESTAL	K B1.1
⊕	PROPOSED FIRE HYDRANT	D B1.2
⊕	ACCESSIBLE PARKING STALLS (DSA 02-120928), THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.	
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⊕	EXISTING TOW AWAY SIGN	
⊕	RE-STRIPED ADA STALL	F B3.1
⊕	TRUNCATED DOMES (RECESSED)	A B3.1
⊕	PROPOSED RESTROOM BUILDING, REFER TO ROMTEC PLANS	

KEY MAP

L0.2

L0.1

SHEET TITLE

ACCESSIBILITY PLAN

PROJECT NAME

JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS

6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE
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DRAWN BY: RN/HM
CHECKED BY: CS/MB

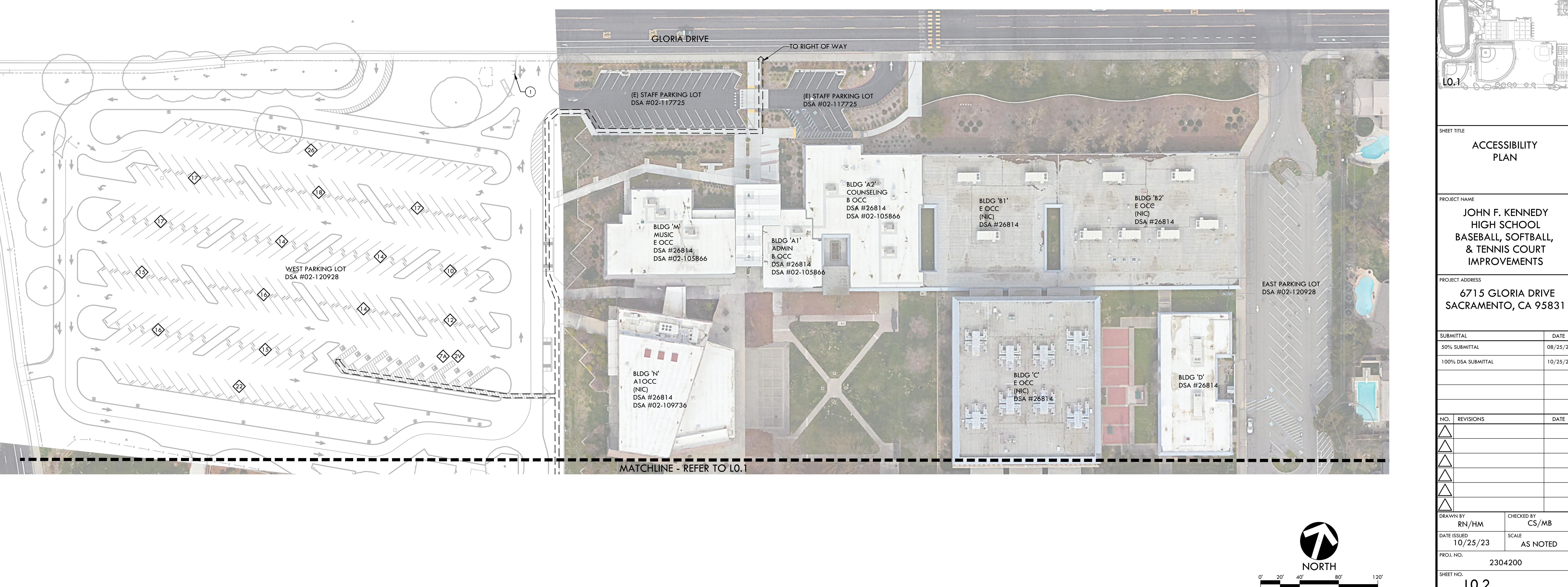
DATE ISSUED: 10/25/23
SCALE: AS NOTED

PROJ. NO.: 2304200

SHEET NO.: L0.2

ACCESSIBILITY PLAN

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FIRE/LIFE SAFETY PLAN NOTES

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NOTE: THIS DRAWING IS FOR AGENCY APPROVAL ONLY - NOT FOR CONSTRUCTION.

FIRE, LIFE & SAFETY LEGEND

SYM	DESCRIPTION	
---	PROJECT LIMIT OF WORK	
---	EXISTING FIRE DEPARTMENT ACCESS (02-120928); ROUTE IS TO BE A MIN 20' WIDE BY 14' VERTICAL CLEARANCE AND RATED 96,000LBS. VEHICLE BARRIER GATES SHALL BE PROVIDED WITH A KNOX BOX.	
E	EXISTING FIRE HYDRANT	
N	PROPOSED FIRE HYDRANT	(D) D1.2
G1	42" TALL x 4' WIDE CHAIN LINK SWING GATE	(A) D4.2
G2	6' TALL x 4' WIDE SWING GATE WITH PANIC HARDWARE	(B) D4.2
G3	8' TALL x 4' WIDE DOUBLE SWING GATE WITH PANIC HARDWARE	(C) D4.2
G4	6' TALL x 12' WIDE DOUBLE SWING GATE (WITH OR WITHOUT SLATS)	(D) D4.2
G5	6' TALL x 20' WIDE DOUBLE SWING GATE	(E) D4.2
G6	6' TALL x 24' WIDE DOUBLE SWING GATE	(F) D4.2
G7	8' TALL x 4' WIDE CHAIN LINK SWING GATE WITH NETTING	(G) D4.2
G8	8' TALL x 4' WIDE CHAIN LINK SWING GATE WITH TRANSOM	(H) D4.2
G9	8' TALL x 12' WIDE CHAIN LINK DOUBLE SWING GATE	(I) D4.2
G10	EXISTING PEDESTRIAN GATE - 8' TALL x 4' WIDE	

OCCUPANCY LOAD
CALCULATIONS (PER CBC 1004.5-6) AREA OF ASSEMBLY: 22,256 SF OCCUPANT LOAD: 16
OCCUPANCY LOAD FACTOR: 30 NET

GATE EXIT REQUIREMENTS

VENUE	OCCUPANCY	CALCULATIONS FOR PROPOSED OCCUPANCY USE- ASSEMBLY W/ FIXED SEATS (PER CBC 1004.2.1 & CBC 1005.3.2)	REQUIRED EXIT WIDTH
BASEBALL	60	TOTAL OCCUPANCY LOAD = 60 PEOPLE REQUIRED EXIT WIDTH: $60 \text{ people} / (2') = 12' = 1.0'$	MIN. 32"
SOFTBALL	60	TOTAL OCCUPANCY LOAD = 60 PEOPLE REQUIRED EXIT WIDTH: $60 \text{ people} / (2') = 12' = 1.0'$	MIN. 32"
TOTAL REQUIRED EXIT WIDTH			MIN. 32"
EXIT WIDTH PROVIDED			48" = 4'

SAFE DISPERSAL AREA

AREA	OCCUPANCY	CALCULATIONS (PER CBC 1004.2.1)
A SOFTBALL AREA (INCLUDING DUGOUTS)	60	TOTAL OCCUPANCY LOAD = 60 PEOPLE REQUIRED SAFE DISPERSAL AREA: $60 \times 5 \text{ SQ FT} = 300 \text{ SQ FT}$.
B SOFTBALL BLEACHERS	150	TOTAL OCCUPANCY LOAD = 150 PEOPLE REQUIRED SAFE DISPERSAL AREA: $150 \times 5 \text{ SQ FT} = 750 \text{ SQ FT}$.
C BASEBALL AREA (INCLUDING DUGOUTS)	60	TOTAL OCCUPANCY LOAD = 60 PEOPLE REQUIRED SAFE DISPERSAL AREA: $60 \times 5 \text{ SQ FT} = 300 \text{ SQ FT}$.
D BASEBALL BLEACHERS	150	TOTAL OCCUPANCY LOAD = 150 PEOPLE REQUIRED SAFE DISPERSAL AREA: $150 \times 5 \text{ SQ FT} = 750 \text{ SQ FT}$.
E TENNIS COURTS	30	TOTAL OCCUPANCY LOAD = 30 PEOPLE REQUIRED SAFE DISPERSAL AREA: $30 \times 5 \text{ SQ FT} = 150 \text{ SQ FT}$.

LOCAL FIRE AUTHORITY REVIEW

PROJECT INFORMATION
School District/Owner: Sacramento City Unified School District
Project Name/School: John F. Kennedy High School Baseball, Softball, and Tennis Court Improvements
Project Address: 6715 Gloria Drive, Sacramento, CA 95831

FIRE & LIFE SAFETY INFORMATION

- Has a fire hydrant flow test been performed within the past 12 months? Yes No
(If yes, provide a copy of the test data.)
- Was the fire hydrant water flow test performed as part of this LFA review? Yes No
- Is the project located within a designated fire hazard severity zone (FHSZ) as established by Cal-Fire? (If yes, indicate FHSZ classification below.) Yes No
Refer to the following website for FHSZ locations: <http://egis.fire.ca.gov/FHSZ/> Moderate High Very High
Wildland Interface Area (WIFA) (If any designations are checked, project design must meet the requirements of CBC Chapter 7A.) WIFA

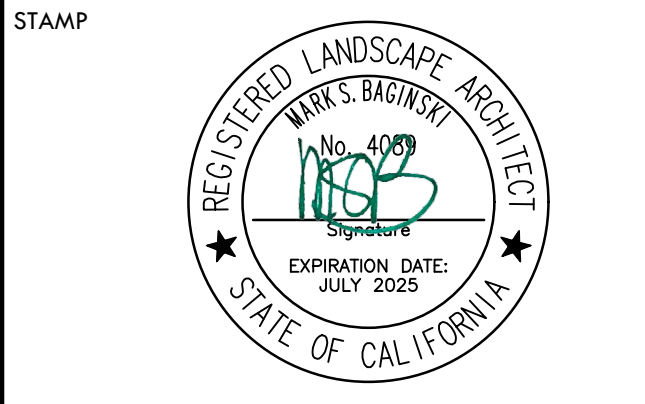
CONDITION MEANS AND METHODS RESOLUTION ALTERNATE ACCEPTED

	Yes	No	N/A	N/R
4. Emergency vehicle access roadways do not meet CFC requirements.				<input checked="" type="checkbox"/>
4a. Acceptable Alternate: Emergency vehicle and personnel access as proposed by the project architect is acceptable for providing fire suppression and protection of life and property.				<input checked="" type="checkbox"/>
5. Fire Hydrants: Number and spacing does not meet CFC requirements.				<input checked="" type="checkbox"/>
5a. Acceptable Alternate: Number of fire hydrants and spacing as proposed by the project architect is acceptable for fire suppression and protection of life and property.				<input checked="" type="checkbox"/>
6. Fire Hydrants: Water flow and pressure are less than CFC minimum.				<input checked="" type="checkbox"/>
6a. Acceptable Alternate: The available flow and pressure is acceptable for providing fire suppression and protection of life and property.				<input checked="" type="checkbox"/>
7. Location of fire department connection(s) serving fire sprinkler systems or standpipe systems does not meet CFC requirements.				<input checked="" type="checkbox"/>
7a. Acceptable Alternate: The location of fire department connection serving the fire sprinkler system and/or standpipe system is acceptable for providing fire suppression and protection of life and property.				<input checked="" type="checkbox"/>

School District Acceptance of Acceptable Design Alternates
By signing this form, the school district acknowledges and accepts the proposed design as an alternative to California Building Code (CBC) and California Fire Code (CFC) minimum requirements, as indicated by one or more of the conditions indicated at items 4a, 5a, 6a or 7a, for providing fire and life safety protection of life and property.

Accepted by: Ralston, Chris Title: Director, Facilities Management
Signature: Chris Ralston Digitally signed by Chris Ralston Date: 2023.10.17 10:16:47 -0700 Date: 10/17/23

LOCAL FIRE AUTHORITY (LFA) INFORMATION
LFA Agency Name: _____
LFA Review Official: _____
Title: _____ Work Phone: _____
Work Email: _____



CONSULTANT

KEY MAP

FIRE, LIFE & SAFETY PLAN

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

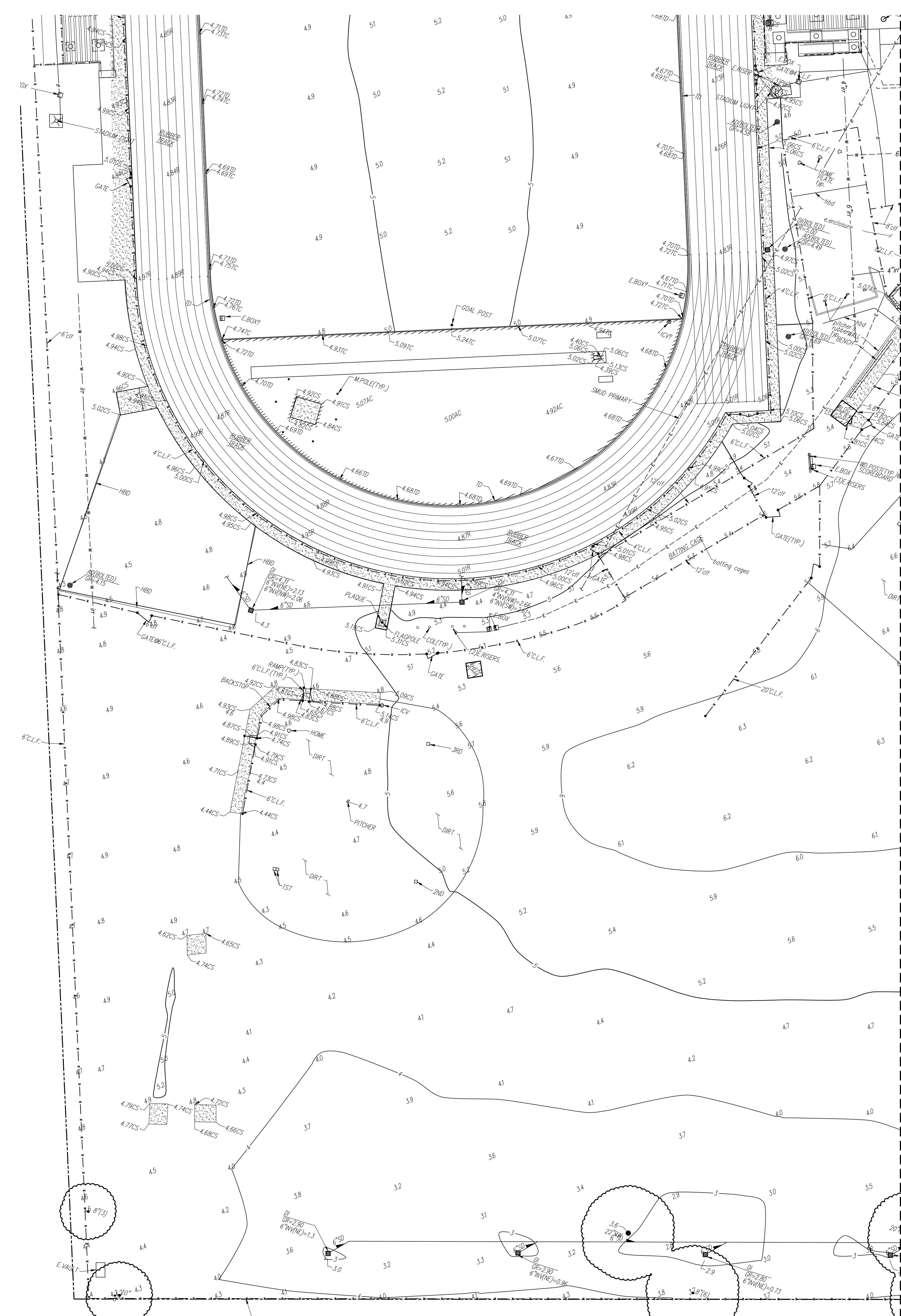
NO.	REVISIONS	DATE

DRAWN BY: RN/HM CHECKED BY: CS/MB
DATE ISSUED: 10/25/23 SCALE: 1"=50'-0"

PROJ. NO.: 2304200
SHEET NO.: L0.3
FIRE, LIFE & SAFETY PLAN

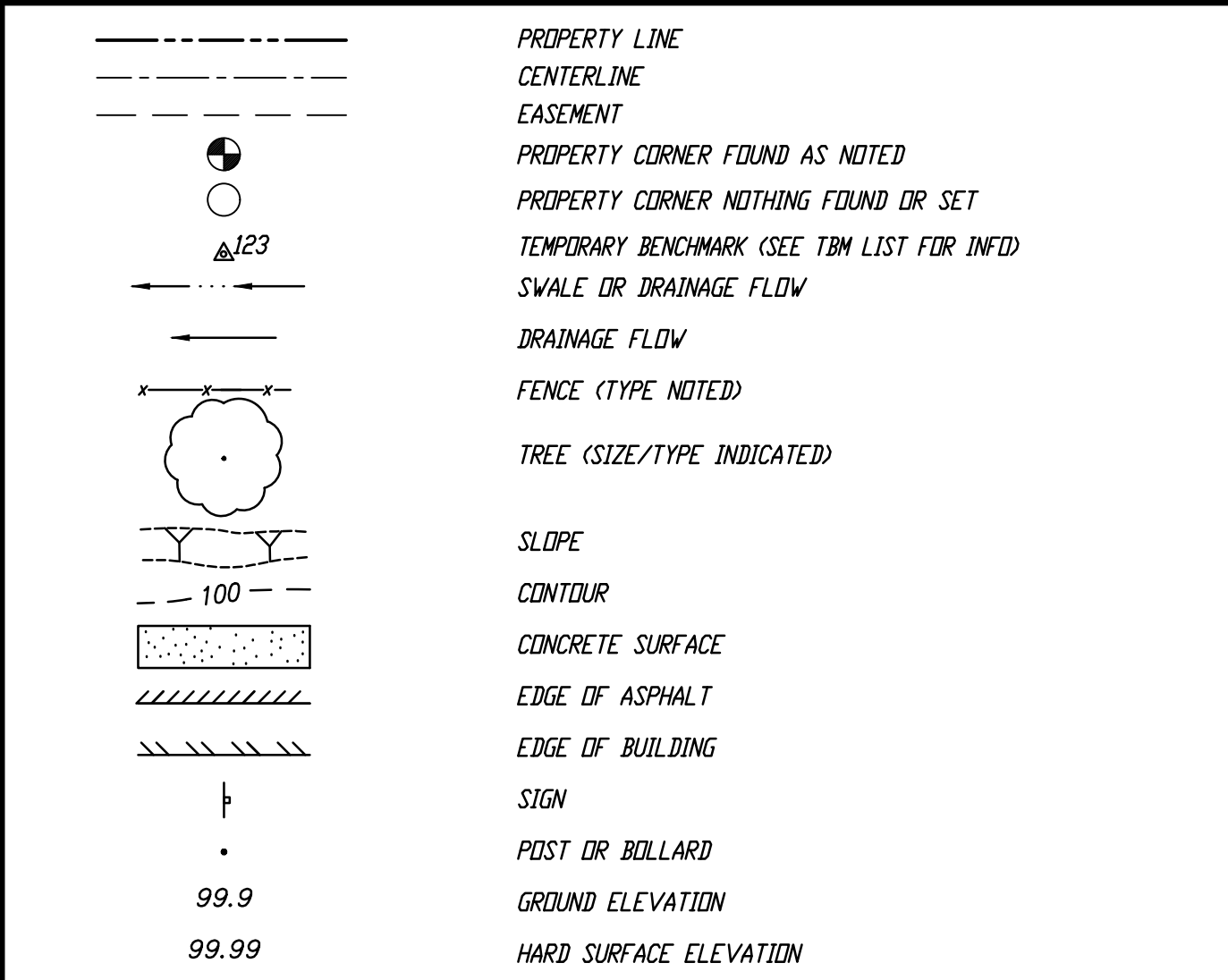
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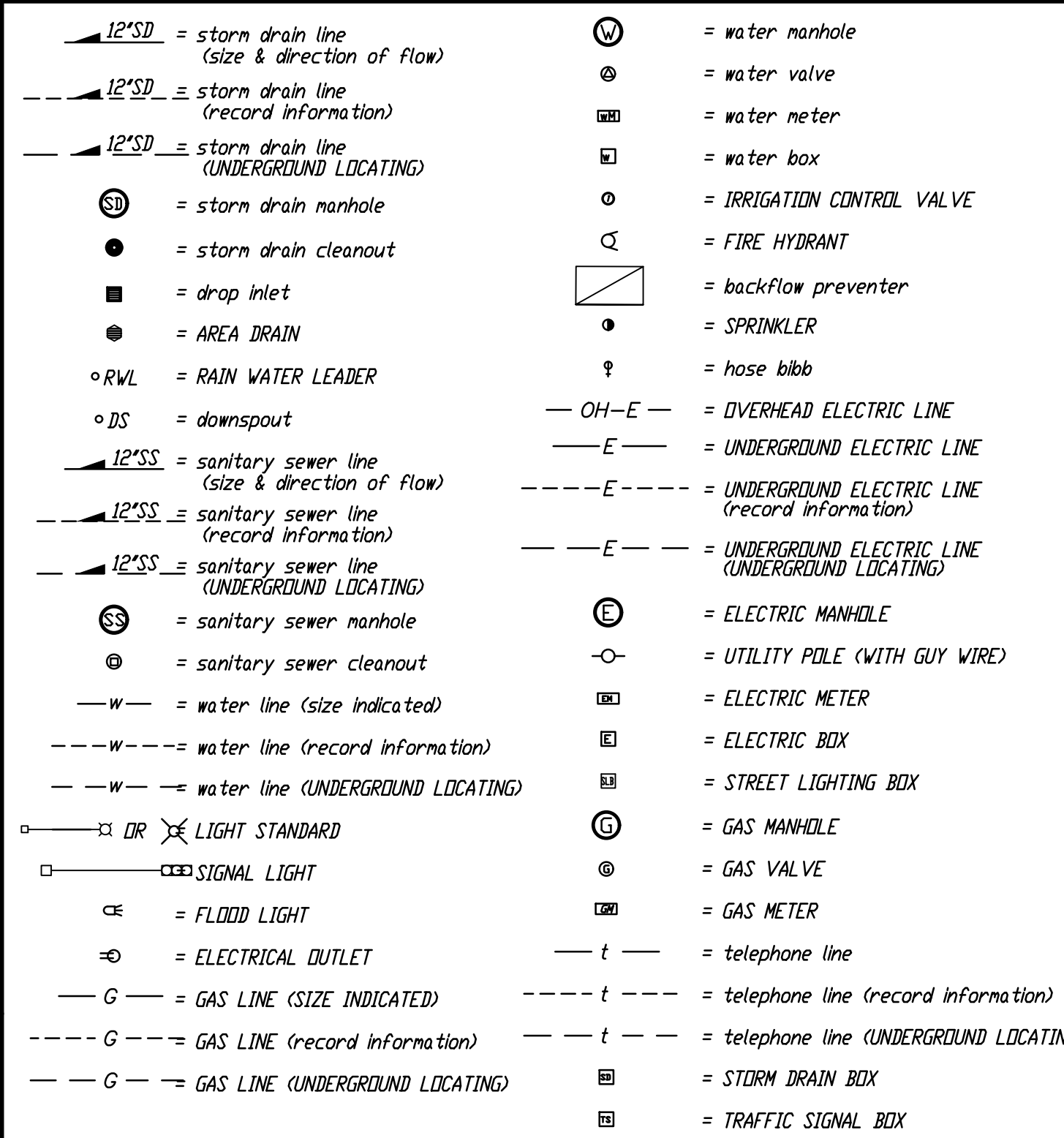


MATCHLINE - REFER TO L1.2

EXISTING TOPOGRAPHY



EXISTING UTILITIES



ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THESE PLANS.

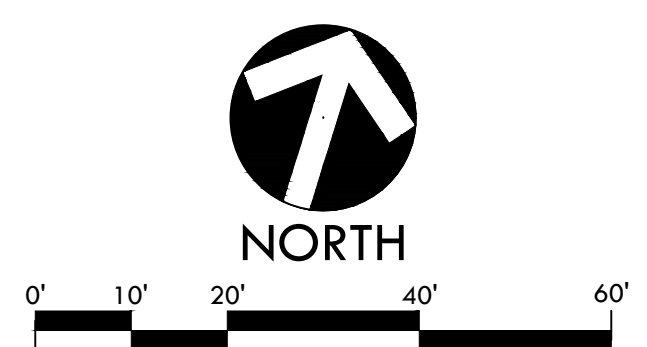
?? unknown	ac asphaltic concrete	acc ACCESSIBLE	acu air conditioning unit	ad area drain	apn assessor's parcel number	arv air release valve	bball basketball pole	bcm BRASS CAP MINUMENT	bfp back flow preventer	BL BLOCK	blgd building	BLD BILLBOARD	bov blow-off valve	BR BRICK	BWF BARBED WIRE FENCE	C COMMUNICATION	c/l centerline	CATV CABLE TELEVISION	cb CATCH BASIN	CIP CASTED IRON PIPE	cl class	CL.F. CHAIN LINK FENCE	cmp corrugated metal pipe	co cleanout	COLM CONCRETE	conc concrete	cond condensate	const construct	cp control point found	cps control point set	CS CONCRETE SURFACE	ICP IRRIGATION CONTROL PANEL	icv irrigation control valve	inv pipe invert elevation	irr irrigation	ju joint utility pole	jt joint trench	lf lineal feet	LNDG LANDING	lv low voltage ELECTRIC	M METAL	m manhole	MS METAL STRIP	MSC METAL STORAGE CONTAINER	nc not to scale	oh OVERHEAD	DRANG DIVERGENCE	DIP OPEN IRON PIPE	DSPH D.D. STEEL POST HOLE	pl PLANTER AREA	pd planter drain	PH POSTHOLE	piv post indicator valve	pp power pole	PRNG parking	pue public utility easement	pvc polyvinyl chloride	R RUBBER	rim manhole rim elevation	row right of way	RW REDWOOD	RWALL RETAINING WALL	RWL RAIN WATER LEADER	D DEPTH	ddc double detector check valve	df drinking fountain	dg decomposed granite	di drop inlet	dia diameter	drw driveway	ds downspout	dwg ELECTRIC	E ELECTRIC	ep edge of pavement	esmt easement	ex existing	F fire line	fa fire alarm	Fdc fire department connection	FFe finished floor elevation	FH fire hydrant	FL flowline	Fo fiber optic	FS fire service	G GAS	GB GRADE BREAK	Gr grate	grb GROUND ROD BOX	grad grade elevation	grad ground rod	gv gas valve	HB HOSE BIBB	HBD HEADER BOARD	HP high pressure	HR HANDRAIL	HVE HIGH VOLTAGE ELECTRIC	S/S sidewalk	sd storm drain	sghm storm drain manhole	SIG SIGNAL	SL STREET LIGHT	slb street light box	ss sanitary sewer	ssco sanitary sewer cleanout	ssmh sanitary sewer manhole	standard standard	STL STEEL	T TELEPHONE	tball tether ball pole	TBM TEMPORARY BENCHMARK	tc top of curb	tdw top of wall	tp telephone pole	trw top of retaining wall	ug underground	UNKN UNKNOWN	un unless otherwise noted	vball volleyball	V WATER	w/ with	w/o without	wd wood	w.f. wrought iron fence	xfrmr TRANSFORMER	xxwalk crosswalk
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BASIS OF BEARINGS

BASIS OF BEARINGS:
 ASSUMED
 HELD CURB LINE ON SOUTH SIDE OF GLORIA DRIVE PER RECORD OF SURVEY MAP. N72°40'53"E

F.E.M.A. INFORMATION:
 THE SUBJECT PROPERTY IS LOCATED IN "ZONE X (SHADED)" AREAS PROTECTED FROM THE 1% ANNUAL CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM, DVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE. PER FLOOD INSURANCE RATE MAP 06067C0170H DATED AUGUST 16, 2012.

NOTE:
 EXISTING UTILITIES BASED ON VISIBLE SURFACE STRUCTURES AND RECORD INFORMATION.



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 NO. 8327
 STATE OF CALIFORNIA
 1976-91

WCE
 WARREN CONSULTING ENGINEERS, INC.
 1117 WINDFIELD WAY, SUITE 110
 EL DORADO HILLS, CA 95622 (916)985-1870

KEY MAP
 L1.1 L1.2 L1.3 L1.4

SHEET TITLE
 EXISTING CONDITIONS AND SURVEY PLAN - VARSITY SOFTBALL FIELD

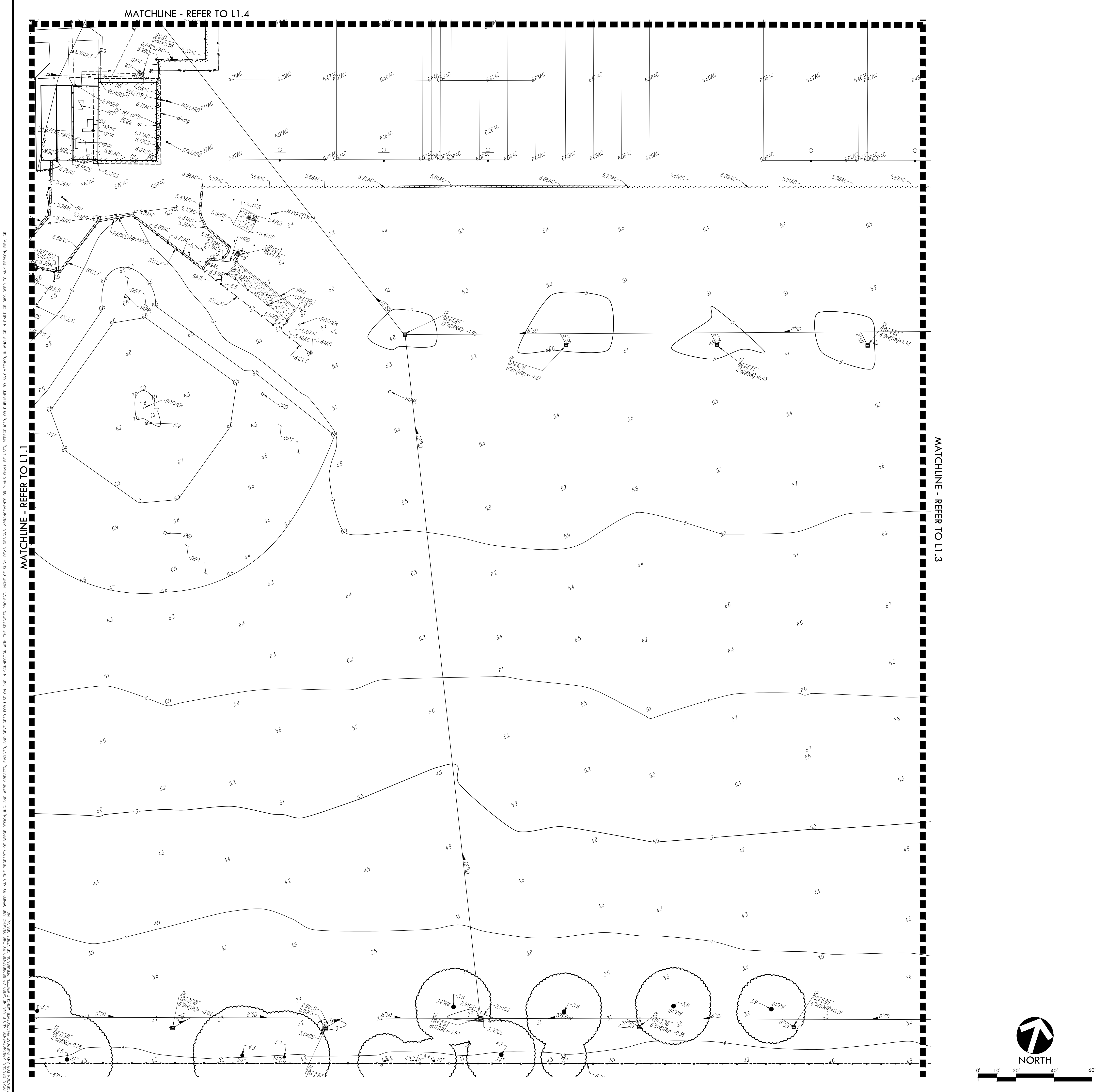
PROJECT NAME
 JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
 6715 GLORIA DRIVE
 SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

DRAWN BY: _____	CHECKED BY: CS/MB
DATE ISSUED: 10/25/23	SCALE: 1"=20'-0"
PROJ. NO. 2304200	
SHEET NO. L1.1	



EXISTING TOPOGRAPHY

- PROPERTY LINE
- CENTERLINE
- - - EASEMENT
- PROPERTY CORNER FOUND AS NOTED
- PROPERTY CORNER NOTHING FOUND OR SET
- △ TEMPORARY BENCHMARK (SEE TBM LIST FOR INFO)
- ▽ SWALE OR DRAINAGE FLOW
- DRAINAGE FLOW
- FENCE (TYPE NOTED)
- TREE (SIZE/TYPE INDICATED)
- SLOPE
- CONTOUR
- CONCRETE SURFACE
- EDGE OF ASPHALT
- EDGE OF BUILDING
- SIGN
- POST OR BOLLARD
- 99.9 GROUND ELEVATION
- 99.99 HARD SURFACE ELEVATION

EXISTING UTILITIES

- 12"SD = storm drain line (size & direction of flow)
- 12"SD = storm drain line (record information)
- 12"SD = storm drain line (UNDERGROUND LOCATING)
- = storm drain manhole
- = storm drain cleanout
- = drop inlet
- = AREA DRAIN
- RWL = RAIN WATER LEADER
- DS = downspout
- 12"SS = sanitary sewer line (size & direction of flow)
- 12"SS = sanitary sewer line (record information)
- 12"SS = sanitary sewer line (UNDERGROUND LOCATING)
- = sanitary sewer manhole
- = sanitary sewer cleanout
- W = water line (size indicated)
- W = water line (record information)
- W = water line (UNDERGROUND LOCATING)
- OR ○ = LIGHT STANDARD
- = SIGNAL LIGHT
- = FLOOD LIGHT
- = ELECTRICAL OUTLET
- G = GAS LINE (SIZE INDICATED)
- G = GAS LINE (record information)
- G = GAS LINE (UNDERGROUND LOCATING)
- = water manhole
- = water valve
- = water meter
- = water box
- = IRRIGATION CONTROL VALVE
- = FIRE HYDRANT
- = back-flow preventer
- = SPRINKLER
- = hose bibb
- OH-E = OVERHEAD ELECTRIC LINE
- E = UNDERGROUND ELECTRIC LINE
- E = UNDERGROUND ELECTRIC LINE (UNDERGROUND LOCATING)
- = ELECTRIC MANHOLE
- = UTILITY POLE (WITH GUY WIRE)
- = ELECTRIC METER
- = ELECTRIC BOX
- = STREET LIGHTING BOX
- = GAS MANHOLE
- = GAS VALVE
- = GAS METER
- t = telephone line
- t = telephone line (record information)
- t = telephone line (UNDERGROUND LOCATING)
- = STORM DRAIN BOX
- = TRAFFIC SIGNAL BOX

ABBREVIATIONS

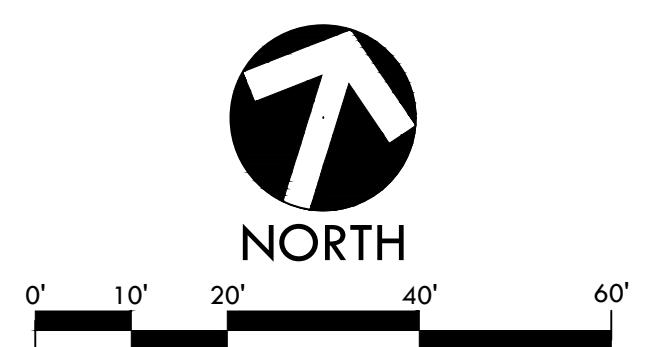
- NOTE: NOT ALL ABBREVIATIONS MAY BE USED IN THESE PLANS.
- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| ?? unknown | ac asphalt concrete | ACC ACCESSIBLE | acu air conditioning unit | ad area drain | apn assessor's parcel number | arv air release valve | bball basketball pole | BCM BRASS CAP MINUMENT | bfp back flow preventer | BL BLOCK | blgd building | BR BOLLARD | bv blow-off valve | BR BRICK | BWF BARBED WIRE FENCE | C COMMUNICATION | cl centerline | CATV CABLE TELEVISION | cb CATCH BASIN | CIP CAPED IRON PIPE | cl class | CL.F. CHAIN LINK FENCE | cro corrugated metal pipe | co cleanout | CDLAW CDLAW | conc concrete | cond condensate | const construct | cpf control point found | cps control point set | CS CONCRETE SURFACE | ICP IRRIGATION CONTROL PANEL | icv irrigation control valve | inv pipe invert elevation | irr irrigation | ju joint utility pole | jt joint trench | lf lined feet | LNDG LANDING | lv low voltage ELECTRIC | M METAL | m manhole | MS METAL STRIP | MSC METAL STORAGE CONTAINER | msc not to scale | ris riser | oh OVERHEAD | DRANG DRAINAGE | DIP OPEN IRON PIPE | DSSH D.D. STEEL POST HOLE | pl PLANTER AREA | pd planter drain | PH POSTHOLE | piv post indicator valve | pp power pole | PRNG parking | pue public utility easement | puc polybutyl chloride | PVC RUBBER | rim manhole rim elevation | row right of way | REDMID REDMID | RWALL RETAINING WALL | RWL RAIN WATER LEADER | D DEPTH | ddc double detector check valve | df drinking fountain | dg decomposed granite | di drop inlet | dia diameter | drwy driveway | ds downspout | dwg ELECTRIC | E ELECTRIC | ep edge of pavement | esmt easement | ex existing | F fire line | fa fire alarm | Fdc fire department connection | Ffe finished floor elevation | fh fire hydrant | FL flowline | Fo fiber optic | FS fire service | G GAS | GB GRADE BREAK | Gr grate | grb GROUND ROD BOX | grad grade elevation | grad ground rod | gv gas valve | hb HOSE BIBB | HBD HEADER BOARD | HP high PRESSURE | hb HANDRAIL | HVE HIGH VOLTAGE ELECTRIC | S/W sidewalk | sd storm drain | sgh storm drain manhole | SIG SIGNAL | SL STREET LIGHT | slb street light box | ssb sanitary sewer | ssco sanitary sewer cleanout | ssmh sanitary sewer manhole | std standard | STL STEEL | T TELEPHONE | tball tether ball pole | TBM TEMPORARY BENCHMARK | tc top of curb | tdw top of wall | tp telephone pole | trw top of retaining wall | ug underground | UNKW UNKNOWN | un unless otherwise noted | vball volleyball | W WATER | wf with | w/o without | wd wood | w.f. wrought iron Fence | xFRM TRANSFORMER | xxalk crosswalk |
|------------|---------------------|----------------|---------------------------|---------------|------------------------------|-----------------------|-----------------------|------------------------|-------------------------|----------|---------------|------------|-------------------|----------|-----------------------|-----------------|---------------|-----------------------|----------------|---------------------|----------|------------------------|---------------------------|-------------|-------------|---------------|-----------------|-----------------|-------------------------|-----------------------|---------------------|------------------------------|------------------------------|---------------------------|----------------|-----------------------|-----------------|---------------|--------------|-------------------------|---------|-----------|----------------|-----------------------------|------------------|-----------|-------------|----------------|--------------------|---------------------------|-----------------|------------------|-------------|--------------------------|---------------|--------------|-----------------------------|------------------------|------------|---------------------------|------------------|---------------|----------------------|-----------------------|---------|---------------------------------|----------------------|-----------------------|---------------|--------------|---------------|--------------|--------------|------------|---------------------|---------------|-------------|-------------|---------------|--------------------------------|------------------------------|-----------------|-------------|----------------|-----------------|-------|----------------|----------|--------------------|----------------------|-----------------|--------------|--------------|------------------|------------------|-------------|---------------------------|--------------|----------------|-------------------------|------------|-----------------|----------------------|--------------------|------------------------------|-----------------------------|--------------|-----------|-------------|------------------------|-------------------------|----------------|-----------------|-------------------|---------------------------|----------------|--------------|---------------------------|------------------|---------|---------|-------------|---------|-------------------------|------------------|-----------------|

BASIS OF BEARINGS

BASIS OF BEARINGS:
 ASSUMED
 HELD CURB LINE ON SOUTH SIDE OF GLORIA DRIVE PER RECORD OF SURVEY MAP. N72°40'53"E

F.E.M.A. INFORMATION:
 THE SUBJECT PROPERTY IS LOCATED IN "ZONE X (SHADED) - AREAS PROTECTED FROM THE 1% ANNUAL CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM, OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE." PER FLOOD INSURANCE RATE MAP 06067C0170H DATED AUGUST 16, 2012.

NOTE: EXISTING UTILITIES BASED ON VISIBLE SURFACE STRUCTURES AND RECORD INFORMATION.



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 fax: 916.413.6525
 www.VerdeDesign.com

STAMP

CONSULTANT

KEY MAP

EXISTING CONDITIONS AND SURVEY PLAN - VARSITY BASEBALL FIELD

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

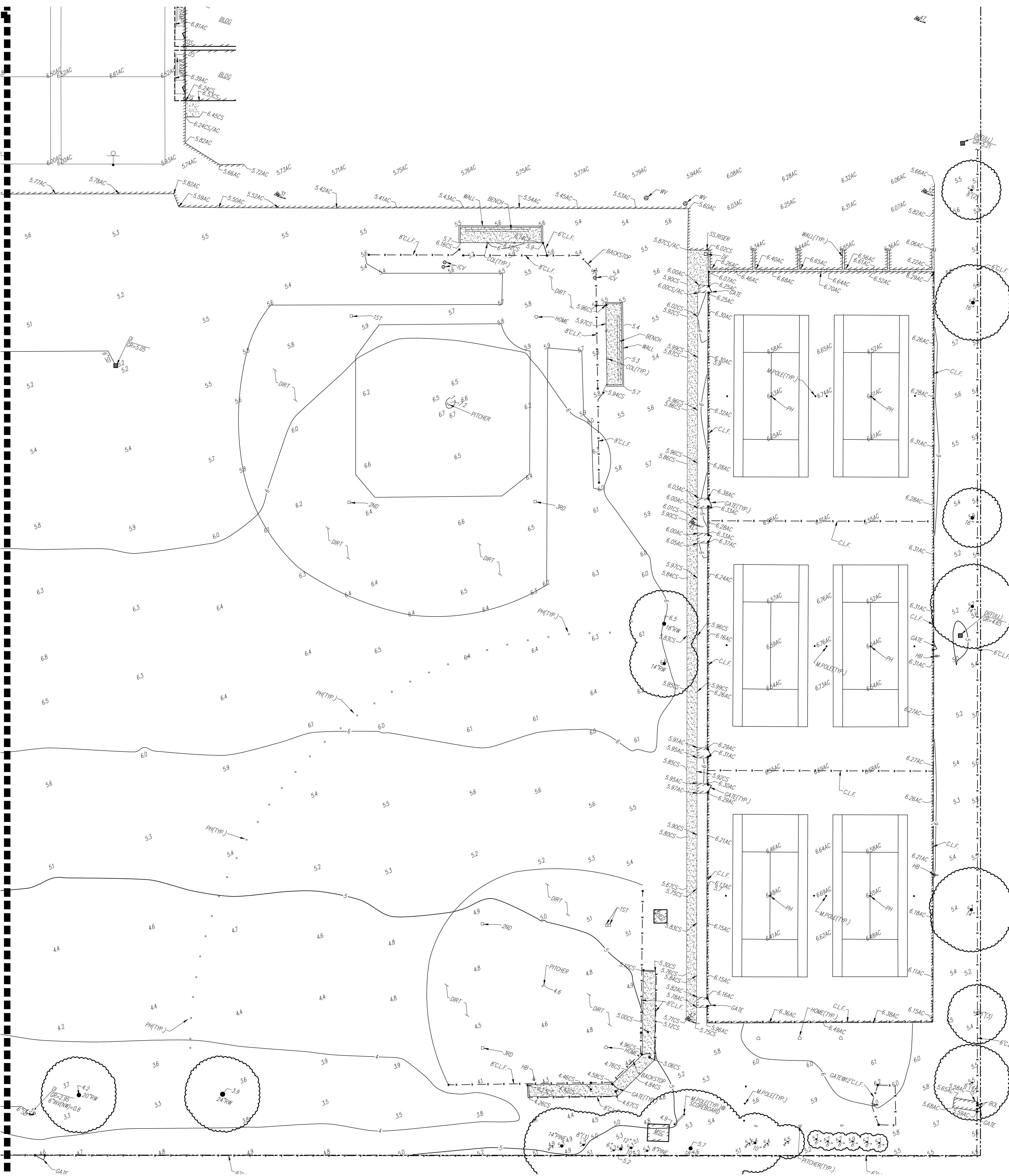
SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

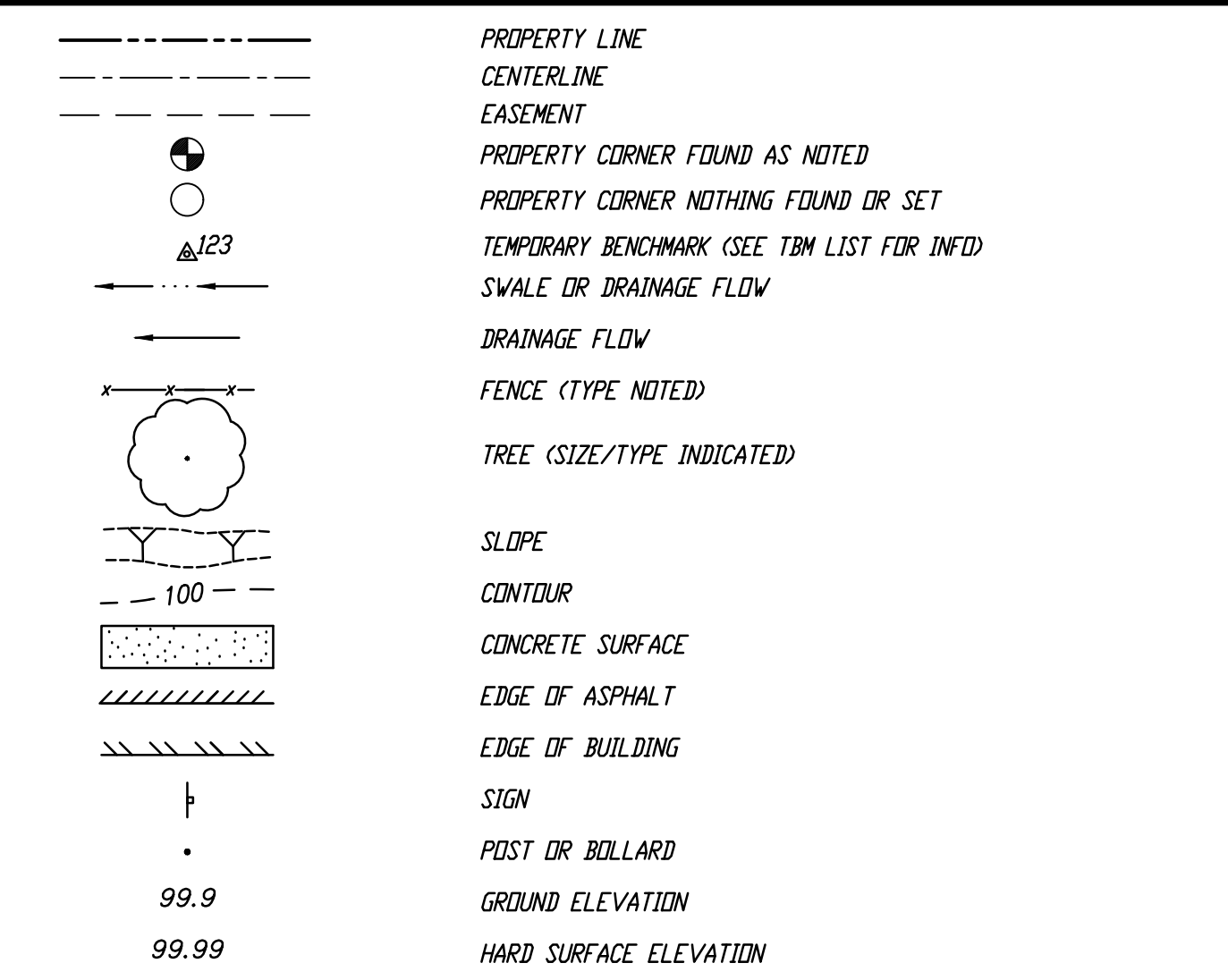
DRAWN BY: _____ CHECKED BY: CS/MB
 DATE ISSUED: 10/25/23 SCALE: 1"=20'-0"
 PROJ. NO.: 2304200
 SHEET NO.: **L1.2**

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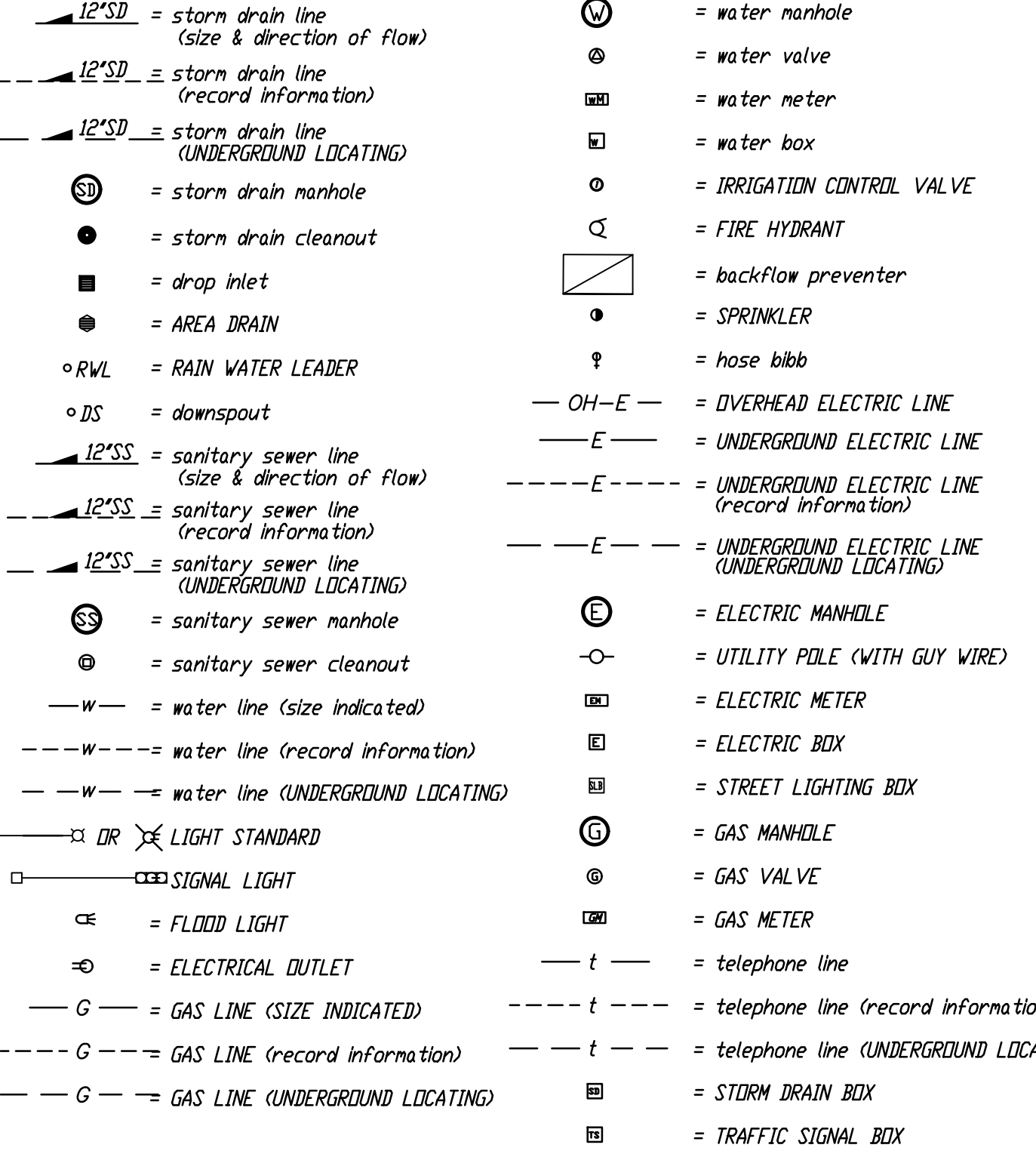
MATCHLINE - REFER TO L1.2



EXISTING TOPOGRAPHY



EXISTING UTILITIES



ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THESE PLANS.

ac	asphaltic concrete	ac	ACCESSIBLE	ac	area of concrete	ac	area of concrete																																																																																																																																																																																																																																																	
acu	air conditioning unit	ad	area drain	apn	assessor's parcel number	arv	air release valve	bball	basketball pole	bcm	BRASS CAP MINUMENT	bfp	back flow preventer	BL	BLIND	blgg	building	BR	BILLBOARD	bov	blow-off valve	BR	BRICK	BWF	BARBED WIRE FENCE	C	COMMUNICATION	c/i	centerline	CATV	CABLE TELEVISION	cb	CATCH BASIN	cip	CAPPED IRON PIPE	cl	class	CL.F.	CHAIN LINK FENCE	cnp	corrugated metal pipe	co	cleanout	COLLUM	collum	conc	concrete	cond	condensate	const	construct	cp	control point found	cps	control point set	CS	CONCRETE SURFACE	ICP	irrigation control panel	icv	irrigation control valve	inv	pipe invert elevation	irr	irrigation	ju	joint utility pole	jt	joint trench	LND	land	LV	low voltage ELECTRIC	M	METAL	m	manhole	MS	MOW STRIP	MSC	METAL STORAGE CONTAINER	nts	not to scale	ok	OVERHEAD	DRANG	DRAINAGE	DIP	OPEN IRON PIPE	DSPH	DLD STEEL POST HOLE	pl	planter	PA	PLANTER AREA	pd	planter drain	PH	POSTHOLE	piv	post indicator valve	pp	power pole	PRNG	parking	pu	public utility easement	PUR	polyurethane	PVC	POLYVINYL CHLORIDE	R	RUBBER	rim	manhole rim elevation	row	right of way	RW	REDWOOD	RWALL	RETAINING WALL	RWL	RAIN WATER LEADER	D	DEPTH	ddc	double detector check valve	df	drinking fountain	dg	decomposed granite	di	drop inlet	dia	diameter	dr	driveway	ds	downspout	E	ELECTRIC	ep	edge of pavement	esmt	existing	ex	existing	F	fire line	fa	fire alarm	Fdc	fire department connection	Ffe	finished floor elevation	fh	fire hydrant	FL	flowline	Fo	fiber optic	FS	fire service	G	GAS	GB	GRADE BREAK	Gr	grate	grb	GROUND ROD BOX	grad	grade elevation	ground rod	grad	grade	gv	gas valve	HB	HOSE BIBB	HBD	HEADER BOARD	HP	high pressure	HB	HANDRAIL	HVE	HIGH VOLTAGE ELECTRIC	S/F	sidewalk	sd	storm drain	sgh	storm drain manhole	SIG	SIGNAL	SL	STREET LIGHT	slb	street light box	ss	sanitary sewer	ssco	sanitary sewer cleanout	ssmh	sanitary sewer manhole	std	standard	STL	STEEL	T	TELEPHONE	t	tether ball pole	tball	TEMPORARY BENCHMARK	TM	top of curb	tc	top of curb	tdw	top of wall	tp	telephone pole	trw	top of retaining wall	ug	underground	UNK	UNKNOWN	un	unless otherwise noted	vball	volleyball	W	WATER	w	with	w/o	without	wd	wood	wlf	wrought iron fence	xfrmr	TRANSFORMER	xwalk	crosswalk

BASIS OF BEARINGS

BASIS OF BEARINGS: **ASSUMED**
HELD CURB LINE ON SOUTH SIDE OF GLORIA DRIVE PER RECORD OF SURVEY MAP. N72°40'53"E

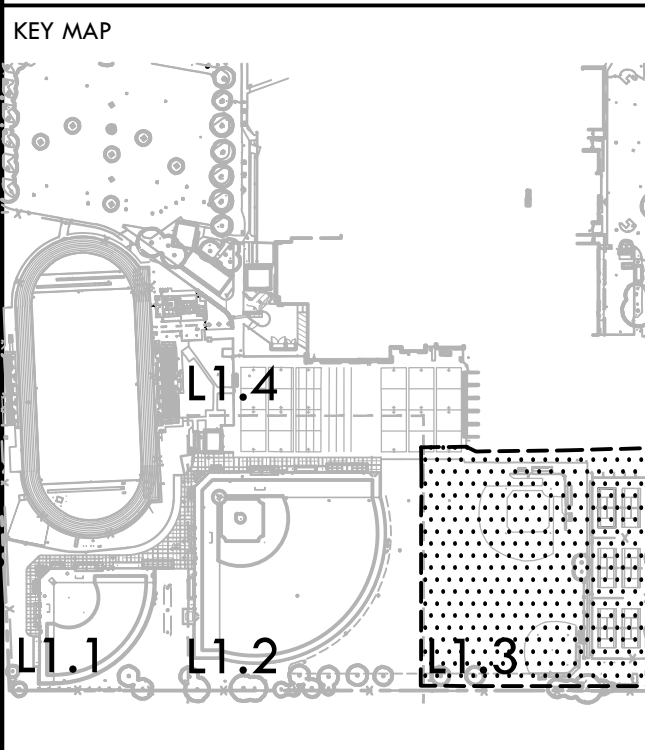
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NO. 8327
1974/07/19
STATE OF CALIFORNIA

WCE
WARREN CONSULTING ENGINEERS, INC.
1117 WINDFIELD WAY, SUITE 110
EL DORADO HILLS, CA 95672 (916)985-1870



EXISTING CONDITIONS AND SURVEY PLAN - JV FIELDS AND TENNIS COURTS

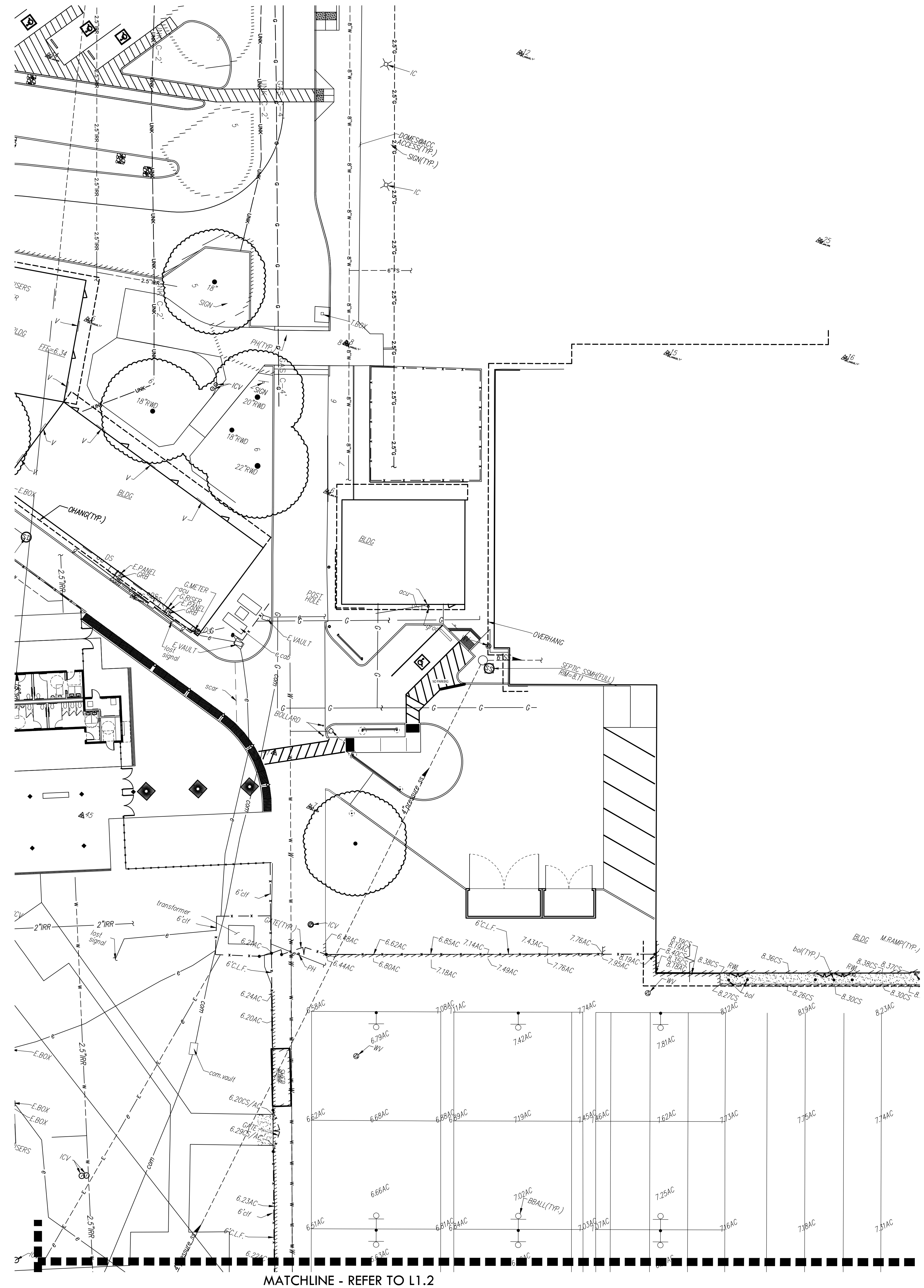
PROJECT NAME
**JOHN F. KENNEDY
HIGH SCHOOL
BASEBALL, SOFTBALL,
& TENNIS COURT
IMPROVEMENTS**

PROJECT ADDRESS
**6715 GLORIA DRIVE
SACRAMENTO, CA 95831**

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

DRAWN BY: _____ CHECKED BY: CS/MB
DATE ISSUED: 10/25/23 SCALE: 1"=20'-0"
PROJ. NO.: 2304200
SHEET NO.: **L1.3**



MATCHLINE - REFER TO L1.2

EXISTING TOPOGRAPHY

- PROPERTY LINE
- - - CENTERLINE
- - - EASEMENT
- PROPERTY CORNER FOUND AS NOTED
- PROPERTY CORNER NOTHING FOUND OR SET
- TEMPORARY BENCHMARK (SEE TBM LIST FOR INFO)
- SWALE OR DRAINAGE FLOW
- DRAINAGE FLOW
- FENCE (TYPE NOTED)
- TREE (SIZE/TYPE INDICATED)
- SLOPE
- CONTOUR
- CONCRETE SURFACE
- EDGE OF ASPHALT
- EDGE OF BUILDING
- SIGN
- POST OR BOLLARD
- 99.9 GROUND ELEVATION
- 99.99 HARD SURFACE ELEVATION

EXISTING UTILITIES

- 12"SD = storm drain line (size & direction of flow)
- 12"SD = storm drain line (record information)
- 12"SD = storm drain line (UNDERGROUND LOCATING)
- = storm drain manhole
- = storm drain cleanout
- = drop inlet
- = AREA DRAIN
- RWL = RAIN WATER LEADER
- DS = downspout
- 12"SS = sanitary sewer line (size & direction of flow)
- 12"SS = sanitary sewer line (record information)
- 12"SS = sanitary sewer line (UNDERGROUND LOCATING)
- = sanitary sewer manhole
- = sanitary sewer cleanout
- W = water line (size indicated)
- W = water line (record information)
- W = water line (UNDERGROUND LOCATING)
- = LIGHT STANDARD
- = SIGNAL LIGHT
- = FLOOD LIGHT
- = ELECTRICAL OUTLET
- G = GAS LINE (SIZE INDICATED)
- G = GAS LINE (record information)
- G = GAS LINE (UNDERGROUND LOCATING)
- = water manhole
- = water valve
- = water meter
- = water box
- = IRRIGATION CONTROL VALVE
- = FIRE HYDRANT
- = back-flow preventer
- = SPRINKLER
- = hose bibb
- OH-E = OVERHEAD ELECTRIC LINE
- E = UNDERGROUND ELECTRIC LINE (record information)
- E = UNDERGROUND ELECTRIC LINE (UNDERGROUND LOCATING)
- = ELECTRIC MANHOLE
- = UTILITY POLE (WITH GUY WIRE)
- = ELECTRIC METER
- = ELECTRIC BOX
- = STREET LIGHTING BOX
- = GAS MANHOLE
- = GAS VALVE
- = GAS METER
- t = telephone line
- t = telephone line (record information)
- t = telephone line (UNDERGROUND LOCATING)
- = STORM DRAIN BOX
- = TRAFFIC SIGNAL BOX

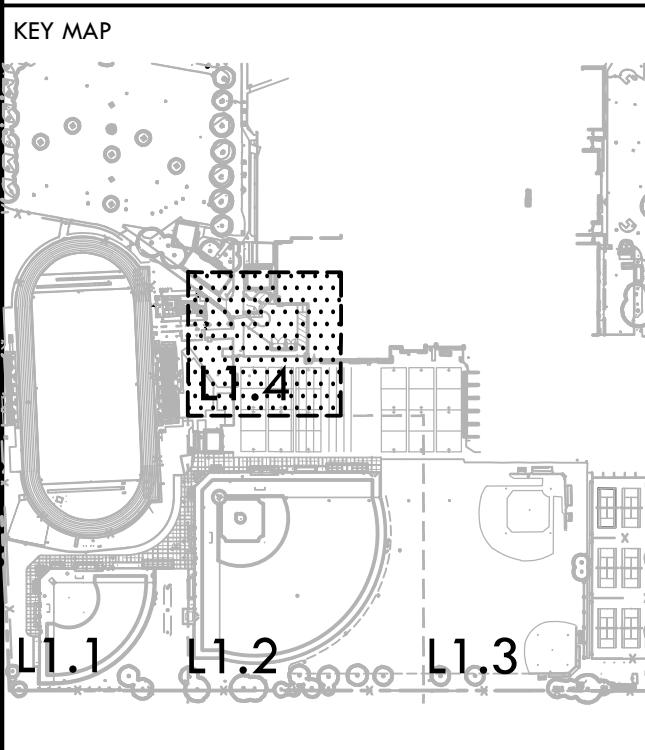
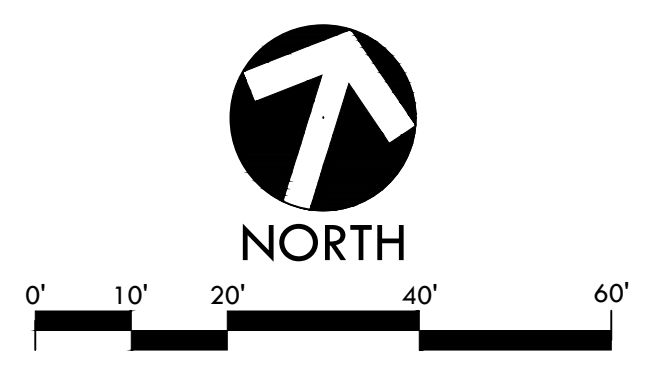
ABBREVIATIONS

- NOTE: NOT ALL ABBREVIATIONS MAY BE USED IN THESE PLANS.
- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| ?? unknown | ac asphaltic concrete | ACC ACCESSIBLE | acu air conditioning unit | ad area drain | apn assessor's parcel number | arv air release valve | bball basketball pole | BCM BRASS CAP MINUMENT | bfp back flow preventer | BL BUILDING | blgd building | BOL BOLLARD | bov blow-off valve | BR BRICK | BWF BARBED WIRE FENCE | C COMMUNICATION | c/l centerline | CATV CABLE TELEVISION | cb CATCH BASIN | CIP CAPED IRON PIPE | cl class | CLF CHAIN LINK FENCE | cmp corrugated metal pipe | co cleanout | COLL COLLAR | conc concrete | cond condensate | const construct | cp control point found | cps control point set | CS CONCRETE SURFACE | ICP IRRIGATION CONTROL PANEL | icv irrigation control valve | inv pipe invert elevation | irr irrigation | ju joint utility pole | jt joint trench | lf lined feet | LNDG LANDING | lve low voltage ELECTRIC | M METAL | man manhole | MS METAL STRIP | MSC METAL STORAGE CONTAINER | nt not to scale | ok OVERHEAD | DRANG DRAINAGE | DIP OPEN IRON PIPE | DISH D.I.D. STEEL POST HOLE | PA PLANTER AREA | pd planter drain | PH POSTHOLE | piv post indicator valve | pp power pole | PRNG parking | pue public utility easement | pvc polyvinyl chloride | R RUBBER | rim manhole rim elevation | row right of way | REDWOOD REDWOOD | RWALL RETAINING WALL | RWL RAIN WATER LEADER | D DEPTH | ddc double detector check valve | df drinking fountain | dg decomposed granite | di drop inlet | dr driveway | ds downspout | dwg ELECTRIC | E ELECTRIC | ep edge of pavement | esent existing | ex existing | F fire line | fa fire alarm | Fdc fire department connection | Ffe finished floor elevation | fh fire hydrant | FL flowline | Fo fiber optic | FS fire service | G GAS | GB GRADE BREAK | Gr grate | grb GROUND ROD BOX | grd grade elevation | ground rod | gy gas valve | HB HOSE BIBB | HBD HEADER BOARD | HP high pressure | HP HANDRAIL | HVE HIGH VOLTAGE ELECTRIC | S/S side-sill | sd storm drain | sahm storm drain manhole | SIG SIGNAL | SL STREET LIGHT | slb street light box | ss sanitary sewer | ssco sanitary sewer cleanout | ssmh sanitary sewer manhole | std standard | STL STEEL | T TELEPHONE | tboll tether ball pole | TBM TEMPORARY BENCHMARK | tc top of curb | tdw top of wall | tp telephone pole | trw top of retaining wall | ug underground | UNKN UNKNOWN | unw unless otherwise noted | vball volleyball | v water | w/ without | wd wood | w.f. wrought iron fence | w.f. TRANSFORMER | walk crosswalk |
|------------|-----------------------|----------------|---------------------------|---------------|------------------------------|-----------------------|-----------------------|------------------------|-------------------------|-------------|---------------|-------------|--------------------|----------|-----------------------|-----------------|----------------|-----------------------|----------------|---------------------|----------|----------------------|---------------------------|-------------|-------------|---------------|-----------------|-----------------|------------------------|-----------------------|---------------------|------------------------------|------------------------------|---------------------------|----------------|-----------------------|-----------------|---------------|--------------|--------------------------|---------|-------------|----------------|-----------------------------|-----------------|-------------|----------------|--------------------|-----------------------------|-----------------|------------------|-------------|--------------------------|---------------|--------------|-----------------------------|------------------------|----------|---------------------------|------------------|-----------------|----------------------|-----------------------|---------|---------------------------------|----------------------|-----------------------|---------------|-------------|--------------|--------------|------------|---------------------|----------------|-------------|-------------|---------------|--------------------------------|------------------------------|-----------------|-------------|----------------|-----------------|-------|----------------|----------|--------------------|---------------------|------------|--------------|--------------|------------------|------------------|-------------|---------------------------|---------------|----------------|--------------------------|------------|-----------------|----------------------|-------------------|------------------------------|-----------------------------|--------------|-----------|-------------|------------------------|-------------------------|----------------|-----------------|-------------------|---------------------------|----------------|--------------|----------------------------|------------------|---------|------------|---------|-------------------------|------------------|----------------|

BASIS OF BEARINGS

BASIS OF BEARINGS:
 ASSUMED
 HELD CURB LINE ON SOUTH SIDE OF GLORIA DRIVE PER RECORD OF SURVEY MAP. N72°40'53"E

F.E.M.A. INFORMATION:
 THE SUBJECT PROPERTY IS LOCATED IN "ZONE X (SHADED)" AREAS PROTECTED FROM THE 1% ANNUAL CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM, OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE PER FLOOD INSURANCE RATE MAP 06067C0170H DATED AUGUST 16, 2012.



EXISTING CONDITIONS AND SURVEY PLAN - ACCESS

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

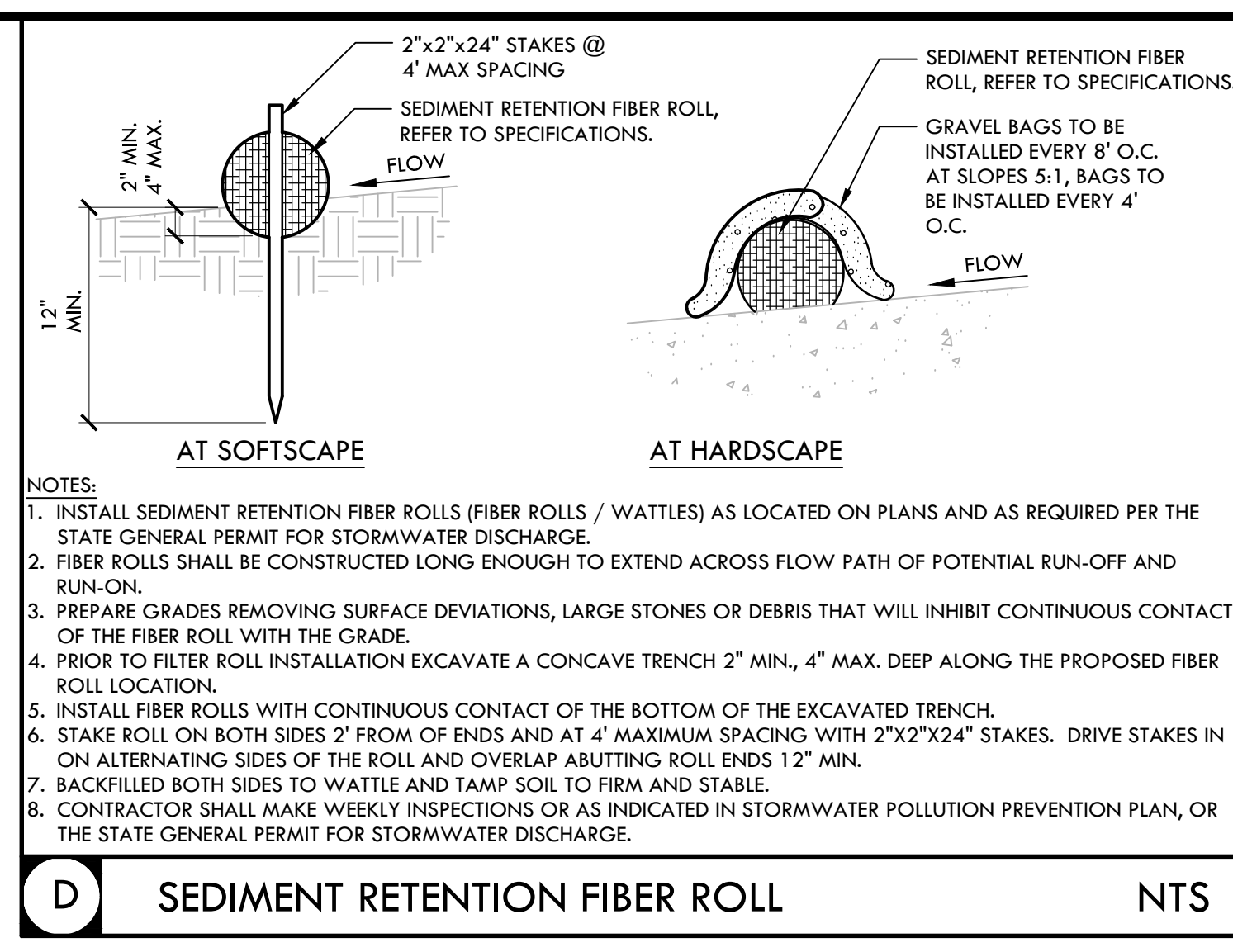
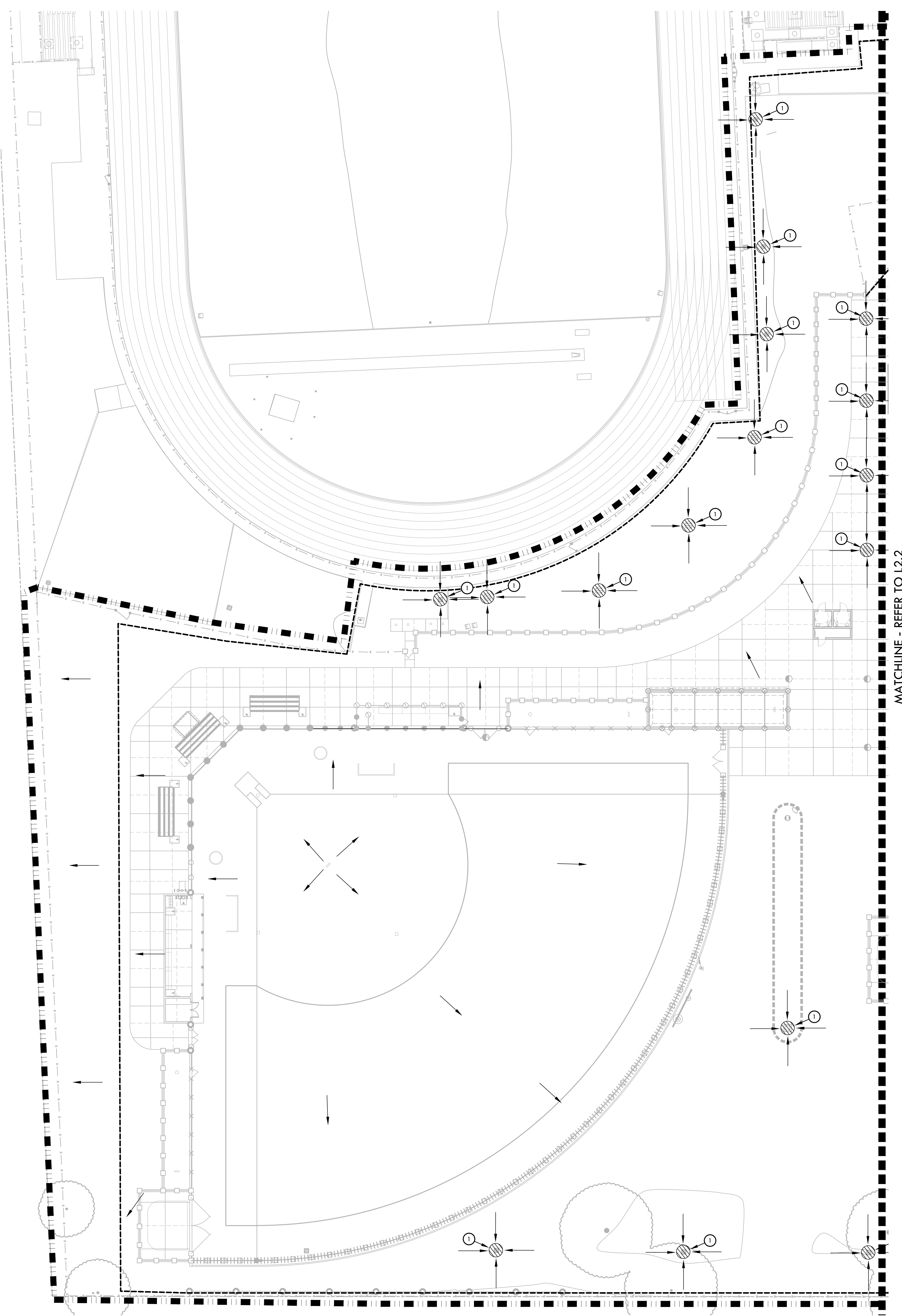
SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

DRAWN BY: _____ CHECKED BY: CS/MB
 DATE ISSUED: 10/25/23 SCALE: 1"=20'-0"
 PROJ. NO.: 2304200
 SHEET NO.: L1.4

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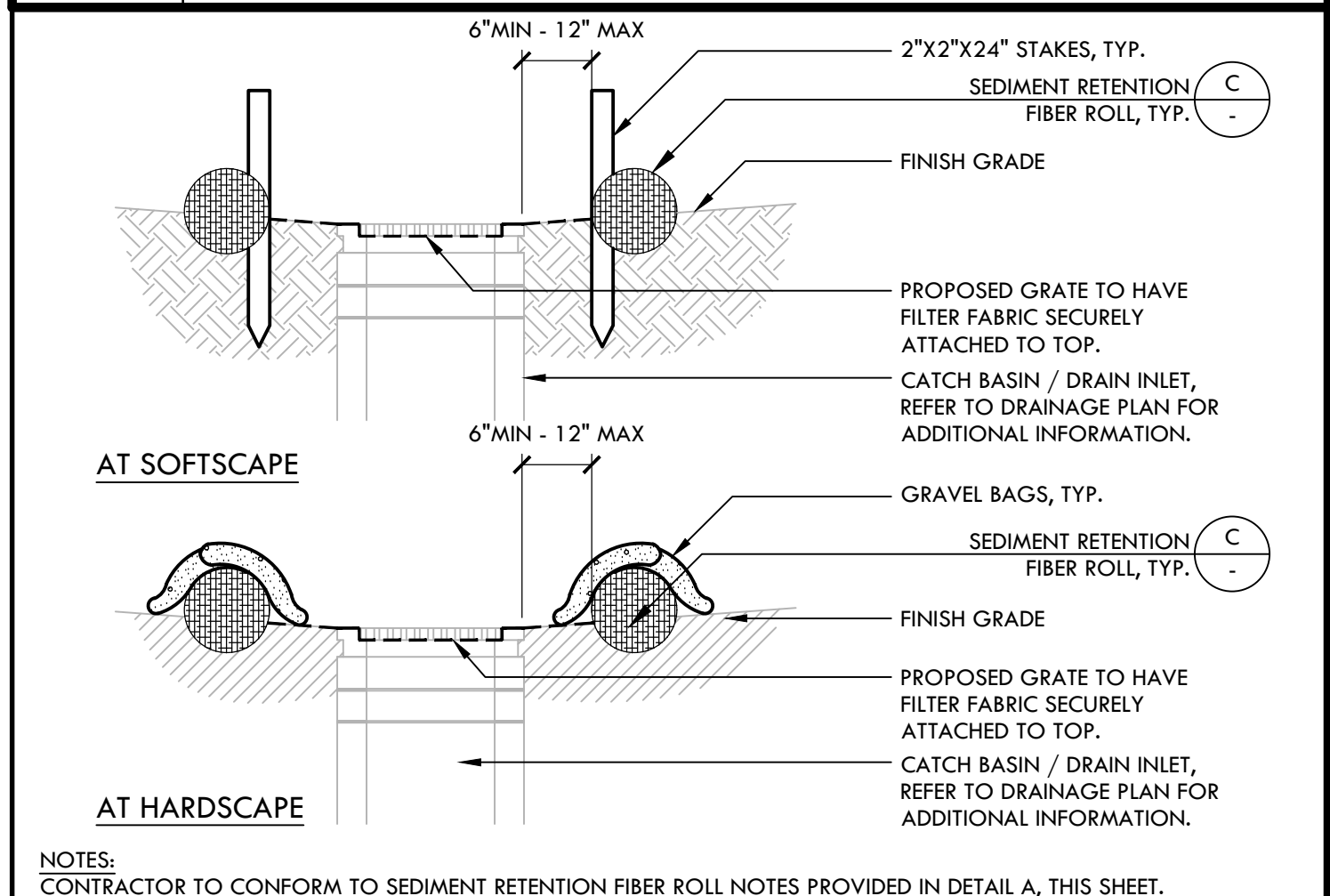
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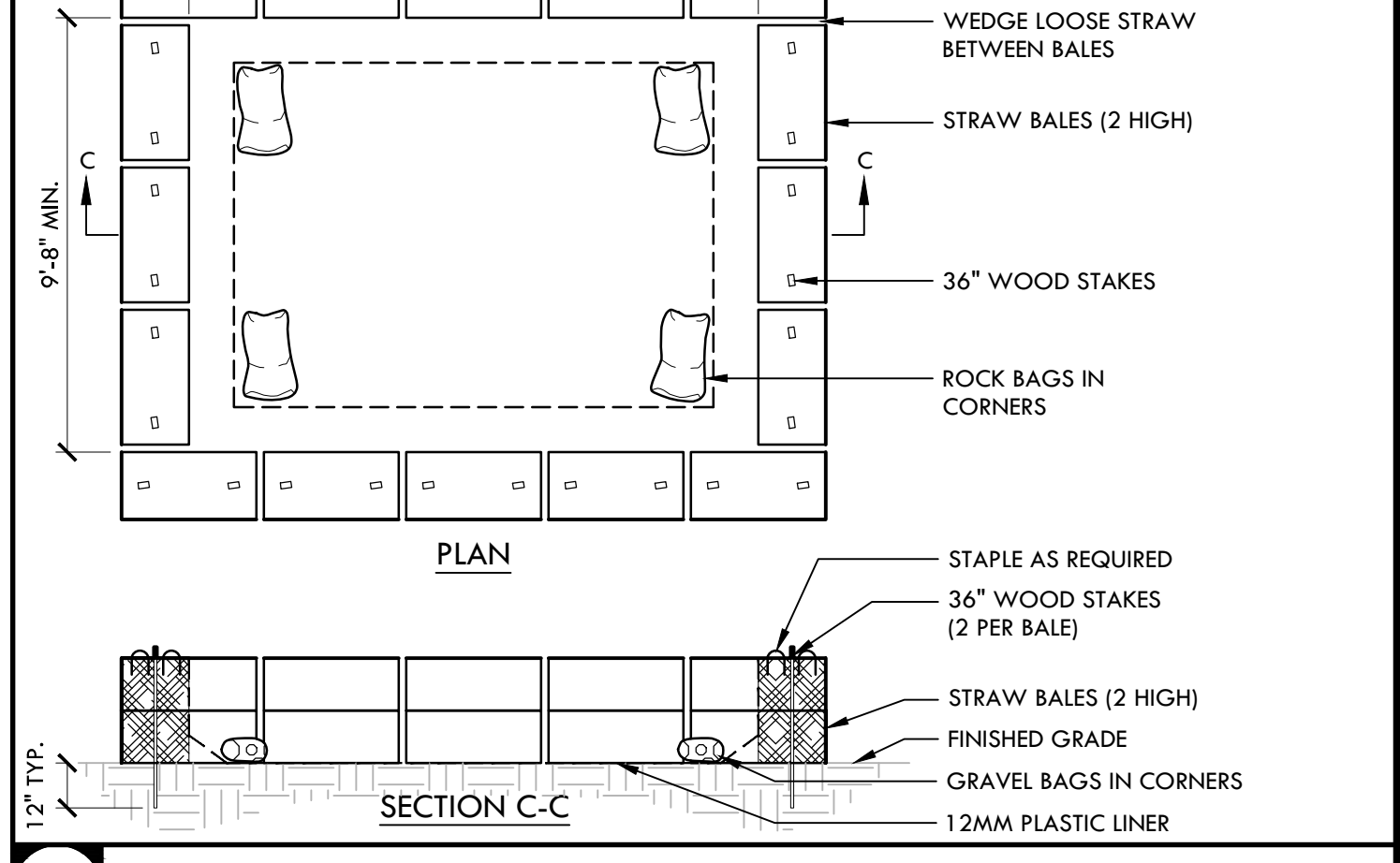
D SEDIMENT RETENTION FIBER ROLL NTS

EROSION AND SEDIMENT CONTROL NOTES		
1.	EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.	
2.	EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.	
3.	EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY OWNER'S REPRESENTATIVE.	
4.	CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.	

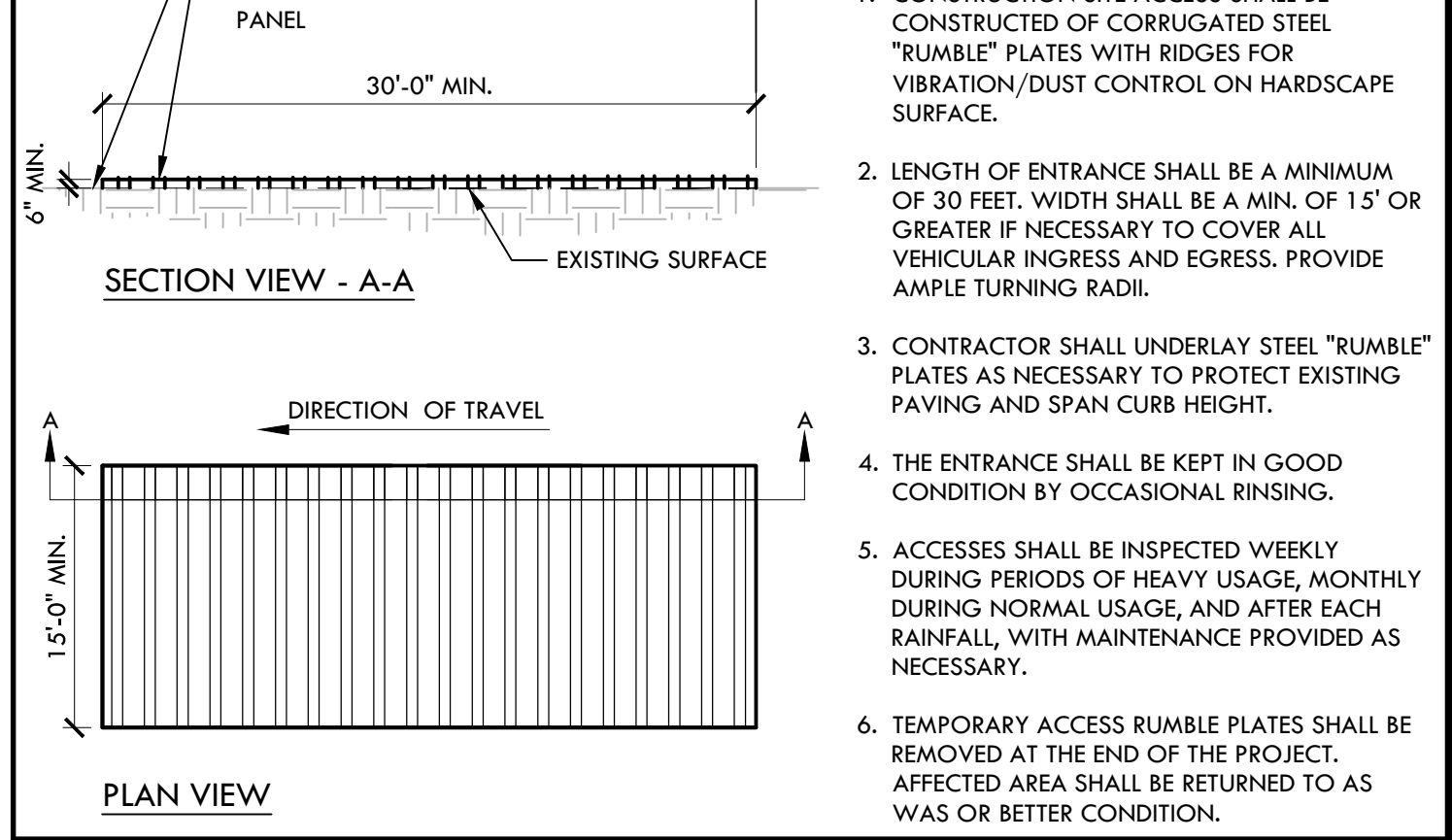
EROSION AND SEDIMENT CONTROL LEGEND		
SYM	DESCRIPTION	DTL REF
	LIMIT OF WORK	
	FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER WADDLE	C 12.1
	FILTER ROLL BARRIER	D 12.1
	TEMPORARY CONSTRUCTION FENCING	
	CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	B 12.1
	CONSTRUCTION STAGING AREA	
	RUMBLE PLATE CONSTRUCTION ENTRY	A 12.1
	DIRECTION OF SURFACE FLOW	



C STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS NTS



B TEMPORARY CONCRETE WASHOUT FACILITY



A RUMBLE PLATE CONSTRUCTION ENTRY NTS

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 fax: 916.413.6525
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STAMP

CONSULTANT

KEY MAP

SHEET TITLE
EROSION AND SEDIMENT CONTROL PLAN - VARSITY SOFTBALL FIELD

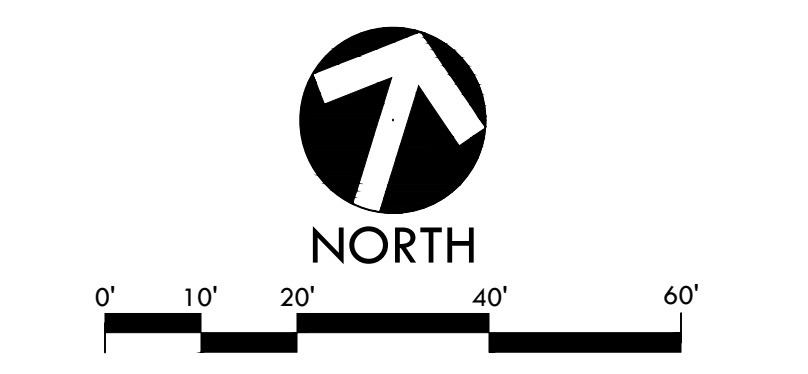
PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

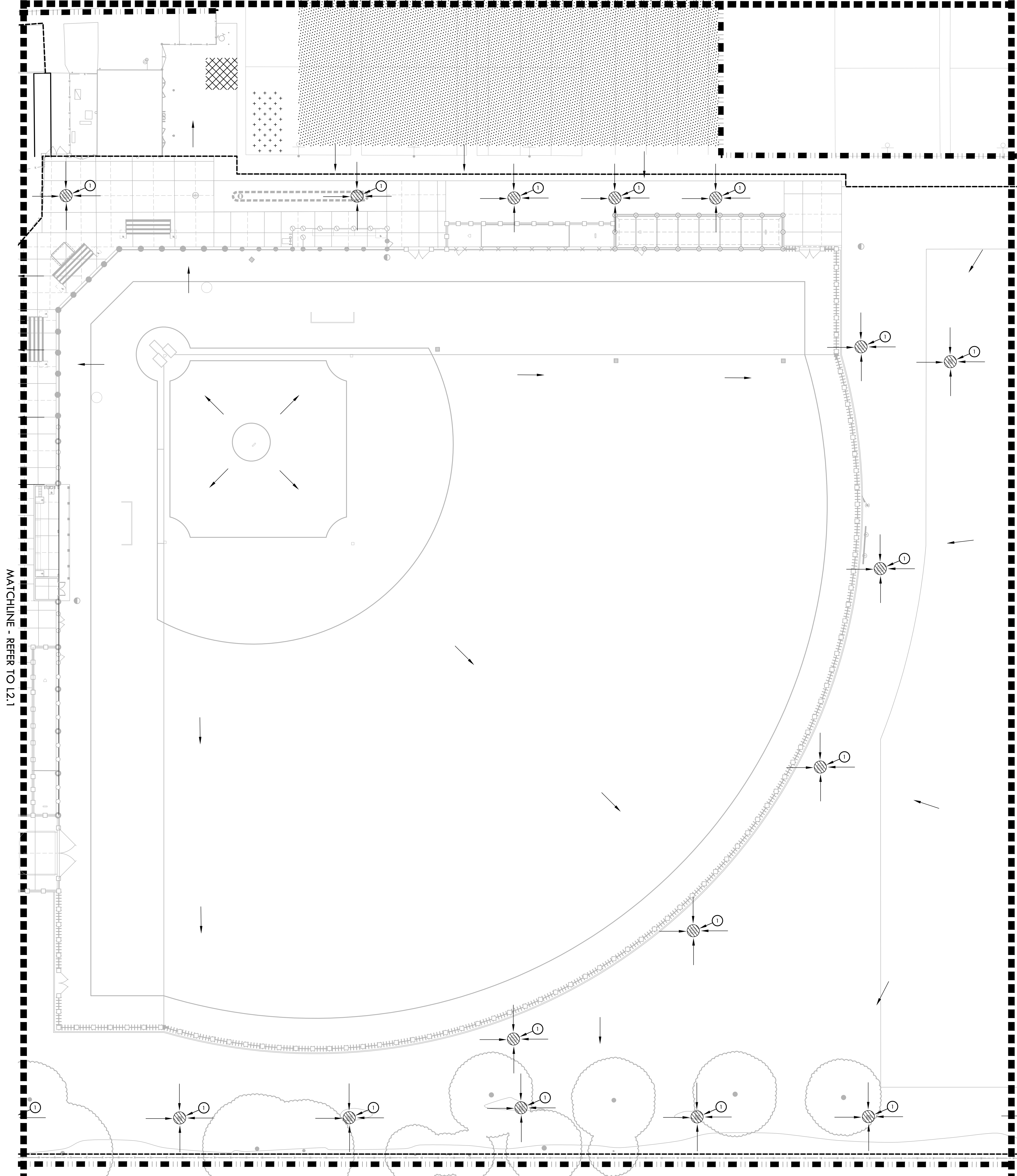
SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

DRAWN BY: RN
 CHECKED BY: CS/MB
 DATE ISSUED: 10/25/23
 SCALE: 1" = 20'-0"
 PROJ. NO.: 2304200
 SHEET NO.: **L2.1**



MATCHLINE - REFER TO L2.4



MATCHLINE - REFER TO L2.1

MATCHLINE - REFER TO L2.3

EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
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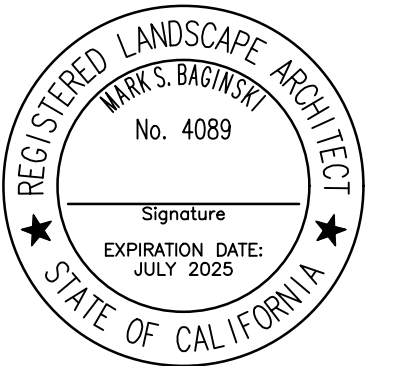
EROSION AND SEDIMENT CONTROL LEGEND

SYM	DESCRIPTION	DTL. REF.
	LIMIT OF WORK	
	FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER WADDLE	C L2.1
	FILTER ROLL BARRIER	D L2.1
	TEMPORARY CONSTRUCTION FENCING	
	CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	B L2.1
	CONSTRUCTION STAGING AREA	
	RUMBLE PLATE CONSTRUCTION ENTRY	A L2.1
	DIRECTION OF SURFACE FLOW	



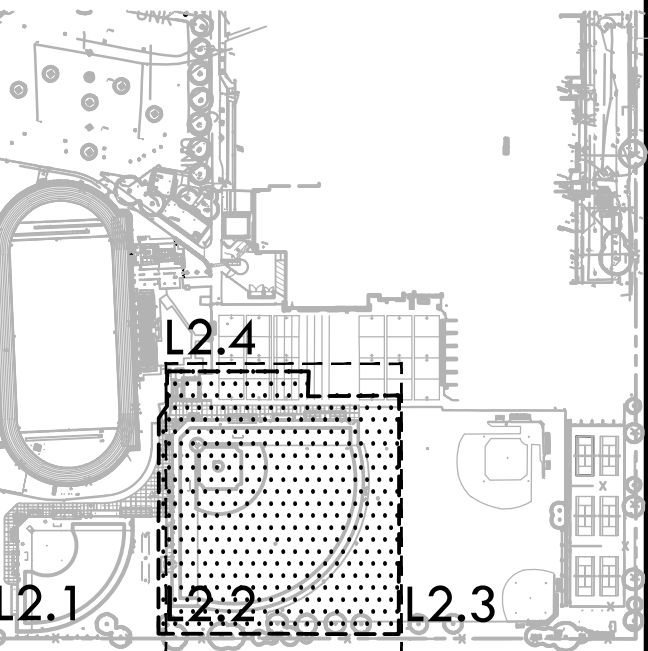
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KEY MAP



SHEET TITLE

EROSION AND SEDIMENT CONTROL PLAN - VARSITY BASEBALL FIELD

PROJECT NAME

JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS

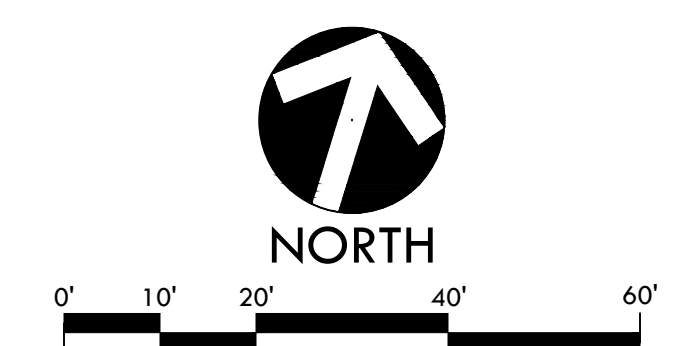
6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

DRAWN BY RN	CHECKED BY CS/MB
DATE ISSUED 10/25/23	SCALE 1" = 20'-0"
PROJ. NO. 2304200	

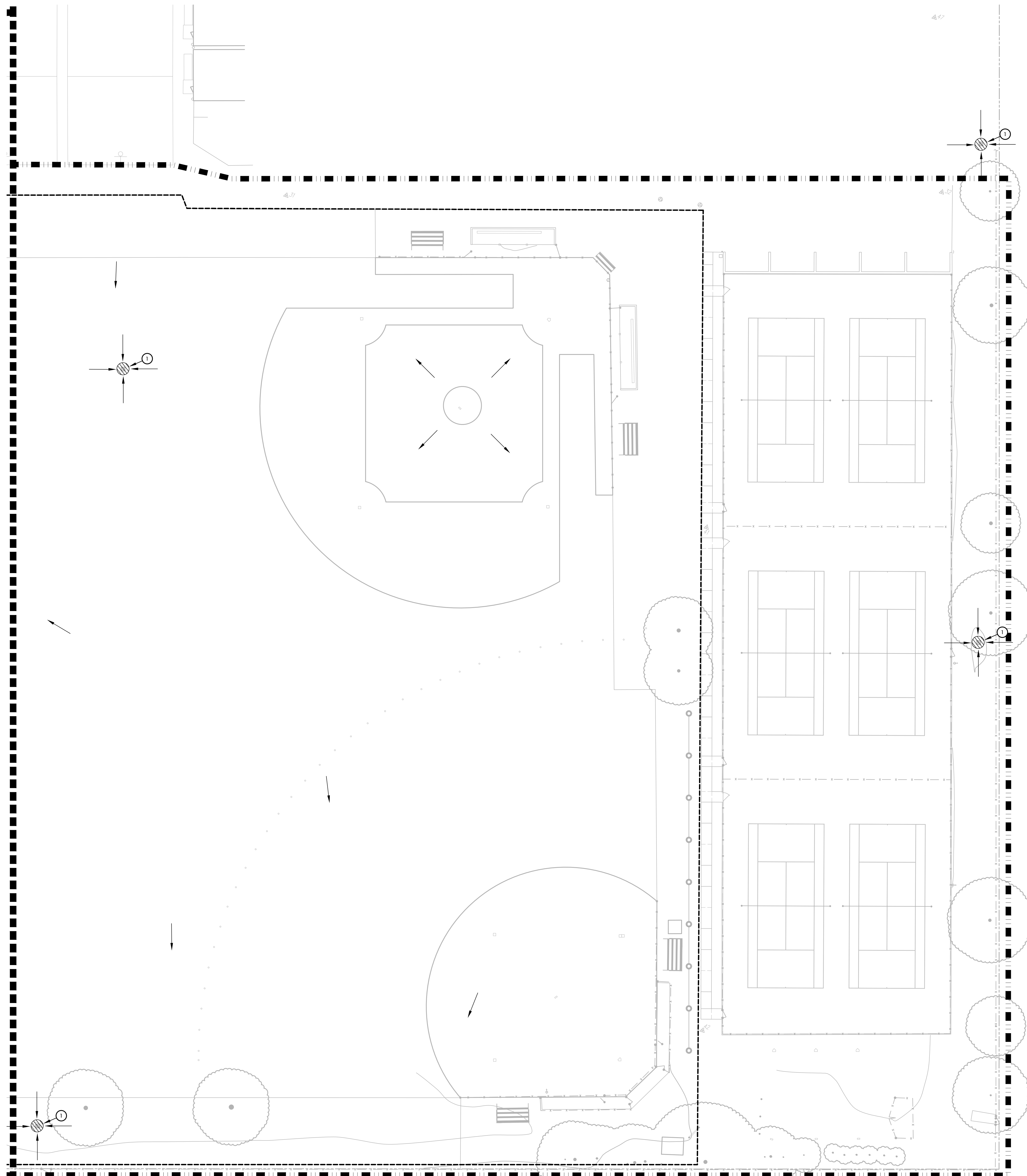
SHEET NO.
L2.2



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 PLOT DATE: 10-24-23 PLOTTED BY: station67

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MATCHLINE - REFER TO L2.2



EROSION AND SEDIMENT CONTROL NOTES

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EROSION AND SEDIMENT CONTROL LEGEND

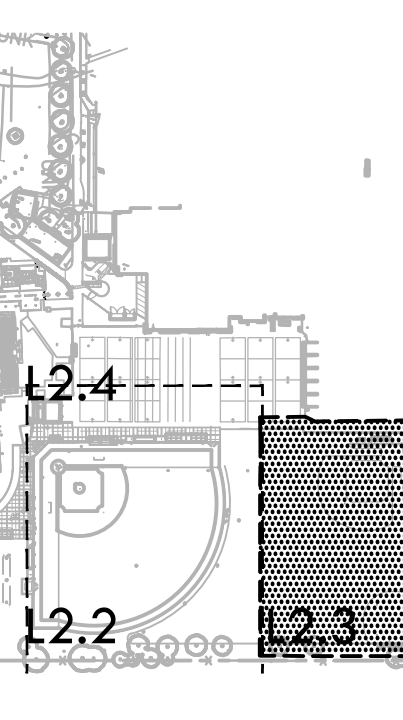
SYM	DESCRIPTION	DTL REF
	LIMIT OF WORK	
	FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER WADDLE	C L2.1
	FILTER ROLL BARRIER	D L2.1
	TEMPORARY CONSTRUCTION FENCING	
	CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	B L2.1
	CONSTRUCTION STAGING AREA	
	RUMBLE PLATE CONSTRUCTION ENTRY	A L2.1
	DIRECTION OF SURFACE FLOW	


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 REGISTERED LANDSCAPE ARCHITECT
 VERDE'S BARINET
 No. 4089
 Signature
 EXPIRATION DATE: 08/31/2025
 STATE OF CALIFORNIA

CONSULTANT



SHEET TITLE

EROSION AND SEDIMENT CONTROL PLAN - JV FIELDS AND TENNIS COURTS

PROJECT NAME

JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS

6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

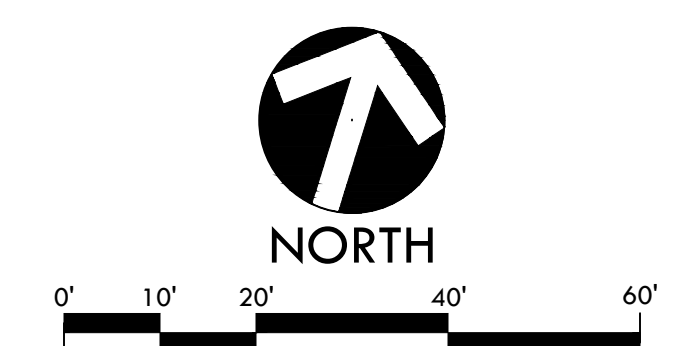
NO.	REVISIONS	DATE
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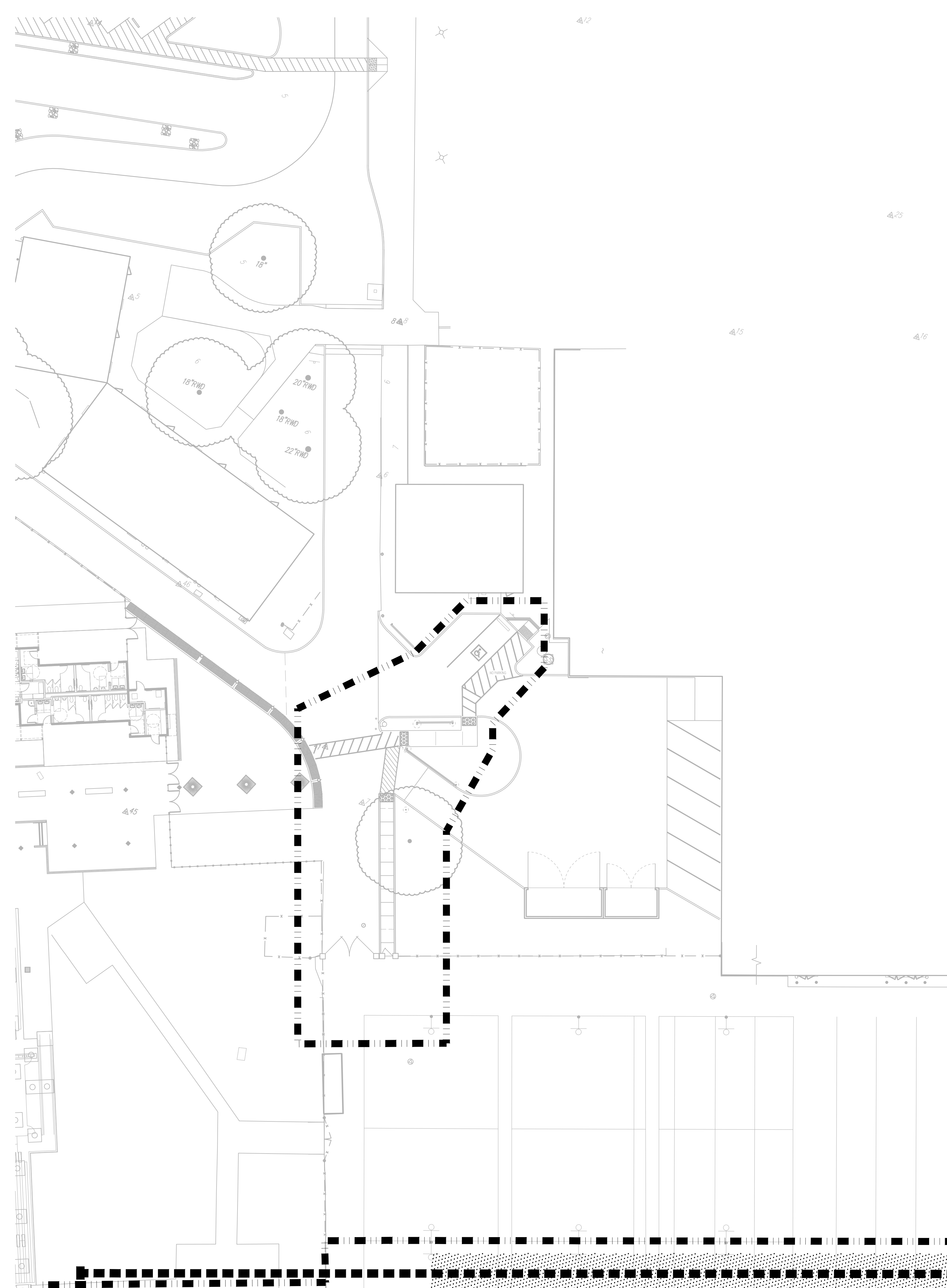
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PROJ. NO.: 2304200

SHEET NO. **L2.3**





MATCHLINE - REFER TO L2.2

EROSION AND SEDIMENT CONTROL NOTES

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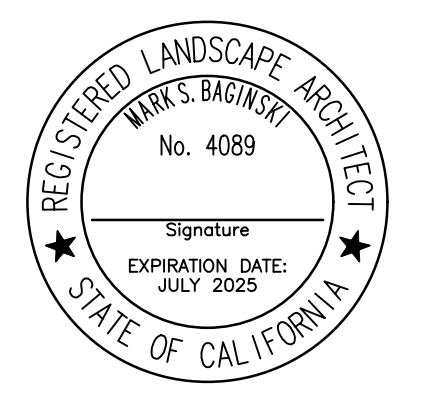
EROSION AND SEDIMENT CONTROL LEGEND

SYM	DESCRIPTION	DTL REF
	LIMIT OF WORK	
	FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER WADDLE	C L2.1
	FILTER ROLL BARRIER	D L2.1
	TEMPORARY CONSTRUCTION FENCING	
	CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	B L2.1
	CONSTRUCTION STAGING AREA	
	RUMBLE PLATE CONSTRUCTION ENTRY	A L2.1
	DIRECTION OF SURFACE FLOW	



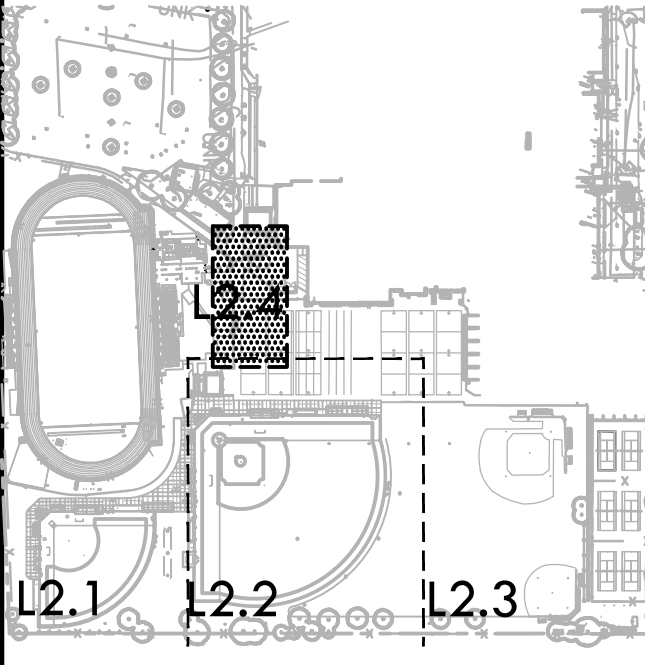
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KEY MAP



SHEET TITLE

EROSION AND SEDIMENT CONTROL PLAN - ACCESS

PROJECT NAME

JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS

6715 GLORIA DRIVE SACRAMENTO, CA 95831

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SHEET NO. **L2.4**



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MATCHLINE - REFER TO L3.4

MATCHLINE - REFER TO L3.1

MATCHLINE - REFER TO L3.3

ITEMS TO BE DEMOLISHED

- 1 EXISTING FENCING, EDGE BAND, AND/OR CURB, INCLUDING FOOTING, TO BE DEMOLISHED AND REMOVED.
- 2 EXISTING POST, GUARD POST AND/OR BOLLARD TO BE DEMOLISHED AND REMOVED.
- 3 EXISTING FURNISHINGS TO BE DEMOLISHED AND REMOVED.
- 4 BASES AND MOUND TO BE DEMOLISHED AND REMOVED.
- 5 NOT USED
- 6 EXISTING BACKSTOP AND FOOTINGS TO BE DEMOLISHED AND REMOVED.
- 7 EXISTING BATTING CAGE, FENCING, NETTING, FOOTINGS, ELECTRICAL AND RELATED STRUCTURES TO BE DEMOLISHED AND REMOVED.
- 8 EXISTING UTILITY BOXES TO BE DEMOLISHED AND REMOVED.
- 9 NOT USED
- 10 EXISTING LIGHT FIXTURE, POST, FOOTING, AND ASSOCIATIVE UTILITY BOX TO BE DEMOLISHED AND REMOVED. LIGHT FIXTURES TO BE RETURNED TO DISTRICT YARD.
- 11 NOT USED
- 12 EXISTING ELECTRICAL LINES, BOXES, POLE AND EQUIPMENT TO BE DEMOLISHED & REMOVED. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
- 13 SURVEY MARKER TO BE DEMOLISHED AND REMOVED.
- 14 EXISTING DRAIN STRUCTURE TO BE DEMOLISHED AND REMOVED. ALL DRAIN LINES TO BE ABANDONED IF NOT OBSTRUCTING FUTURE IMPROVEMENTS. DRAIN LINES OBSTRUCTING FUTURE IMPROVEMENTS TO BE DEMOLISHED AND REMOVED.
- 15 EXISTING BLEACHER TO BE REMOVED AND RETURNED TO DISTRICT FOR STORAGE.
- 16 EXISTING BUILDING TO BE DEMOLISHED AND REMOVED. CONTENTS TURNED OVER TO DISTRICT.
- 17 EXISTING IRRIGATION POINT OF CONNECTION, EXISTING IRRIGATION BOOSTER PUMP TO BE CAPPED AND REMOVED. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY AND TRACE EXISTING IRRIGATION MAIN LINE ROUTE AND CONNECT TO NEW MAIN LINE. EXISTING IRRIGATION CONTROLLER TO BE REPLACED BY NEW IRRIGATION CONTROLLER. CONTRACTOR TO FIELD VERIFY LANDSCAPE AREAS BEING OPERATED BY THE CONTROLLER. MASTER VALVE AND FLOW SENSOR TO BE RELOCATED AND REPLACED. FOR STATIONS LOCATED OUTSIDE OF IMPROVEMENTS, CONTRACTOR SHALL BE RESPONSIBLE TO CONNECT VALVES TO NEW CONTROLLER. SALVAGE AND RETURN EQUIPMENT TO DISTRICT.
- 18 EXISTING TRUNCATED DOMES TO BE DEMOLISHED AND REMOVED. CONTRACTOR TO SAWCUT TO NEAREST SCORE LINE OR EXPANSION JOINT. 1" OF AC PAVING TO BE SAWCUT AND REMOVED FOR FORMING OF NEW CONCRETE. REFER TO MATERIALS PLAN FOR ADDITIONAL INFORMATION.
- 19 EXISTING GATE AND POSTS TO BE DEMOLISHED AND REMOVED AT TENNIS COURTS. CHAIN LINK FABRIC TO BE PULLED BACK AND TIED BACK IN TO NEW POSTS FOR GATE.
- 20 NOT USED
- 21 EXISTING DRINKING FOUNTAIN TO BE DEMOLISHED AND REMOVED. NEW ACCESSIBLE DRINKING FOUNTAIN TO REPLACE EXISTING. CONTRACTOR TO COORDINATE WITH PLUMBER FOR TEMPORARY SHUTOFF. REUSE OF ALL UTILITIES.
- 22 ADA PARKING STALLS TO BE REPAINTED AND EXISTING SIGNAGE ADJUSTED TO FACE STALL.
- 23 EXISTING IRRIGATION VALVES, LATERAL LINES, AND ROTORS TO BE DEMOLISHED AND REMOVED OR ABANDONED. REFER TO IRRIGATION PLAN L9.1 - 4 FOR MORE INFORMATION.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS & SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES & PROVIDE THE REQUIRED COORDINATION FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE DISTRICT TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
3. THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXACT EXTENT & DEPTH OF SITE DEMOLITION REQUIRED & VERIFY COMPLIANCE WITH DRAWINGS. THE DISTRICT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
4. CONTRACTOR SHALL COMPLETE POT-HOLDS & UTILITY LOCATIONS PRIOR TO CONSTRUCTION COMMENCING. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES & SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES & SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN & THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DISTRICT'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 277-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT. NOTIFY THE DISTRICT'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE & REDIRECT WORK TO AVOID DELAY.
5. ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY & ALL DAMAGES TO ADJACENT PROPERTIES. THE DAMAGED ITEMS SHALL BE RESTORED TO AN "AS-WAS" OR BETTER CONDITION OR REPLACED PER THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
6. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE & SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES AS NECESSARY & SHALL BE MINIMUM 6 FEET HIGH WITH A TOP & BOTTOM RAIL WITH KNUCKLED TOP & BOTTOM SELVAGE (NO BARBED WIRE PERMITTED). SHALL INCLUDE FULL HEIGHT GREEN SHADE CLOTH COVERING. THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
7. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING TREE & PLANT MATERIAL NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "BLAZE ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRILLING OR PERMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
8. REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING & OTHER PERTINENT INFORMATION.

DEMOLITION LEGEND

SYM	DESCRIPTION
[Symbol]	LIMIT OF WORK
[Symbol]	KEY LEGEND CALLOUT - ITEMS TO BE DEMOLISHED AND REMOVED
[Symbol]	KEY LEGEND CALLOUT - ITEMS TO REMAIN AND BE PROTECTED
[Symbol]	KEY LEGEND CALLOUT - BID ALTERNATE ITEMS
[Symbol]	SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
[Symbol]	DECOMPOSED GRANITE, INFELD FINES, AB &/OR SAND TO BE REMOVED PER SPECIFICATIONS. REMOVE EXCESS SOIL FROM SITE & DISPOSE IN LEGAL MANNER. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
[Symbol]	DEMOLISH AND REMOVE EXISTING HARDSCAPE PAVING INCLUDING BASE MATERIAL. CONTRACTOR TO DISPOSE OF IN A LEGAL MANNER.
[Symbol]	EXISTING TENNIS COURT SURFACING - PRIOR TO RESURFACING ALL CRACKS TO BE REPAIRED WITH CRACK REPAIR SYSTEM. CRACKS VARY IN WIDTH & LENGTH. CONTRACTOR SHALL VERIFY ON-SITE EXTENT OF WORK. CRACK REPAIR SHALL EXTEND TWELVE INCHES (12") BEYOND ENDS OF CRACK AT END OF EACH IDENTIFIED CRACK. ALL CRACK REPAIRS TO BE COMPLETED IN ACCORDANCE WITH CRACK REPAIR WRITTEN INSTRUCTIONS. REFER TO SPECIFICATIONS.
[Symbol]	EXISTING INFELD FINES REMAIN AND BE PROTECTED. INFELD FINES TO BE FINE GRADED AND GROOVED.
[Symbol]	TEMPORARY CONSTRUCTION FENCING
[Symbol]	DEMOLISH AND REMOVE EXISTING CURB, UTILITY LINE, AND/OR FENCE, INCLUDING POSTS, FABRIC, CURBS, EDGE BANDS AND FOOTINGS
[Symbol]	SAWCUT
[Symbol]	LIMIT OF CLEAR AND GRUB
[Symbol]	TREE SHALL BE DEMOLISHED AND REMOVED
[Symbol]	TREE TO REMAIN AND BE PROTECTED, REFER TO SPECIFICATIONS

ITEMS TO BE PROTECTED OR RELOCATED

- AA POSTS TO REMAIN, BE PROTECTED AND PAINTED. NETS TO BE DEMOLISHED AND REMOVED.
- A EXISTING FENCE, GATE AND/OR BOLLARD TO REMAIN AND BE PROTECTED.
- B EXISTING BUILDING TO REMAIN AND BE PROTECTED.
- C EXISTING HARDSCAPE TO REMAIN AND BE PROTECTED.
- D EXISTING CATCH BASINS OR DRAIN STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. THE OUTLET PIPES OF THESE CATCH BASINS ARE TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
- E EXISTING ELECTRICAL, COMMUNICATION, AND DATA LINES AND COMPONENTS TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR INFORMATION.
- F EXISTING UTILITY BOX AND UTILITY LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO RESET BOX TO MATCH PROPOSED FINISH GRADE.
- G EXISTING BATTING CAGE AND ITS EQUIPMENT TO REMAIN AND BE PROTECTED.
- H EXISTING IRRIGATION EQUIPMENT AND/OR LINES TO REMAIN AND BE PROTECTED.
- I TREE TO REMAIN AND BE PROTECTED. CLEAR WEEDS UNDER CANOPY AND PROTECT ROOT ZONE. REFER TO SPECIFICATIONS.
- J EXISTING STORAGE CONTAINERS TO BE SALVAGED AND TURNED OVER TO DISTRICT.
- K EXISTING SIGNS TO REMAIN AND BE PROTECTED.
- L EXISTING BACKSTOP BOARDS TO REMAIN AND BE PROTECTED. CONTRACTOR TO PAINT BOARDS AND INSTALL NEW HARDWARE AS NECESSARY. COLOR TO MATCH VARSITY BACKSTOPS.
- M EXISTING POST, GUARD POST AND/OR BOLLARD TO REMAIN AND BE PROTECTED.
- N SURVEY MARKER TO REMAIN AND BE PROTECTED.
- O EXISTING CONCRETE PADS TO REMAIN AND BE PROTECTED.
- P EXISTING WATER VALVE, BOX, BACKFLOW OR STRUCTURE TO REMAIN AND BE PROTECTED.
- Q EXISTING LIGHT FIXTURE, POST, ELECTRICAL COMPONENTS, AND FOOTING TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
- R EXISTING PLACARD AND FLAGPOLE TO REMAIN AND BE PROTECTED.
- S EXISTING BASEBALL/ SOFTBALL BASES AND MOUNDS TO REMAIN AND BE PROTECTED. BASES REMOVED AND STORED DURING CONSTRUCTION.
- T EXISTING CELL YARD AND ALL EQUIPMENT TO REMAIN AND BE PROTECTED.
- U EXISTING SANITARY SEWER STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
- V EXISTING SCOREBOARD AND ITS STRUCTURES INCLUDING ELECTRICAL LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.
- W EXISTING EDGE BAND, AND/OR CURB, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
- X EXISTING BASKETBALL HOOP AND POST, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
- Y EXISTING CONCRETE WALL, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
- Z EXISTING GAS LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.

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CONSULTANT

KEY MAP

DEMOLITION PLAN - VARSITY BASEBALL FIELD

PROJECT NAME
**JOHN F. KENNEDY
 HIGH SCHOOL
 BASEBALL, SOFTBALL,
 & TENNIS COURT
 IMPROVEMENTS**

PROJECT ADDRESS
**6715 GLORIA DRIVE
 SACRAMENTO, CA 95831**

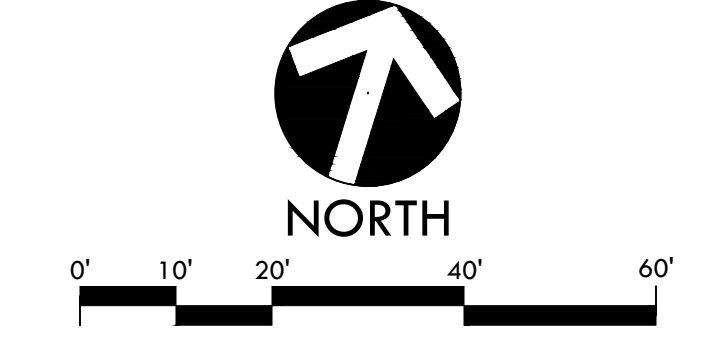
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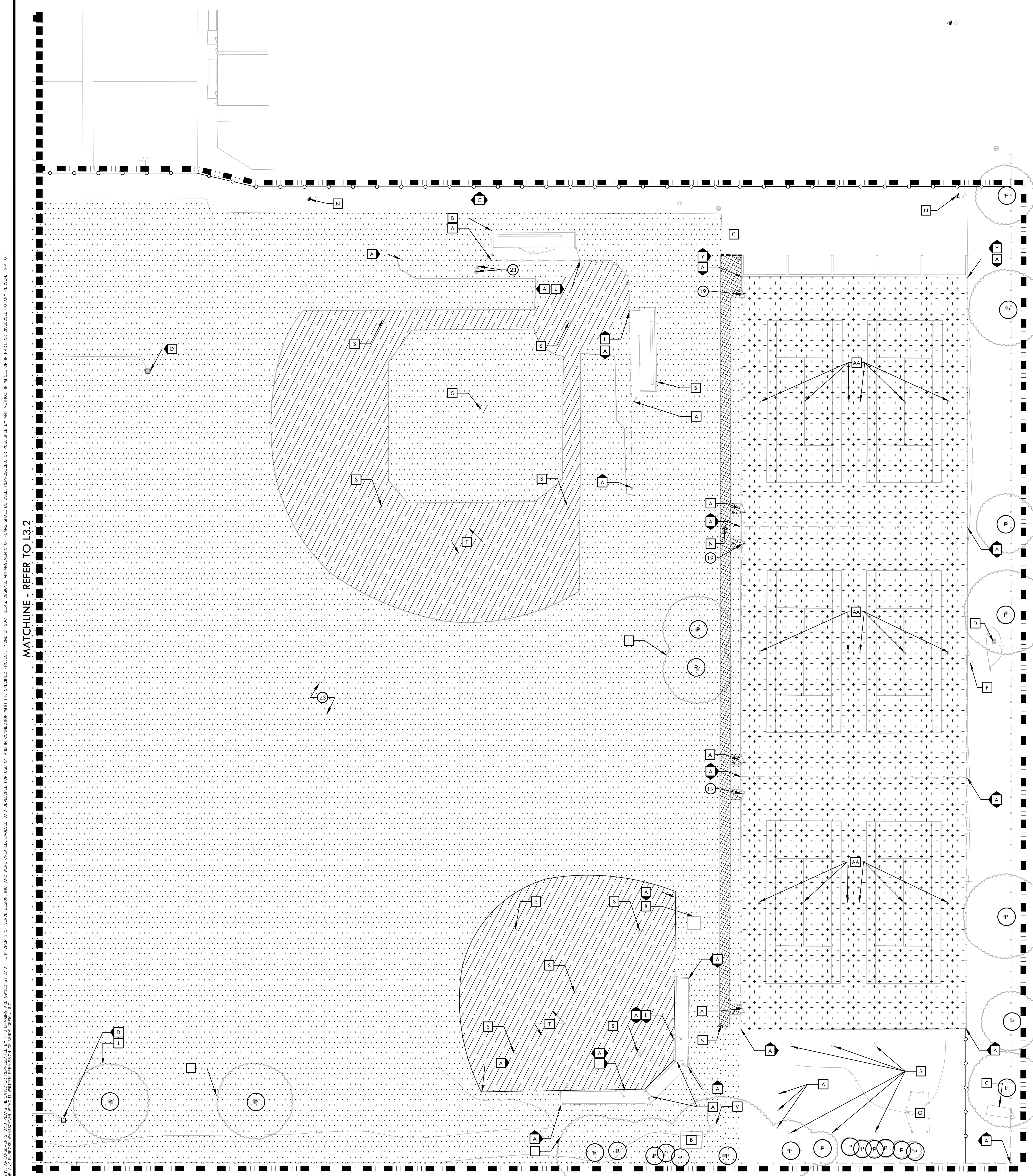
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 CHECKED BY: CS/MB
 DATE ISSUED: 10/25/23
 SCALE: 1"=20'-0"

PROJ. NO. 2304200

SHEET NO. L3.2





- ITEMS TO BE DEMOLISHED**
- EXISTING FENCING, EDGE BAND, AND/OR CURB, INCLUDING FOOTING, TO BE DEMOLISHED AND REMOVED.
 - EXISTING POST, GUARD POST AND/OR BOLLARD TO BE DEMOLISHED AND REMOVED.
 - EXISTING FURNISHINGS TO BE DEMOLISHED AND REMOVED.
 - BASES AND MOUND TO BE DEMOLISHED AND REMOVED.
 - NOT USED
 - EXISTING BACKSTOP AND FOOTINGS TO BE DEMOLISHED AND REMOVED.
 - EXISTING BATTING CAGE, FENCING, NETTING, FOOTINGS, ELECTRICAL AND RELATED STRUCTURES TO BE DEMOLISHED AND REMOVED.
 - EXISTING UTILITY BOXES TO BE DEMOLISHED AND REMOVED.
 - NOT USED
 - EXISTING LIGHT FIXTURE, POST, FOOTING, AND ASSOCIATIVE UTILITY BOX TO BE DEMOLISHED AND REMOVED. LIGHT FIXTURES TO BE RETURNED TO DISTRICT YARD.
 - NOT USED
 - EXISTING ELECTRICAL LINES, BOXES, POLE AND EQUIPMENT TO BE DEMOLISHED & REMOVED. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
 - SURVEY MARKER TO BE DEMOLISHED AND REMOVED.
 - EXISTING DRAIN STRUCTURE TO BE DEMOLISHED AND REMOVED. ALL DRAIN LINES TO BE ABANDONED IF NOT OBSTRUCTING FUTURE IMPROVEMENTS. DRAIN LINES OBSTRUCTING FUTURE IMPROVEMENTS TO BE DEMOLISHED AND REMOVED.
 - EXISTING BLEACHER TO BE REMOVED AND RETURNED TO DISTRICT FOR STORAGE.
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 - EXISTING IRRIGATION POINT OF CONNECTION. EXISTING IRRIGATION BOOSTER PUMP TO BE CAPED AND REMOVED. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY AND TRACE EXISTING IRRIGATION MAIN LINE ROUTE AND CONNECT TO NEW MAIN LINE. EXISTING IRRIGATION CONTROLLER TO BE REPLACED BY NEW IRRIGATION CONTROLLER. CONTRACTOR TO FIELD VERIFY LANDSCAPE AREAS BEING OPERATED BY THE CONTROLLER. MASTER VALVE AND FLOW SENSOR TO BE RELOCATED AND REPLACED. FOR STATIONS LOCATED OUTSIDE OF IMPROVEMENTS, CONTRACTOR SHALL BE RESPONSIBLE TO CONNECT VALVES TO NEW CONTROLLER. SALVAGE AND RETURN EQUIPMENT TO DISTRICT.
 - EXISTING TRUNCATED DOMES TO BE DEMOLISHED AND REMOVED. CONTRACTOR TO SAWCUT TO NEAREST SCORE LINE OR EXPANSION JOINT. 1" OF AC PAVING TO BE SAWCUT AND REMOVED FOR FORMING OF NEW CONCRETE. REFER TO MATERIALS PLAN FOR ADDITIONAL INFORMATION.
 - EXISTING GATE AND POSTS TO BE DEMOLISHED AND REMOVED AT TENNIS COURTS. CHAIN LINK FABRIC TO BE PULLED BACK AND TIED BACK IN TO NEW POSTS FOR GATE.
 - NOT USED
 - EXISTING DRINKING FOUNTAIN TO BE DEMOLISHED AND REMOVED. NEW ACCESSIBLE DRINKING FOUNTAIN TO REPLACE EXISTING. CONTRACTOR TO COORDINATE WITH PLUMBER FOR TEMPORARY SHUTOFF. REUSE OF ALL UTILITIES.
 - ADA PARKING STALLS TO BE REPAIRED AND EXISTING SIGNAGE ADJUSTED TO FACE STALL.
 - EXISTING IRRIGATION VALVES, LATERAL LINES, AND ROTORS TO BE DEMOLISHED AND REMOVED OR ABANDONED. REFER TO IRRIGATION PLAN 19.1 - 4 FOR MORE INFORMATION.

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DEMOLITION LEGEND

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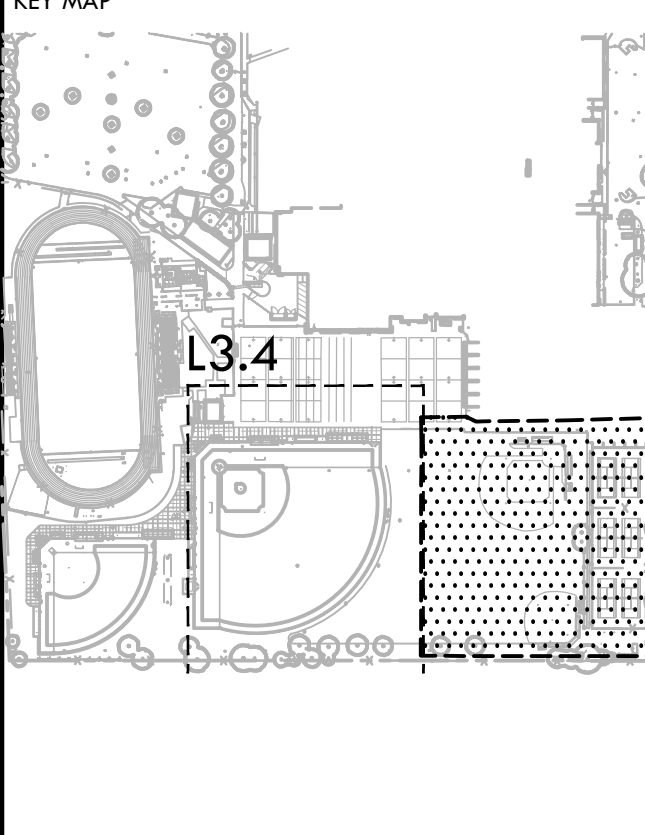
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[Symbol]	EXISTING CONCRETE WALL, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
[Symbol]	EXISTING GAS LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.

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CONSULTANT



SHEET TITLE
DEMOLITION PLAN - JV FIELDS AND TENNIS COURTS

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

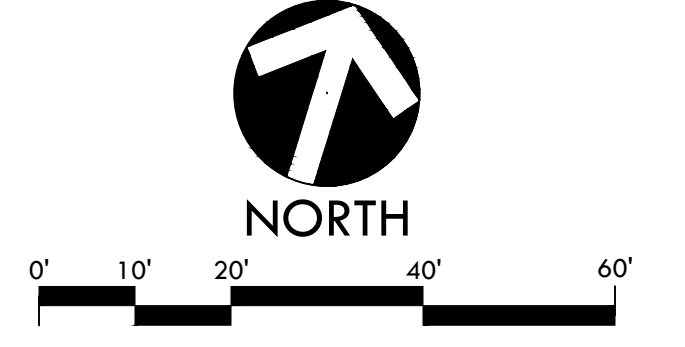
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50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

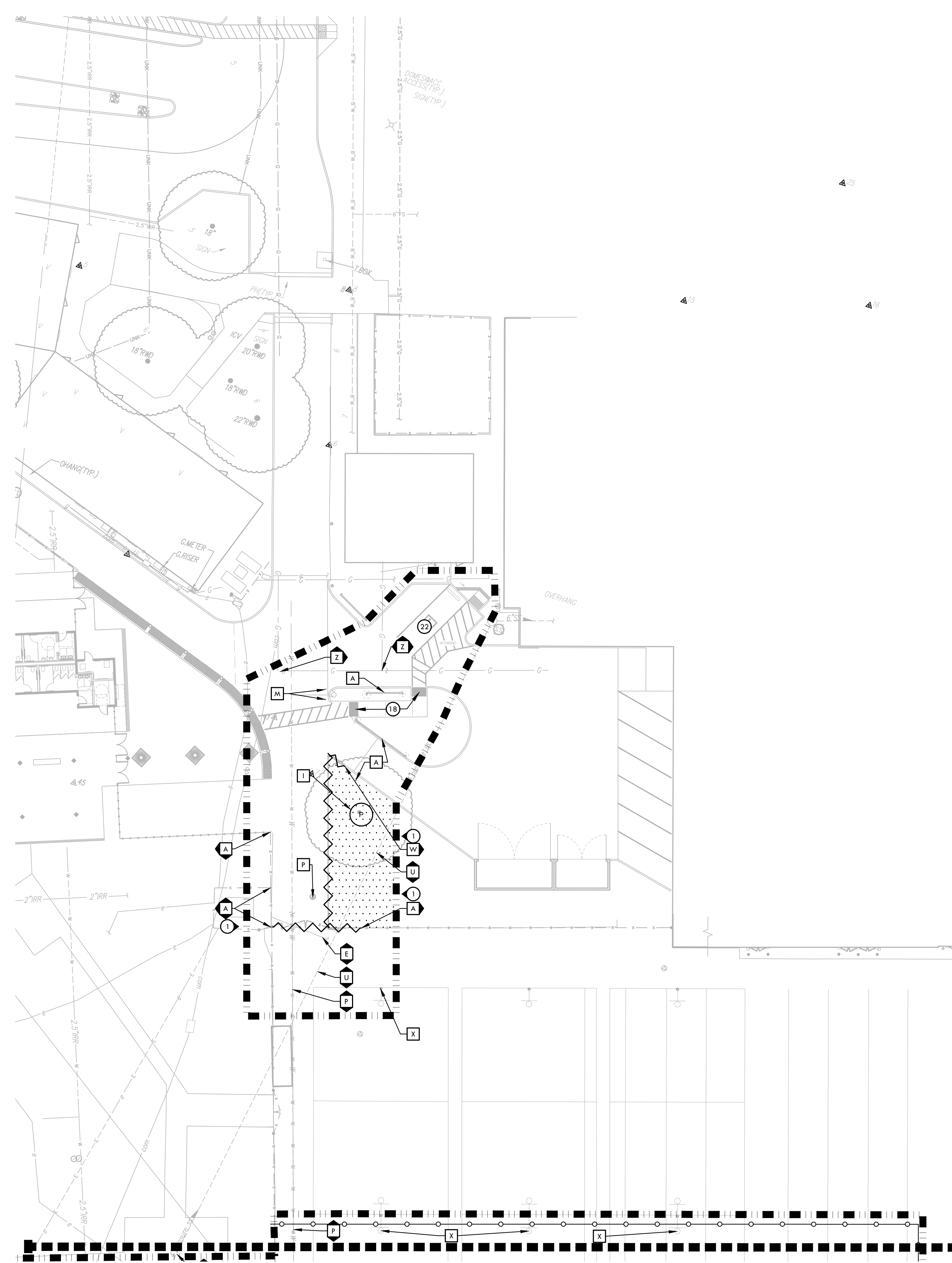
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DATE ISSUED 10/25/23	SCALE 1"=20'-0"
PROJ. NO. 2304200	SHEET NO. L3.3

DEMOLITION PLAN - JV FIELDS AND TENNIS COURTS

MATCHLINE - REFER TO L3.2
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- ### ITEMS TO BE DEMOLISHED
- 1 EXISTING FENCING, EDGE BAND, AND/OR CURB, INCLUDING FOOTING, TO BE DEMOLISHED AND REMOVED.
 - 2 EXISTING POST, GUARD POST AND/OR BOLLARD TO BE DEMOLISHED AND REMOVED.
 - 3 EXISTING FURNISHINGS TO BE DEMOLISHED AND REMOVED.
 - 4 BASES AND MOUND TO BE DEMOLISHED AND REMOVED.
 - 5 NOT USED
 - 6 EXISTING BACKSTOP AND FOOTINGS TO BE DEMOLISHED AND REMOVED.
 - 7 EXISTING BATTING CAGE, FENCING, NETTING, FOOTINGS, ELECTRICAL AND RELATED STRUCTURES TO BE DEMOLISHED AND REMOVED.
 - 8 EXISTING UTILITY BOXES TO BE DEMOLISHED AND REMOVED.
 - 9 NOT USED
 - 10 EXISTING LIGHT FIXTURE, POST, FOOTING, AND ASSOCIATIVE UTILITY BOX TO BE DEMOLISHED AND REMOVED. LIGHT FIXTURES TO BE RETURNED TO DISTRICT YARD.
 - 11 NOT USED
 - 12 EXISTING ELECTRICAL LINES, BOXES, POLE AND EQUIPMENT TO BE DEMOLISHED & REMOVED. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
 - 13 SURVEY MARKER TO BE DEMOLISHED AND REMOVED.
 - 14 EXISTING DRAIN STRUCTURE TO BE DEMOLISHED AND REMOVED. ALL DRAIN LINES TO BE ABANDONED IF NOT OBSTRUCTING FUTURE IMPROVEMENTS. DRAIN LINES OBSTRUCTING FUTURE IMPROVEMENTS TO BE DEMOLISHED AND REMOVED.
 - 15 EXISTING BLEACHER TO BE REMOVED AND RETURNED TO DISTRICT FOR STORAGE.
 - 16 EXISTING BUILDING TO BE DEMOLISHED AND REMOVED. CONTENTS TURNED OVER TO DISTRICT.
 - 17 EXISTING IRRIGATION POINT OF CONNECTION, EXISTING IRRIGATION BOOSTER PUMP TO BE CAPPED AND REMOVED. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY AND TRACE EXISTING IRRIGATION MAIN LINE ROUTE AND CONNECT TO NEW MAIN LINE. EXISTING IRRIGATION CONTROLLER TO BE REPLACED BY NEW IRRIGATION CONTROLLER. CONTRACTOR TO FIELD VERIFY LANDSCAPE AREAS BEING OPERATED BY THE CONTROLLER. MASTER VALVE AND FLOW SENSOR TO BE RELOCATED AND REPLACED. FOR STATIONS LOCATED OUTSIDE OF IMPROVEMENTS, CONTRACTOR SHALL BE RESPONSIBLE TO CONNECT VALVES TO NEW CONTROLLER. SALVAGE AND RETURN EQUIPMENT TO DISTRICT.
 - 18 EXISTING TRUNCATED DOMES TO BE DEMOLISHED AND REMOVED. CONTRACTOR TO SAWCUT AND REMOVED FOR FORMING OF NEW CONCRETE. REFER TO MATERIALS PLAN FOR ADDITIONAL INFORMATION.
 - 19 EXISTING GATE AND POSTS TO BE DEMOLISHED AND REMOVED AT TENNIS COURTS. CHAIN LINK FABRIC TO BE PULLED BACK AND TIED BACK IN TO NEW POSTS FOR GATE.
 - 20 NOT USED
 - 21 EXISTING DRINKING FOUNTAIN TO BE DEMOLISHED AND REMOVED. NEW ACCESSIBLE DRINKING FOUNTAIN TO REPLACE EXISTING. CONTRACTOR TO COORDINATE WITH PLUMBER FOR TEMPORARY SHUTOFF. REUSE OF ALL UTILITIES.
 - 22 ADA PARKING STALLS TO BE REPAIRED AND EXISTING SIGNAGE ADJUSTED TO FACE STALL.
 - 23 EXISTING IRRIGATION VALVES, LATERAL LINES, AND ROTORS TO BE DEMOLISHED AND REMOVED OR ABANDONED. REFER TO IRRIGATION PLAN L9.1 - 4 FOR MORE INFORMATION.

- ### DEMOLITION NOTES
1. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS & SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
 2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES & PROVIDE THE REQUIRED COORDINATION FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE DISTRICT TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
 3. THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXACT EXTENT & DEPTH OF SITE DEMOLITION REQUIRED & VERIFY COMPLIANCE WITH DRAWINGS. THE DISTRICT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 4. CONTRACTOR SHALL COMPLETE POT-HOLING & UTILITY LOCATIONS PRIOR TO CONSTRUCTION COMMENCING. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES & SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES & SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN & THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DISTRICT'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 277-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT. NOTIFY THE DISTRICT'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE & REDIRECT WORK TO AVOID DELAY.
 5. ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY & ALL DAMAGES TO ADJACENT PROPERTIES. THE DAMAGED ITEMS SHALL BE RESTORED TO AN "AS-WAS" OR BETTER CONDITION OR REPLACED PER THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
 6. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE & SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES WHICH SHALL BE MINIMUM 6 FEET HIGH WITH A TOP & BOTTOM RAIL WITH KNUCKLED TOP & BOTTOM SELVAGE (NO BARBED WIRE PERMITTED). SHALL INCLUDE FULL HEIGHT GREEN SHADE CLOTH COVERING. THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
 7. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING TREE & PLANT MATERIALS NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "HAZARD ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRILLLINE OR PERMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
 8. REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING & OTHER PERTINENT INFORMATION.

DEMOLITION LEGEND

SYM	DESCRIPTION
[Dashed line]	LIMIT OF WORK
[Circle with 'A']	KEY LEGEND CALLOUT - ITEMS TO BE DEMOLISHED AND REMOVED
[Circle with 'B']	KEY LEGEND CALLOUT - ITEMS TO REMAIN AND BE PROTECTED
[Circle with 'XX']	KEY LEGEND CALLOUT - BID ALTERNATE ITEMS
[Stippled pattern]	SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
[Cross-hatched pattern]	DECOMPOSED GRANITE, INFELD FINES, AB &/OR SAND TO BE REMOVED PER SPECIFICATIONS. REMOVE EXCESS SOIL FROM SITE & DISPOSE IN LEGAL MANNER. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
[Dotted pattern]	DEMOLISH AND REMOVE EXISTING HARDSCAPE PAVING INCLUDING BASE MATERIAL. CONTRACTOR TO DISPOSE OF IN A LEGAL MANNER.
[Crack pattern]	EXISTING TENNIS COURT SURFACING - PRIOR TO RESURFACING ALL CRACKS TO BE REPAIRED WITH CRACK REPAIR SYSTEM. CRACKS VARY IN WIDTH & LENGTH. CONTRACTOR SHALL VERIFY ON-SITE EXTENT OF WORK. CRACK REPAIR SHALL EXTEND TWELVE INCHES (12") BEYOND ENDS OF CRACK AT END OF EACH IDENTIFIED CRACK. ALL CRACK REPAIRS TO BE COMPLETED IN ACCORDANCE WITH CRACK REPAIR WRITTEN INSTRUCTIONS. REFER TO SPECIFICATIONS.
[Diagonal lines]	EXISTING INFELD FINES REMAIN AND BE PROTECTED. INFELD FINES TO BE FINE GRADED AND GROOVED.
[Wavy line]	TEMPORARY CONSTRUCTION FENCING
[Dashed line with 'X']	DEMOLISH AND REMOVE EXISTING CURB, UTILITY LINE, AND/OR FENCE, INCLUDING POSTS, FABRIC, CURBS, EDGE BANDS AND FOOTINGS
[Dashed line]	SAWCUT
[Dotted pattern]	LIMIT OF CLEAR AND GRUB
[Circle with 'X']	TREE SHALL BE DEMOLISHED AND REMOVED
[Circle with 'P']	TREE TO REMAIN AND BE PROTECTED. REFER TO SPECIFICATIONS

- ### ITEMS TO BE PROTECTED OR RELOCATED
- [AA] POSTS TO REMAIN, BE PROTECTED AND PAINTED. NETS TO BE DEMOLISHED AND REMOVED.
 - [A] EXISTING FENCE, GATE AND/OR BOLLARD TO REMAIN AND BE PROTECTED.
 - [B] EXISTING BUILDING TO REMAIN AND BE PROTECTED.
 - [C] EXISTING HARDSCAPE TO REMAIN AND BE PROTECTED.
 - [D] EXISTING CATCH BASINS OR DRAIN STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. THE OUTLET PIPES OF THESE CATCH BASINS ARE TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
 - [E] EXISTING ELECTRICAL, COMMUNICATION, AND DATA LINES AND COMPONENTS TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR INFORMATION.
 - [F] EXISTING UTILITY BOX AND UTILITY LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO RESET BOX TO MATCH PROPOSED FINISH GRADE.
 - [G] EXISTING BATTING CAGE AND ITS EQUIPMENT TO REMAIN AND BE PROTECTED.
 - [H] EXISTING IRRIGATION EQUIPMENT AND/OR LINES TO REMAIN AND BE PROTECTED.
 - [I] TREE TO REMAIN AND BE PROTECTED. CLEAR WEEDS UNDER CANOPY AND PROTECT ROOT ZONE. REFER TO SPECIFICATIONS.
 - [J] EXISTING STORAGE CONTAINERS TO BE SALVAGED AND TURNED OVER TO DISTRICT.
 - [K] EXISTING SIGNS TO REMAIN AND BE PROTECTED.
 - [L] EXISTING BACKSTOP BOARDS TO REMAIN AND BE PROTECTED. CONTRACTOR TO PAINT BOARDS AND INSTALL NEW HARDWARE AS NECESSARY. COLOR TO MATCH VARSITY BACKSTOPS.
 - [M] EXISTING POST, GUARD POST AND/OR BOLLARD TO REMAIN AND BE PROTECTED.
 - [N] SURVEY MARKER TO REMAIN AND BE PROTECTED.
 - [O] EXISTING CONCRETE PADS TO REMAIN AND BE PROTECTED.
 - [P] EXISTING WATER VALVE, BOX, BACKFLOW OR STRUCTURE TO REMAIN AND BE PROTECTED.
 - [Q] EXISTING LIGHT FIXTURE, POST, ELECTRICAL COMPONENTS, AND FOOTING TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
 - [R] EXISTING PLACARD AND FLAGPOLE TO REMAIN AND BE PROTECTED.
 - [S] EXISTING BASEBALL/ SOFTBALL BASES AND MOUNDS TO REMAIN AND BE PROTECTED. BASES REMOVED AND STORED DURING CONSTRUCTION.
 - [T] EXISTING CELL YARD AND ALL EQUIPMENT TO REMAIN AND BE PROTECTED.
 - [U] EXISTING SANITARY SEWER STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
 - [V] EXISTING SCOREBOARD AND ITS STRUCTURES INCLUDING ELECTRICAL LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.
 - [W] EXISTING EDGE BAND, AND/OR CURB, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
 - [X] EXISTING BASKETBALL HOOP AND POST, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
 - [Y] EXISTING CONCRETE WALL, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
 - [Z] EXISTING GAS LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.

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REGISTERED LANDSCAPE ARCHITECT
 No. 1005
 EXPIRATION DATE: 12/31/2025
 STATE OF CALIFORNIA

CONSULTANT

KEY MAP

SHEET TITLE

DEMOLITION PLAN - ACCESS

PROJECT NAME

**JOHN F. KENNEDY
 HIGH SCHOOL
 BASEBALL, SOFTBALL,
 & TENNIS COURT
 IMPROVEMENTS**

PROJECT ADDRESS

**6715 GLORIA DRIVE
 SACRAMENTO, CA 95831**

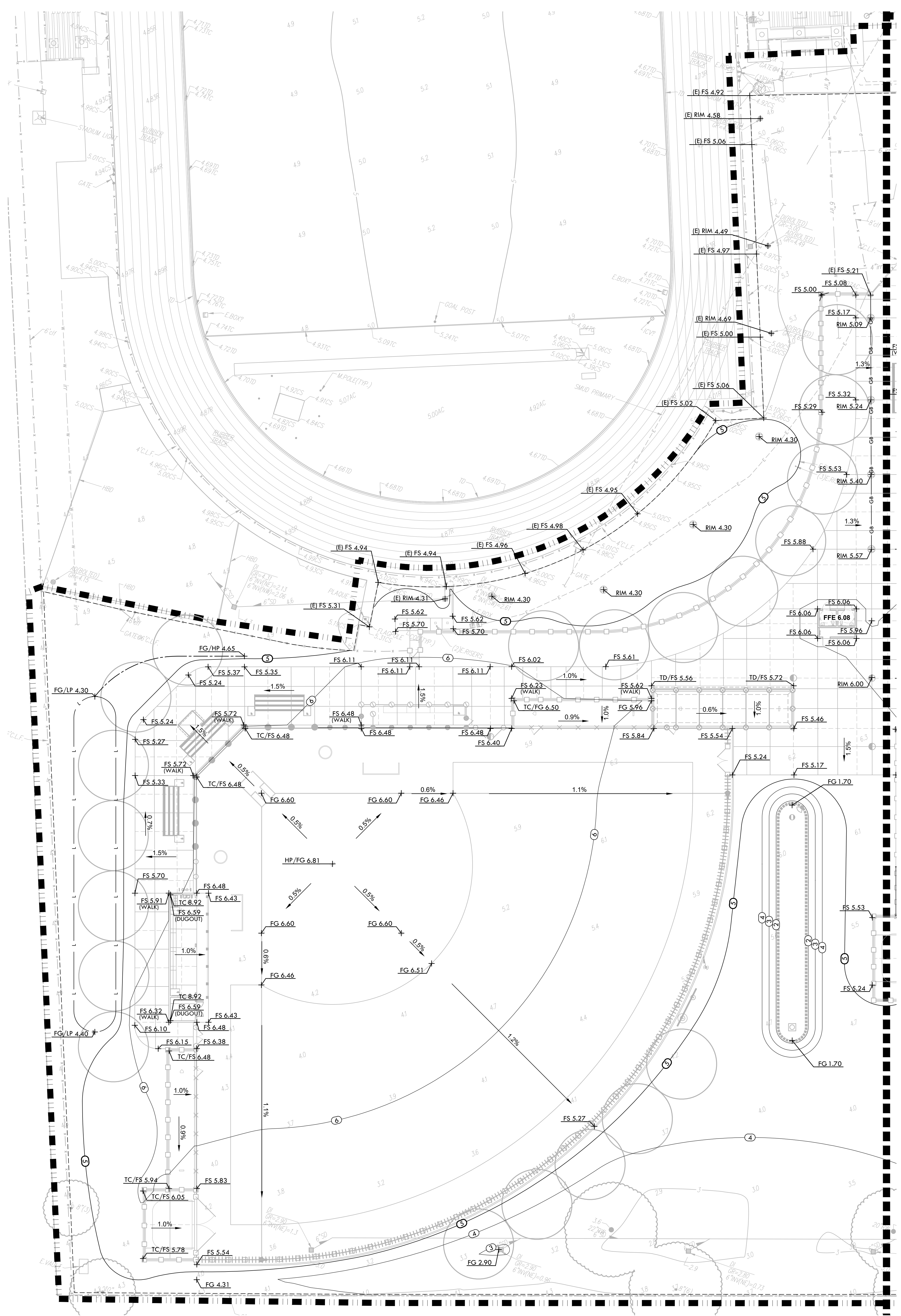
SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

DRAWN BY RN	CHECKED BY CS/MB
DATE ISSUED 10/25/23	SCALE 1"=20'-0"
PROJ. NO. 2304200	
SHEET NO. L3.4	

DEMOLITION PLAN - ACCESS

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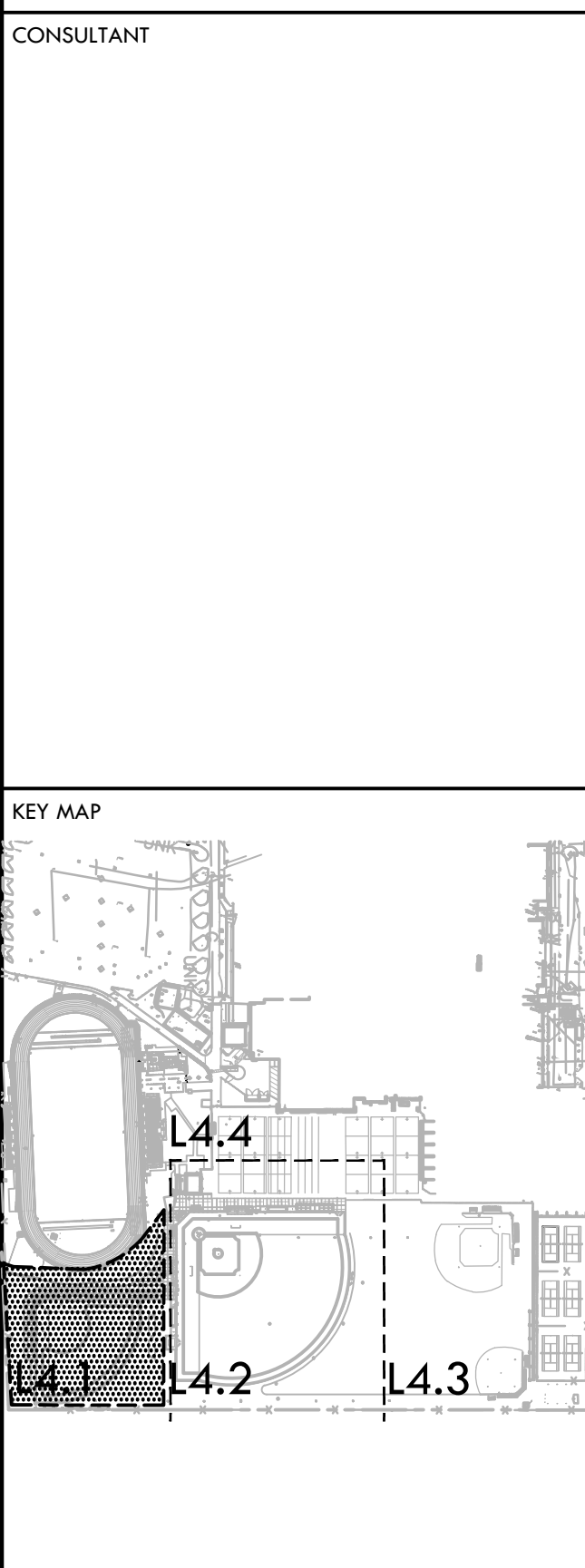
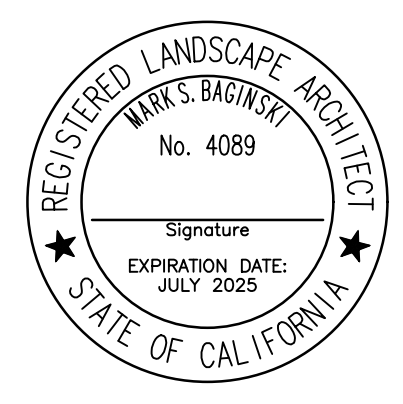


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GRADING LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK
	LIMIT OF GRADING - CONFORM TO EXISTING GRADES AT THIS LINE
	CROWN OF FIELD, OR RIDGE LINE
	LOW POINT
	GRADE BREAK
	CENTERLINE OF SWALE
	BOTTOM OF BIORETENTION BASIN, REFER TO DRAINAGE PLANS.
	PROPOSED CONTOUR
	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
	HIGH POINT/ HIGH POINT OF SWALE
	LOW POINT/ RIM ELEVATION OF DRAIN
	TOP OF CURB
	TRENCH DRAIN ELEVATION
	CONFORM TO EXISTING GRADE
	FLOW DIRECTION IN SOFTSCAPE
	SLOPE AND DIRECTION
	EXISTING CONTOUR
	EXISTING ELEVATION

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SHEET TITLE
GRADING PLAN - VARSITY SOFTBALL FIELD

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

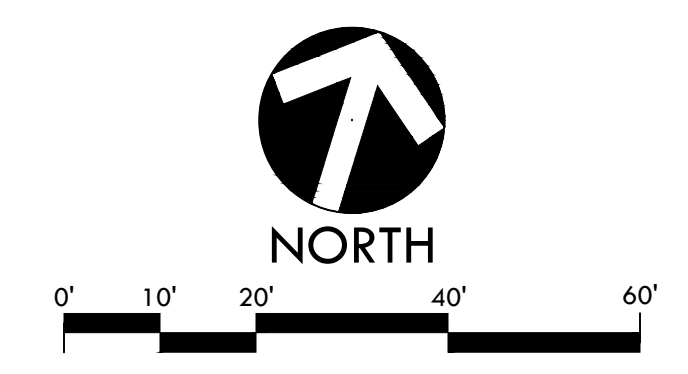
PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

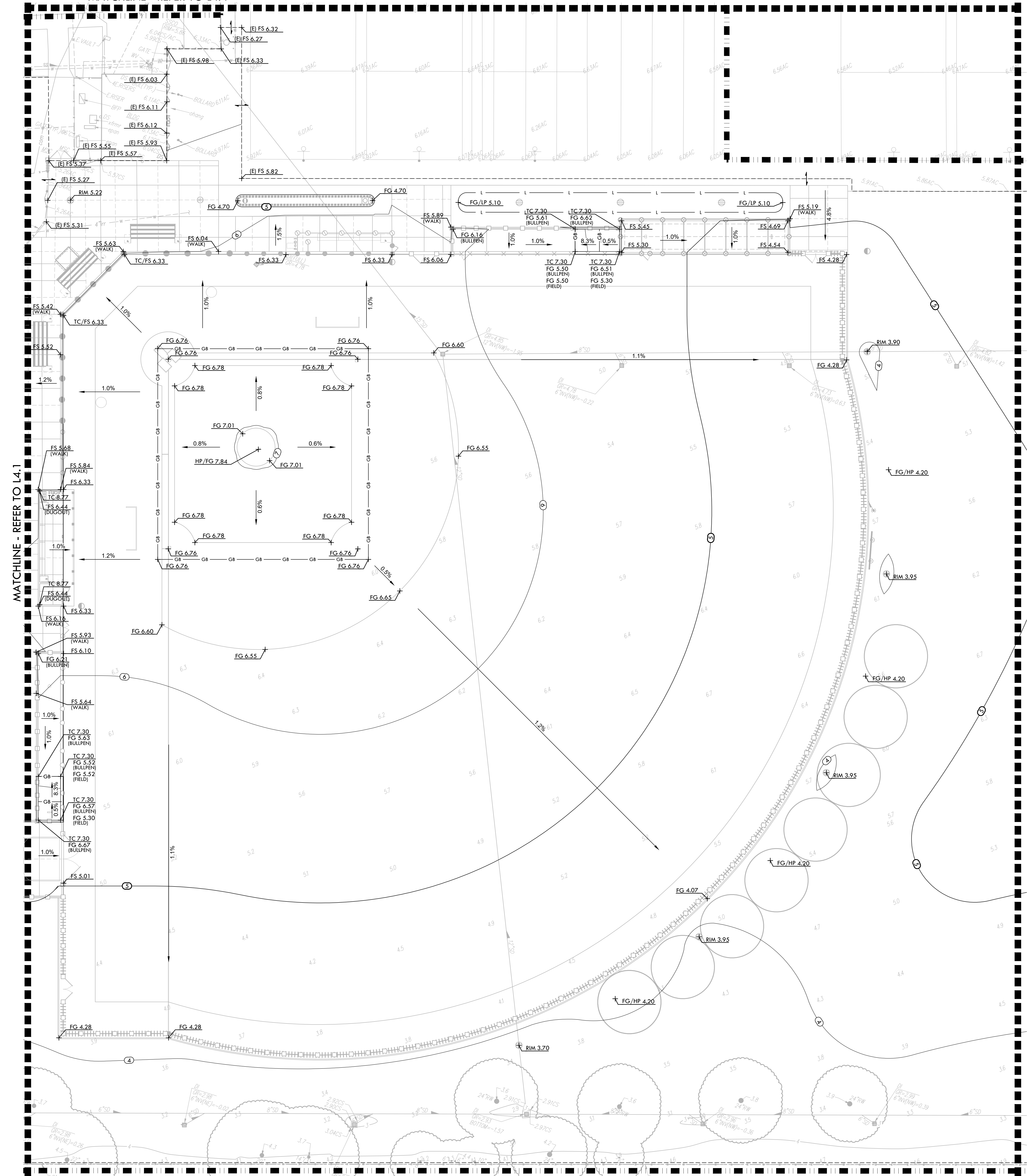
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 PROJ. NO.: 2304200

SHEET NO.
L4.1



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MATCHLINE - REFER TO L4.4



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GRADING LEGEND

SYM	DESCRIPTION
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	LIMIT OF GRADING - CONFORM TO EXISTING GRADES AT THIS LINE
	CROWN OF FIELD, OR RIDGE LINE
	LOW POINT
	GRADE BREAK
	CENTERLINE OF SWALE
	BOTTOM OF BIORETENTION BASIN, REFER TO DRAINAGE PLANS.
	PROPOSED CONTOUR
	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
	HIGH POINT/ HIGH POINT OF SWALE
	LOW POINT/ RIM ELEVATION OF DRAIN
	TOP OF CURB
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CONSULTANT

KEY MAP

SHEET TITLE
GRADING PLAN - VARSITY BASEBALL FIELD

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

DRAWN BY: DK
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SHEET NO.
L4.2



GRADING NOTES

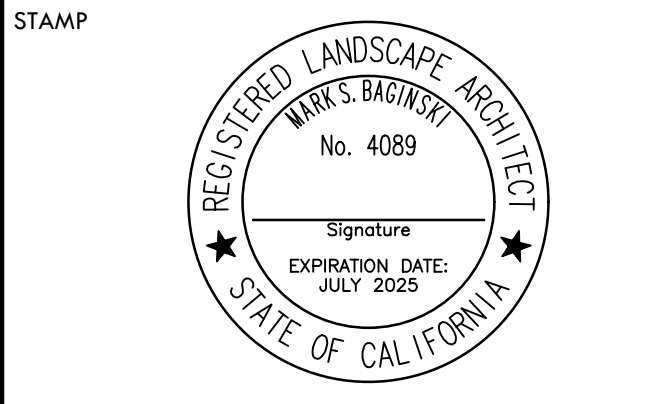
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GRADING LEGEND

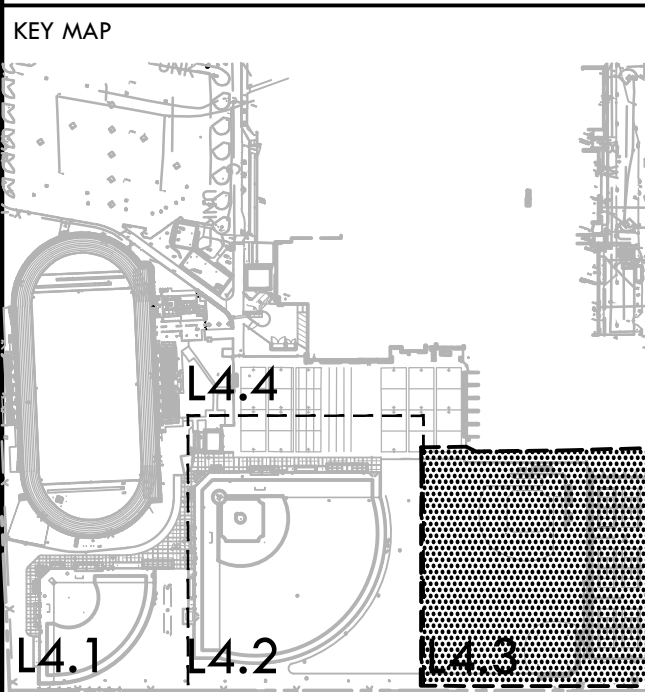
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	LOW POINT
	GRADE BREAK
	CENTERLINE OF SWALE
	BOTTOM OF BIORETENTION BASIN, REFER TO DRAINAGE PLANS.
	PROPOSED CONTOUR
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	TOP OF CURB
	TRENCH DRAIN ELEVATION
	CONFORM TO EXISTING GRADE
	FLOW DIRECTION IN SOFTSCAPE
	1.00% SLOPE AND DIRECTION
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STAMP
 CONSULTANT



SHEET TITLE
GRADING PLAN - JV FIELDS AND TENNIS COURTS

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

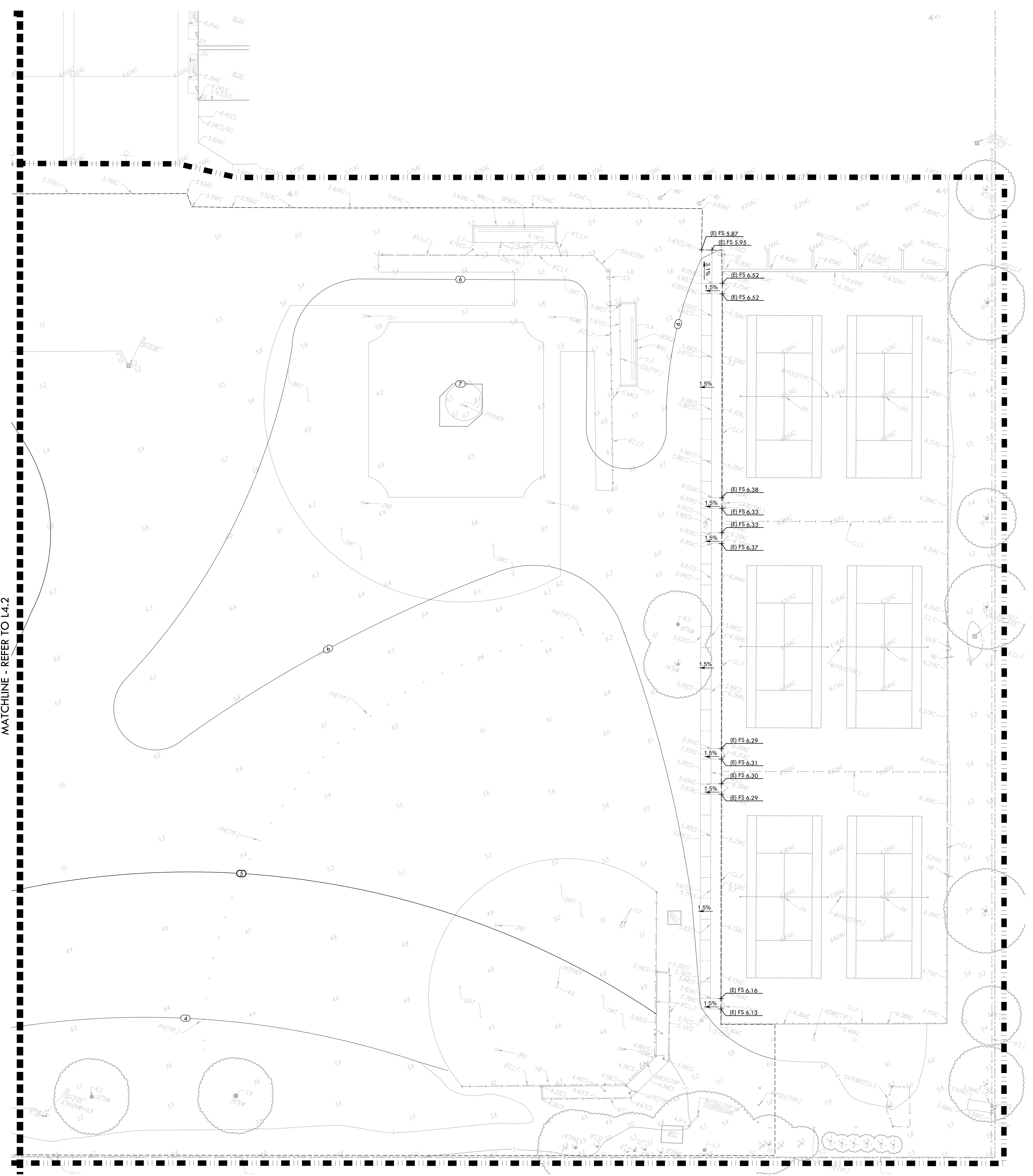
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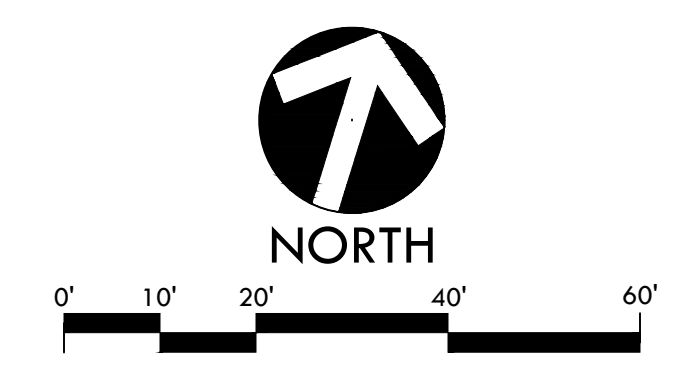
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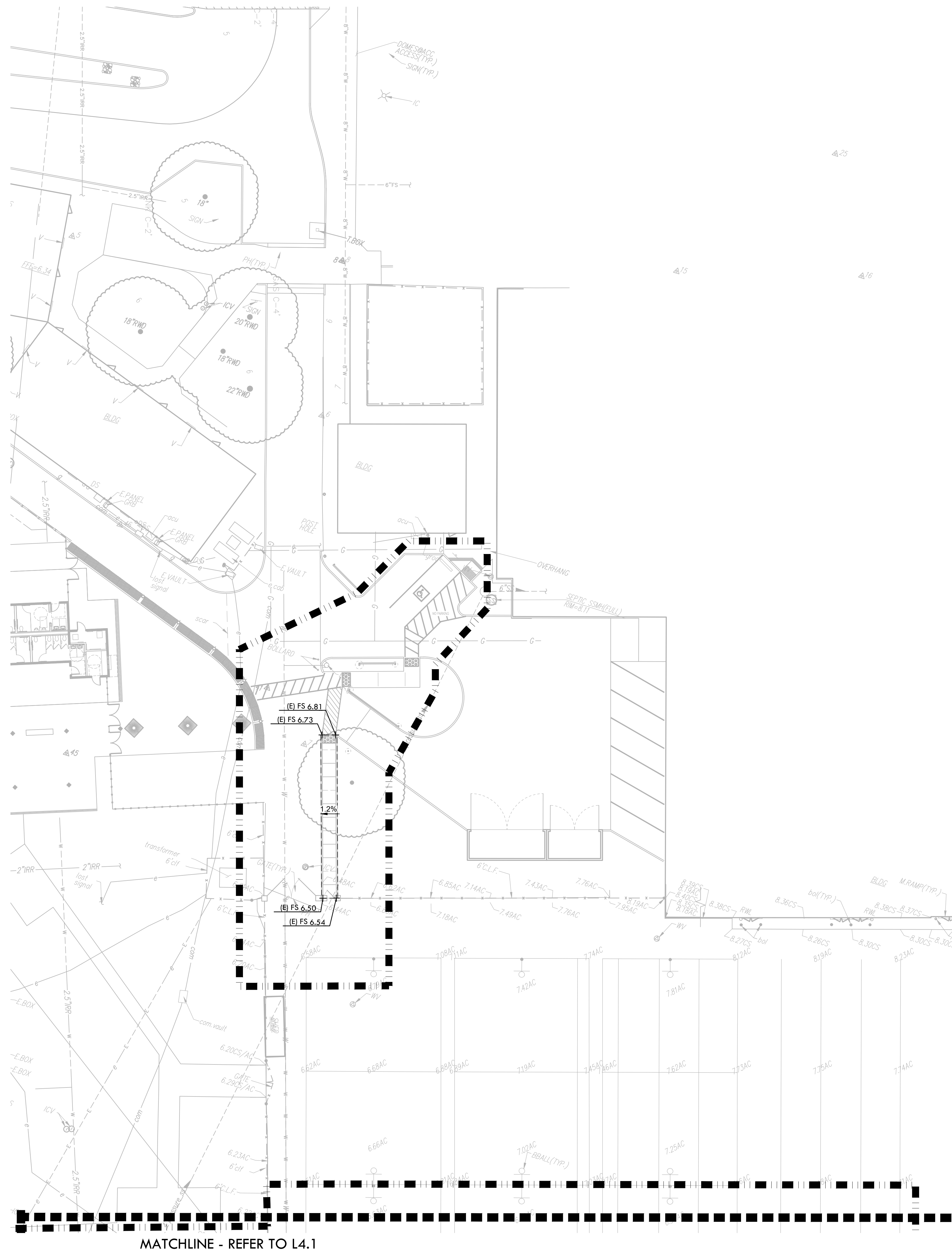


MATCHLINE - REFER TO L4.2



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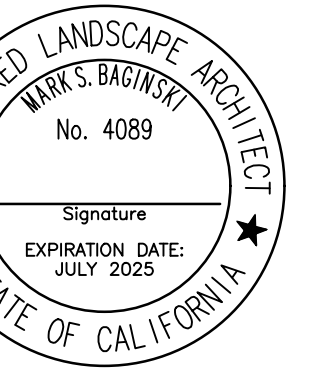
GRADING LEGEND

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	BOTTOM OF BIORETENTION BASIN, REFER TO DRAINAGE PLANS.
	PROPOSED CONTOUR
	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
	HIGH POINT/ HIGH POINT OF SWALE
	LOW POINT/ RIM ELEVATION OF DRAIN
	TOP OF CURB
	TRENCH DRAIN ELEVATION
	CONFORM TO EXISTING GRADE
	FLOW DIRECTION IN SOFTSCAPE
	SLOPE AND DIRECTION
	EXISTING CONTOUR
	EXISTING ELEVATION



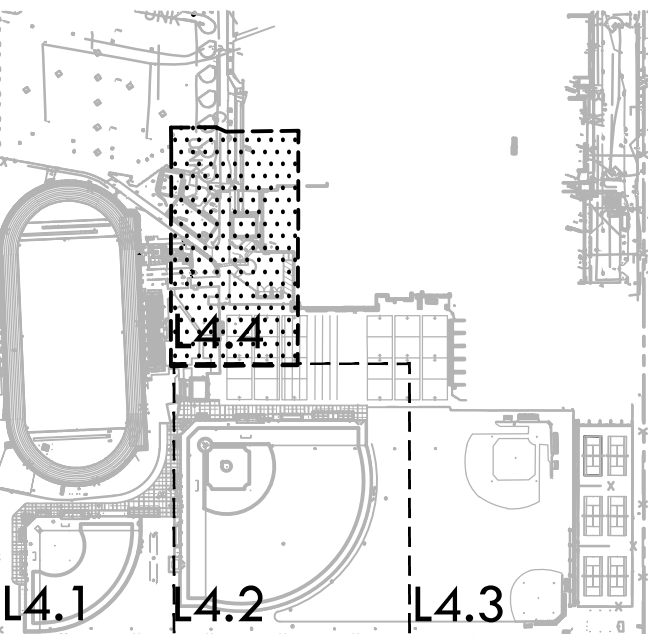
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 SPORT PLANNING & DESIGN
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 Folsom, CA 95630
 tel: 916.413.6554
 fax: 916.413.6525
 www.VerdeDesigninc.com

STAMP



CONSULTANT

KEY MAP



SHEET TITLE

GRADING PLAN - ACCESS

PROJECT NAME

**JOHN F. KENNEDY
HIGH SCHOOL
BASEBALL, SOFTBALL,
& TENNIS COURT
IMPROVEMENTS**

PROJECT ADDRESS

**6715 GLORIA DRIVE
SACRAMENTO, CA 95831**

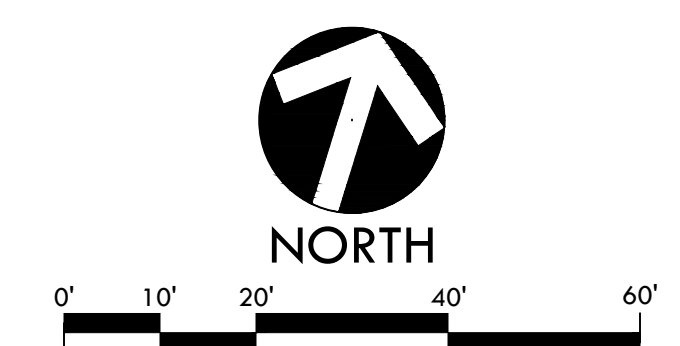
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50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE

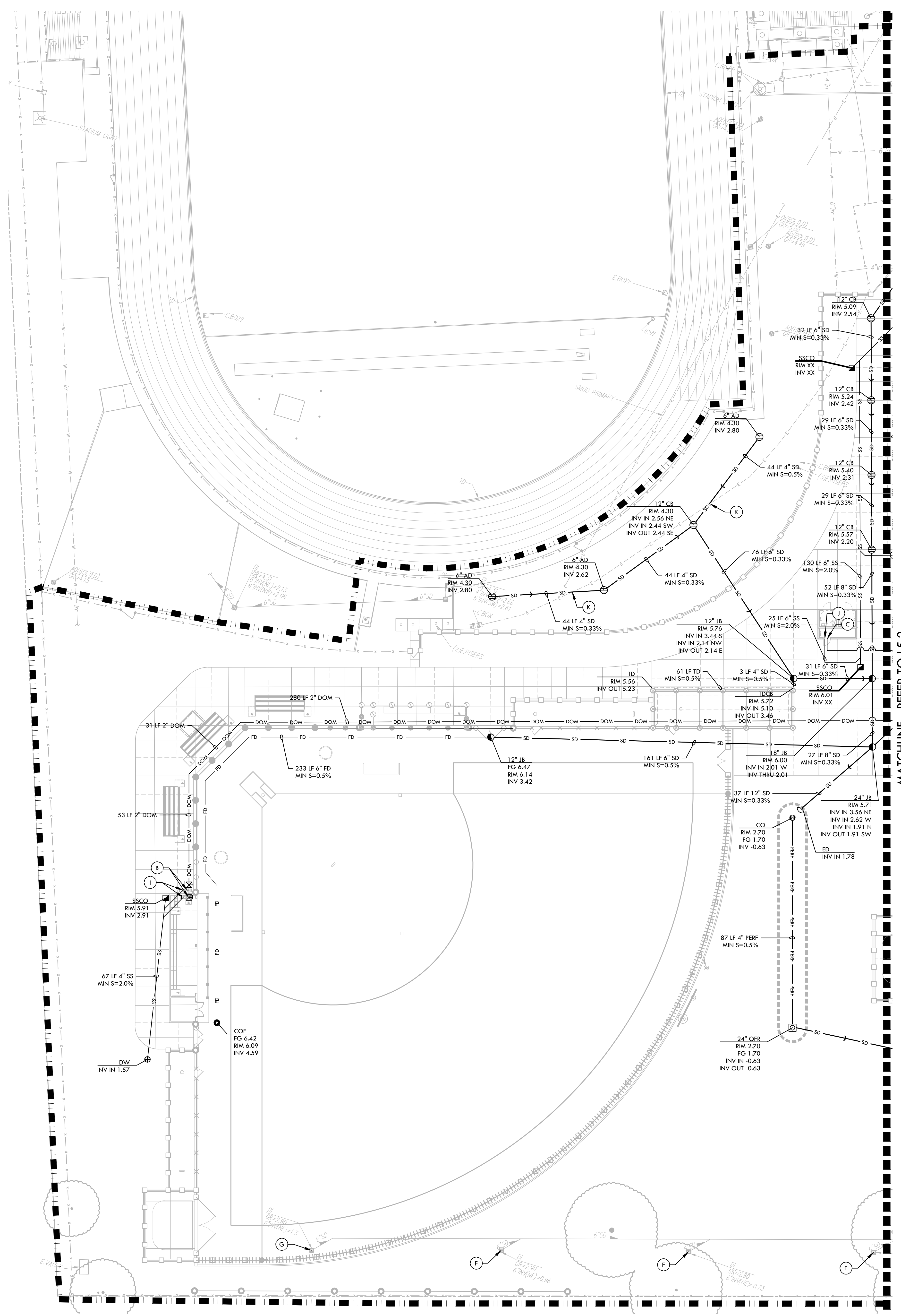
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PROJ. NO. 2304200

SHEET NO. **L4.4**



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DRAINAGE & UTILITY NOTES

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- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. TO REMAIN, SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.
- THE CONTRACTOR IS TO PROTECT DRAINAGE SYSTEM FROM DEBRIS, INCLUDING SOIL, ROCK MATERIAL, AND TRASH FROM ENTERING THE PIPE DURING CONSTRUCTION. CONTRACTOR SHALL AVOID PLACING CONSTRUCTION VEHICLES OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
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- ALL ABANDONED STORM LINES SHALL REMAIN IN PLACE UNLESS IN CONFLICT WITH PROPOSED DRAINAGE, UTILITY, OR SUBGRADING OPERATIONS, IN WHICH CASE ABANDONED PIPE IN CONFLICT SHALL BE REMOVED. REMAINING ABANDONED STORM PIPE SHALL BE SEALED WITH APPROPRIATELY SIZED CONCRETE CAP (3 SACK MIX) 6" ENVELOPE OUTSIDE AND INSIDE DIAMETER OF PIPE.
- PRIOR TO ALL DRAINAGE AND UTILITY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL POTENTIAL DRAINAGE CONNECTIONS AND EXISTING UTILITY BY POTHOLES. IN ADDITION, ALL DOWNSTREAM CONNECTIONS TO EXISTING STRUCTURES SHALL BE THE START OF THESE OPERATIONS, AND GRADES SHALL BE VERIFIED.
- WHEN WORK HAS TO OCCUR UNDER THE DRIFLINE OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES RADIAL TO THE EXISTING TREES RATHER THAN TANGENTIAL. ALL PARTIAL CUTS OR TEARS THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER EXCAVATION, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CARVAS.

DRAINAGE & UTILITY LEGEND

SYM	DESCRIPTION	DETAIL NUMBER	SHEET NUMBER
---	LIMIT OF WORK		
⊕	CATCH BASIN, SIZE PER PLAN (CB)	G	D1.1
⊙	JUNCTION BOX, SIZE PER PLAN (JB)	G	D1.1
⊖	CLEANOUT IN BIORETENTION AREA (COB)	A	D1.2
⊠	SANITARY SEWER CLEANOUT (SSCO)	D	D1.1
⊗	SANITARY SEWER MANHOLE (SSMH)	C	D1.1
⊙	CLEANOUT IN FINES (COF)	N	D1.1
⊕	DRY WELL FOR DRINKING FOUNTAIN (DW)	N	D1.1
⊠	DOMESTIC WATER GATE VALVE	D	D6.2
⊙	FIRE HYDRANT	D, E	D1.2
⊠	OVERFLOW RISER (OFR) WITH GRATE/STANDPIPE AT BIORETENTION AREA, SIZE PER PLAN	B	D1.2
⊙	ENERGY DISSIPATOR (ED)	C	D1.2
---	SOLID WALL STORM DRAIN	B	D1.1
---	FRENCH DRAIN	M	D1.1
---	INFILTRATION TRENCH AT BIORETENTION AREA	A	D1.2
---	SANITARY SEWER LINE	B	D1.1
---	DOMESTIC WATER LINE	B	D1.1
---	TRENCH DRAIN	J	D1.1
---	BIORETENTION AREA (BOTTOM OF BIORETENTION BASIN)	F	D1.2
A	DOMESTIC WATER POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION PRIOR TO INITIATING DRAINAGE IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
B	DOMESTIC WATER CONNECTION TO DRINKING FOUNTAIN		
C	DOMESTIC WATER CONNECTION TO BUILDING, REFER TO ARCHITECTURAL PLANS.		
D	REPLACE DRINKING FOUNTAIN AND RECONNECT TO EXISTING DOMESTIC WATER AND SANITARY SEWER		
E	STORM DRAIN POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO INITIATING DRAINAGE IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
F	PROTECT EXISTING DRAIN INLET IN PLACE		
G	REPLACE EXISTING GRATE WITH SOLID LID, BURY IN PLACE		
H	SANITARY SEWER POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO INITIATING DRAINAGE IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
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(E)	EXISTING		
INV	INVERT		
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RIM	RIM ELEVATION		
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SHEET TITLE
DRAINAGE AND UTILITY PLAN - VARSITY SOFTBALL FIELD

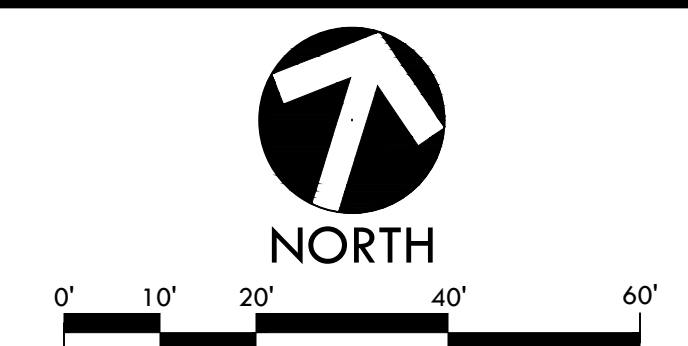
PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

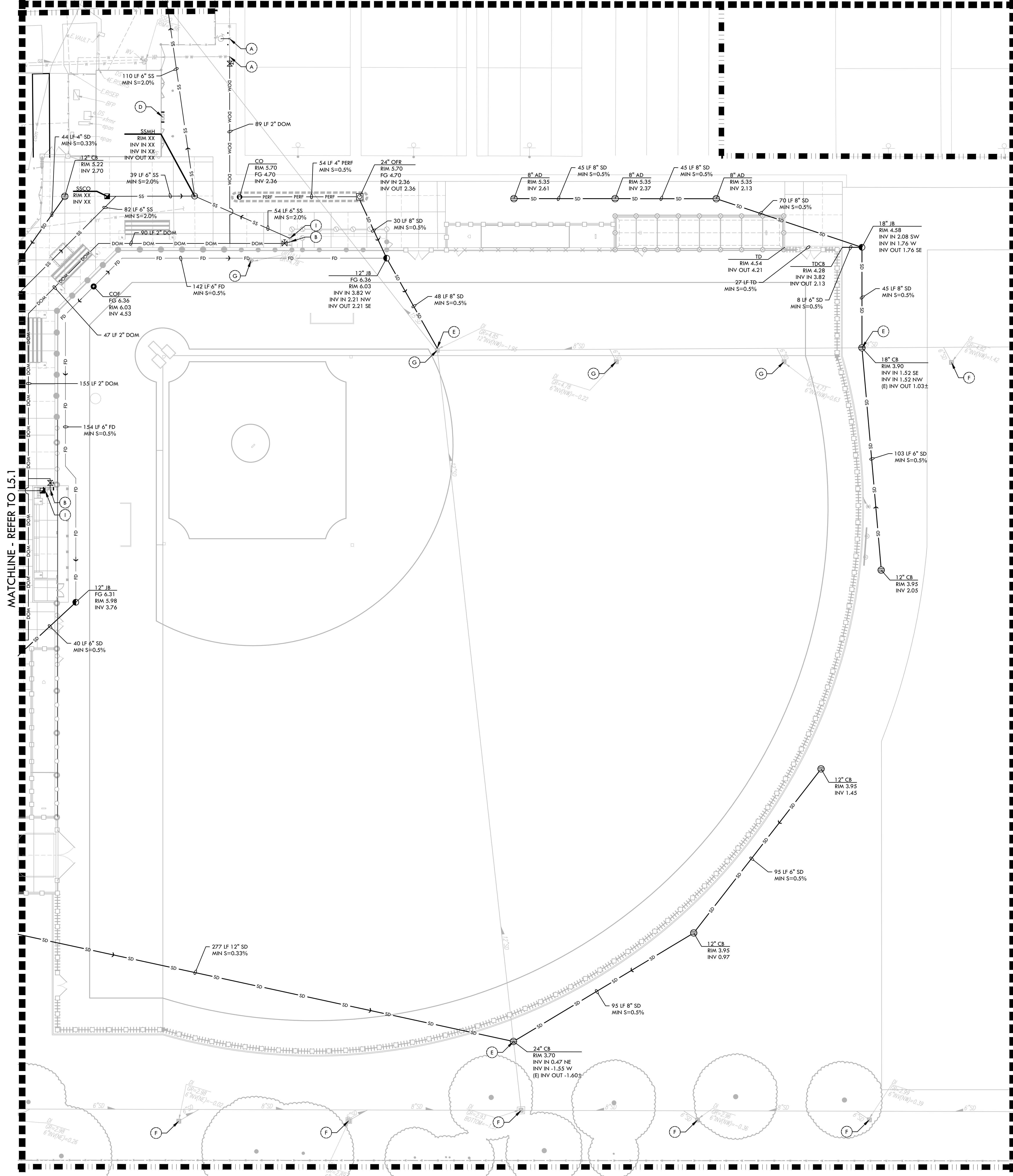
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DRAWN BY: DK CHECKED BY: CS/MB
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MATCHLINE - REFER TO L5.4



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DRAINAGE & UTILITY LEGEND

SYM	DESCRIPTION	DETAIL NUMBER	SHEET NUMBER
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⊕	SANITARY SEWER MANHOLE (SSMH)	C	D1.1
⊕	CLEANOUT IN FINES (COF)	F	D1.1
⊕	DRY WELL FOR DRINKING FOUNTAIN (DW)	N	D1.1
⊕	DOMESTIC WATER GATE VALVE	D	D6.2
⊕	FIRE HYDRANT	D, E	D1.2
⊕	OVERFLOW RISER (OFB) WITH GRATE/STANDPIPE AT BIORETENTION AREA, SIZE PER PLAN	B	D1.2
⊕	ENERGY DISSIPATOR (ED)	C	D1.2
⊕	SOLID WALL STORM DRAIN	B	D1.1
⊕	FRENCH DRAIN	M	D1.1
⊕	INFILTRATION TRENCH AT BIORETENTION AREA	A	D1.2
⊕	SANITARY SEWER LINE	B	D1.1
⊕	DOMESTIC WATER LINE	B	D1.1
⊕	TRENCH DRAIN	D	D1.1
⊕	BIORETENTION AREA (BOTTOM OF BIORETENTION BASIN)	F	D1.2
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(E)	EXISTING		
INV	INVERT		
LF	LINEAR FEET		
MIN	MINIMUM		
RIM	RIM ELEVATION		
S=0.5%	SLOPE		
N, S, E, W	NORTH, SOUTH, EAST, WEST		

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CONSULTANT

KEY MAP

SHEET TITLE
DRAINAGE AND UTILITY PLAN - VARSITY BASEBALL FIELD

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

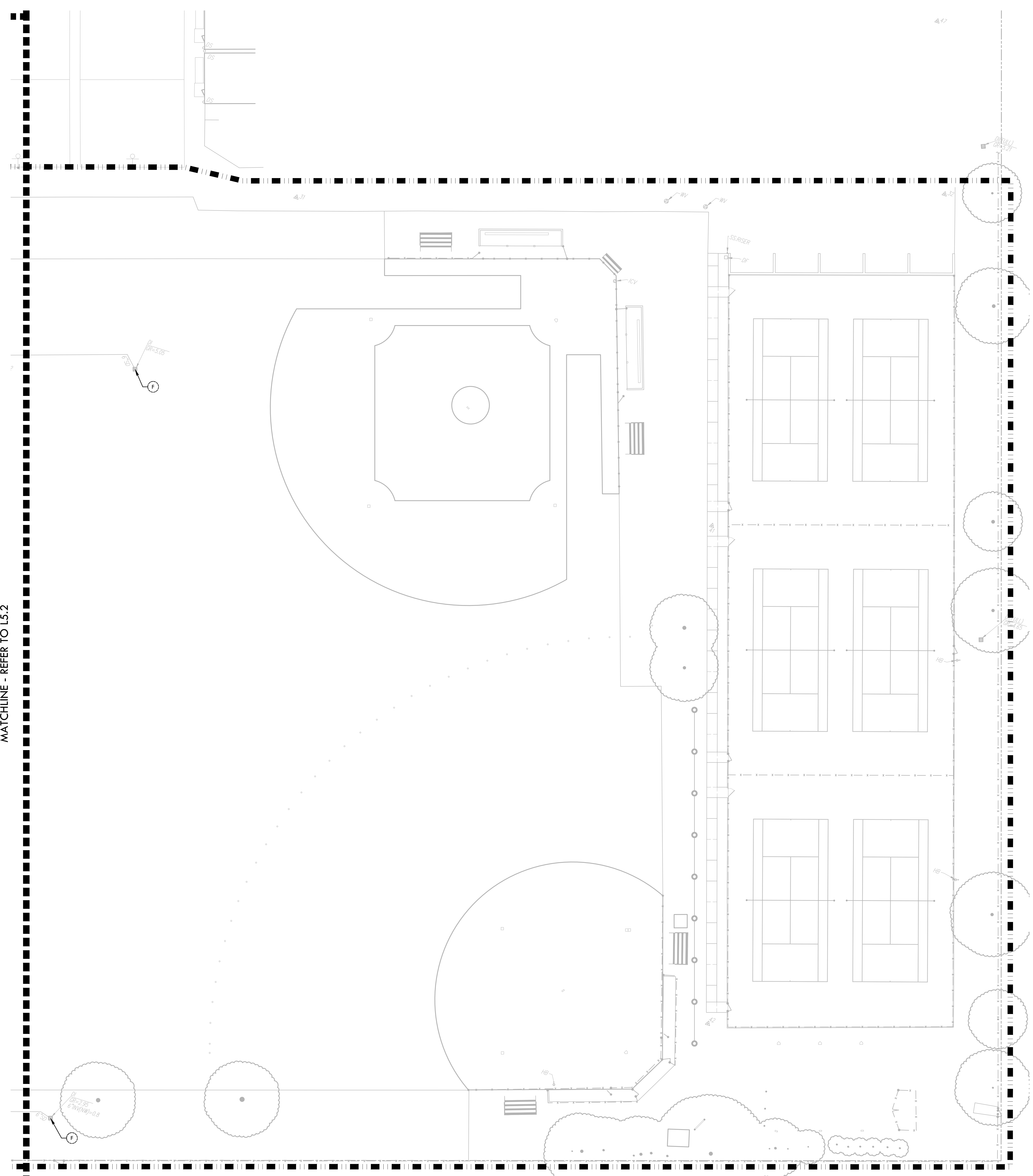
NO.	REVISIONS	DATE
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 SHEET NO.: **L5.2**

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MATCHLINE - REFER TO L5.2

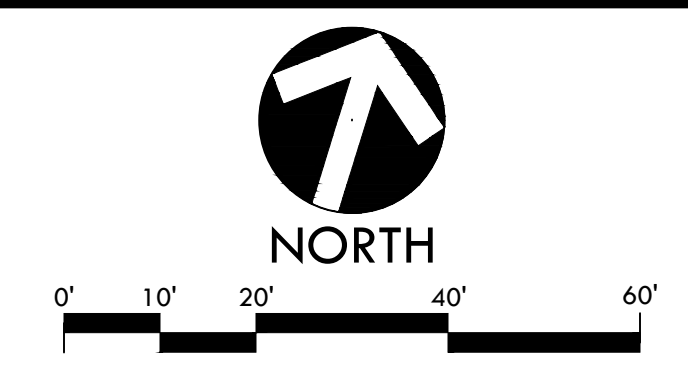


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DRAINAGE & UTILITY LEGEND

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⊗	SANITARY SEWER MANHOLE (SSMH)	C	D1.1
●	CLEANOUT IN FINES (COF)	F	D1.1
⊕	DRY WELL FOR DRINKING FOUNTAIN (DW)	N	D1.1
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⊕	FIRE HYDRANT	D, E	D1.2
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---	SOLID WALL STORM DRAIN	B	D1.1
---	FRENCH DRAIN	M	D1.1
---	INFILTRATION TRENCH AT BIORETENTION AREA	A	D1.2
---	SANITARY SEWER LINE	B	D1.1
---	DOMESTIC WATER LINE	B	D1.1
---	TRENCH DRAIN	F	D1.1
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(B)	DOMESTIC WATER CONNECTION TO DRINKING FOUNTAIN		
(C)	DOMESTIC WATER CONNECTION TO BUILDING, REFER TO ARCHITECTURAL PLANS.		
(D)	REPLACE DRINKING FOUNTAIN AND RECONNECT TO EXISTING DOMESTIC WATER AND SANITARY SEWER		
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(F)	PROTECT EXISTING DRAIN INLET IN PLACE		
(G)	REPLACE EXISTING GRATE WITH SOLID LID, BURY IN PLACE		
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(I)	SANITARY SEWER CONNECTION TO DRINKING FOUNTAIN		
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(K)	ELECTRICAL LINE CROSSING, CONTRACTOR SHALL POT-HOLE TO CONFIRM DEPTH AND TAKE CAUTION WHEN WORKING IN THIS AREA		
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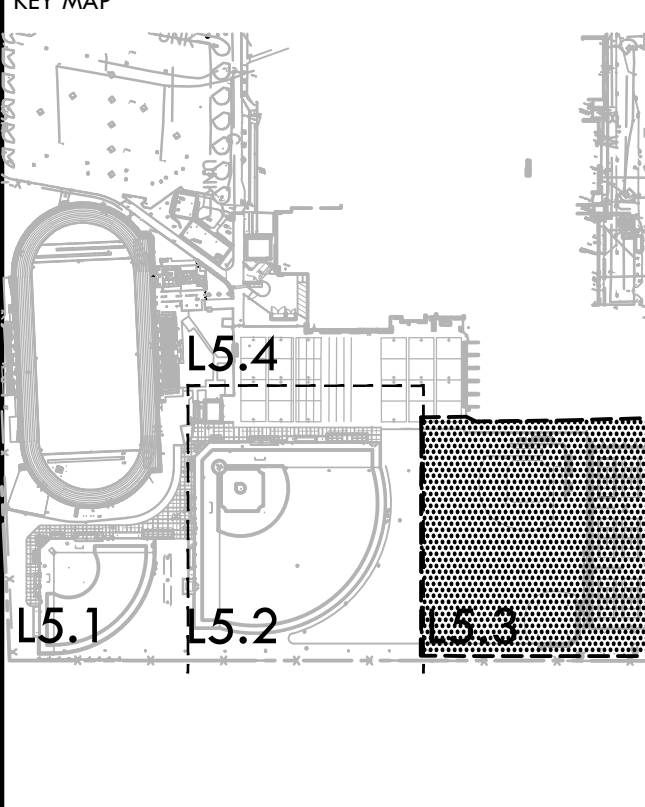

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KEY MAP



SHEET TITLE

DRAINAGE AND UTILITY PLAN - JV FIELDS AND TENNIS COURTS

PROJECT NAME

JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS

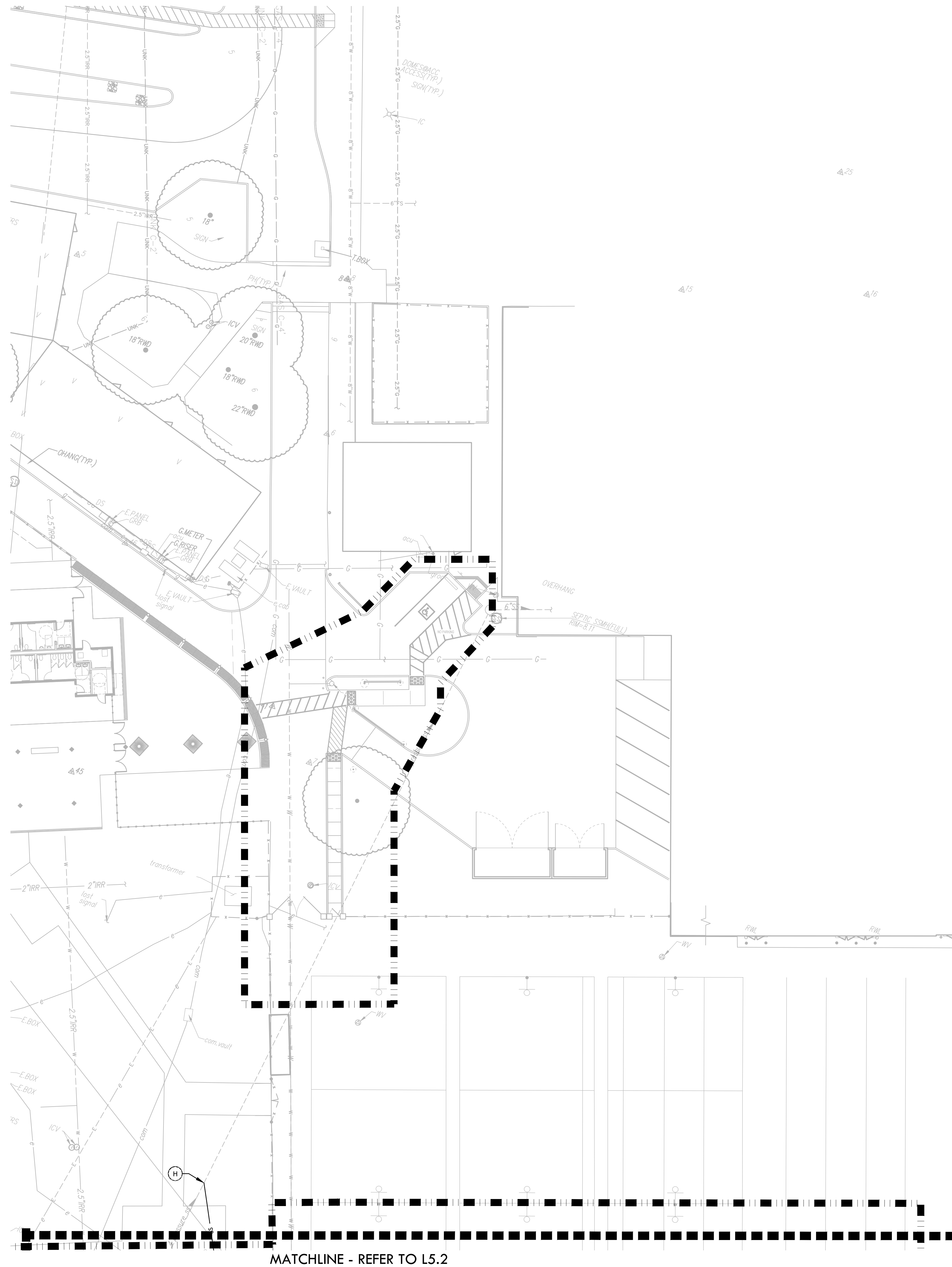
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 PROJ. NO.: 2304200
 SHEET NO.: **L5.3**

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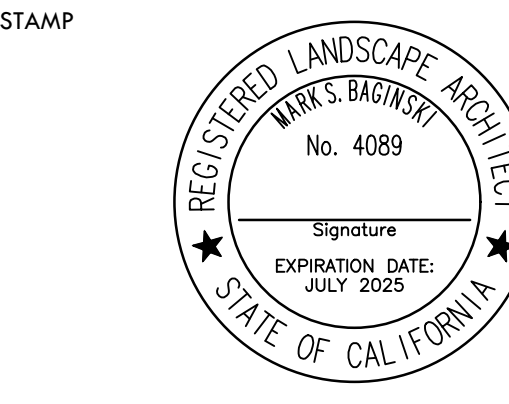
MATCHLINE - REFER TO L5.2

DRAINAGE & UTILITY NOTES

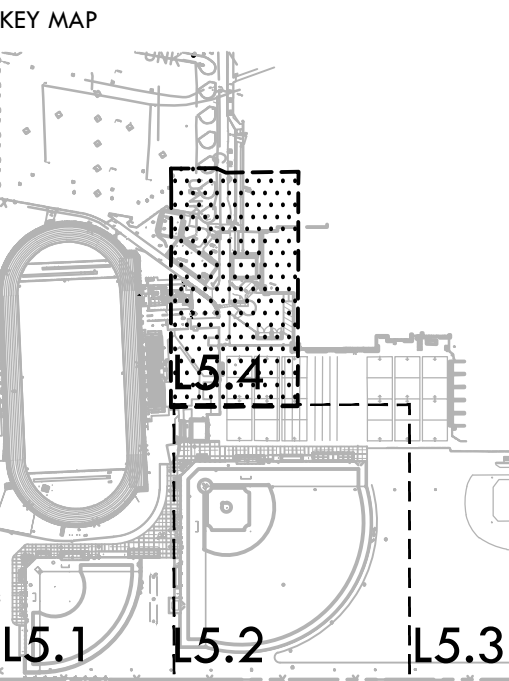
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES, AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DISTRICT REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDER GROUND SERVICE ALERT (USA) AT (800) 277-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. TO REMAIN, SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.
- THE CONTRACTOR IS TO PROTECT DRAINAGE SYSTEM FROM DEBRIS, INCLUDING SOIL, ROCK MATERIAL, AND TRASH FROM ENTERING THE PIPE DURING CONSTRUCTION. CONTRACTOR SHALL AVOID PLACING CONSTRUCTION VEHICLES OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
- COORDINATE ALL SLEEVING AND UTILITY LOCATIONS AS SHOWN ON THE PLANS AND DETAILS CONTAINED WITHIN THESE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO ENSURE THAT ALL REMAINING ACTIVE AND NEW DRAINAGE AND UTILITY LINES ARE PROTECTED AND UNDAMAGED FROM TRENCHING AND FOOTING EXCAVATIONS FOR NEW FOOTINGS, PARTICULARLY FOR NEW FENCING AND WALLS.
- ALL ABANDONED STORM LINES SHALL REMAIN IN PLACE UNLESS IN CONFLICT WITH PROPOSED DRAINAGE, UTILITY, OR SUBGRADING OPERATIONS, IN WHICH CASE ABANDONED PIPE IN CONFLICT SHALL BE REMOVED. REMAINING ABANDONED STORM PIPE SHALL BE SEALED WITH APPROPRIATELY SIZED CONCRETE CAP (3 SACK MIX) 6" ENVELOPE OUTSIDE AND INSIDE DIAMETER OF PIPE.
- PRIOR TO ALL DRAINAGE AND UTILITY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL POTENTIAL DRAINAGE CONNECTIONS AND EXISTING UTILITY BY POTHOLES. IN ADDITION, ALL DOWNSTREAM CONNECTIONS TO EXISTING STRUCTURES SHALL BE THE START OF THESE OPERATIONS, AND GRADES SHALL BE VERIFIED.
- WHEN WORK HAS TO OCCUR UNDER THE DRIFLINE OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES RADIAL TO THE EXISTING TREES RATHER THAN TANGENTIAL. ALL PARTIAL CUTS OR TEARS THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER EXCAVATION, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.

DRAINAGE & UTILITY LEGEND

SYM	DESCRIPTION	DETAIL NUMBER	SHEET NUMBER
---	LIMIT OF WORK		
⊕	CATCH BASIN, SIZE PER PLAN (CB)	G	D1.1
⊙	JUNCTION BOX, SIZE PER PLAN (JB)	G	D1.1
○	CLEANOUT IN BIORETENTION AREA (COB)	A	D1.2
⊠	SANITARY SEWER CLEANOUT (SSCO)	D	D1.1
⊗	SANITARY SEWER MANHOLE (SSMH)	C	D1.1
●	CLEANOUT IN FINES (COF)	F	D1.1
⊕	DRY WELL FOR DRINKING FOUNTAIN (DW)	N	D1.1
⊠	DOMESTIC WATER GATE VALVE	D	D6.2
⊕	FIRE HYDRANT	D, E	D1.2
⊠	OVERFLOW RISER (OFR) WITH GRATE/STANDPIPE AT BIORETENTION AREA, SIZE PER PLAN	B	D1.2
⊕	ENERGY DISSIPATOR (ED)	C	D1.2
---	SOLID WALL STORM DRAIN	B	D1.1
---	FRENCH DRAIN	M	D1.1
---	INFILTRATION TRENCH AT BIORETENTION AREA	A	D1.2
---	SANITARY SEWER LINE	B	D1.1
---	DOMESTIC WATER LINE	B	D1.1
---	TRENCH DRAIN	B	D1.1
---	BIORETENTION AREA (BOTTOM OF BIORETENTION BASIN)	F	D1.2
A	DOMESTIC WATER POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION PRIOR TO INITIATING DRAINAGE IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
B	DOMESTIC WATER CONNECTION TO DRINKING FOUNTAIN		
C	DOMESTIC WATER CONNECTION TO BUILDING, WATER AND SANITARY SEWER		
D	REPLACE DRINKING FOUNTAIN AND RECONNECT TO EXISTING DOMESTIC WATER AND SANITARY SEWER		
E	STORM DRAIN POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO INITIATING DRAINAGE IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
F	PROTECT EXISTING DRAIN INLET IN PLACE		
G	REPLACE EXISTING GRATE WITH SOLID LID, BURY IN PLACE		
H	SANITARY SEWER POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO INITIATING DRAINAGE IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
I	SANITARY SEWER CONNECTION TO DRINKING FOUNTAIN		
J	SANITARY SEWER CONNECTION TO BUILDING, REFER TO ARCHITECTURAL PLANS.		
K	ELECTRICAL LINE CROSSING, CONTRACTOR SHALL POTHOLE TO CONFIRM DEPTH AND TAKE CAUTION WHEN WORKING IN THIS AREA		
(E)	EXISTING		
INV	INVERT		
LF	LINEAR FEET		
MIN	MINIMUM		
RIM	RIM ELEVATION		
S=0.5%	SLOPE		
N, S, E, W	NORTH, SOUTH, EAST, WEST		



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SHEET TITLE
DRAINAGE AND UTILITY PLAN - ACCESS

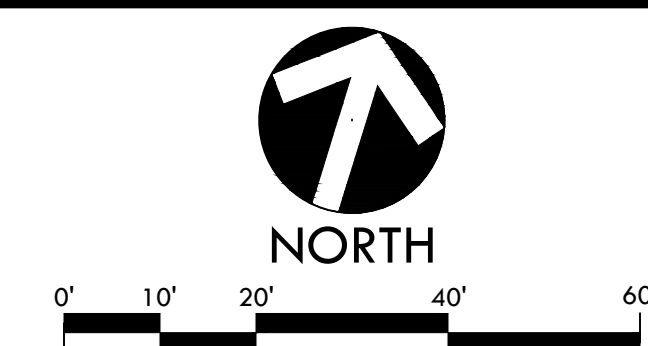
PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

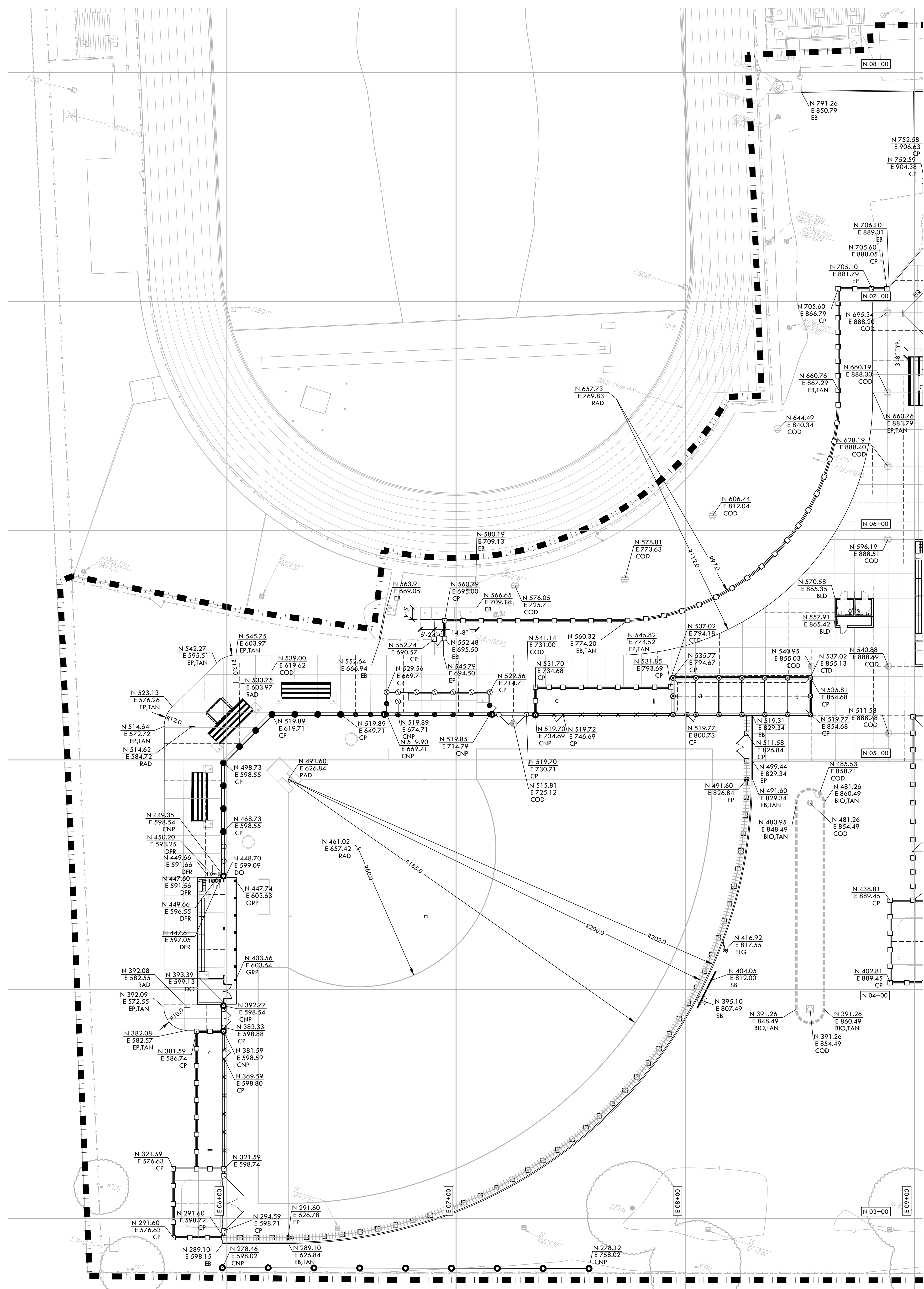
SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO.	REVISIONS	DATE
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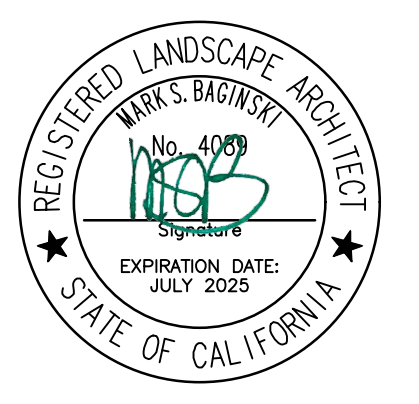
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SCALE: 1"=20'-0"
PROJ. NO.: 2304200
SHEET NO.: L5.4



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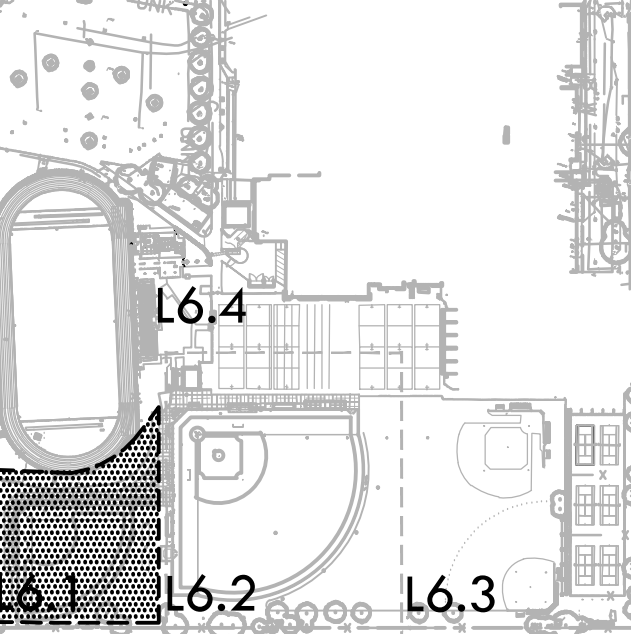


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KEY MAP



SHEET TITLE

LAYOUT PLAN - VARSITY SOFTBALL FIELD

PROJECT NAME

**JOHN F. KENNEDY
 HIGH SCHOOL
 BASEBALL, SOFTBALL,
 & TENNIS COURT
 IMPROVEMENTS**

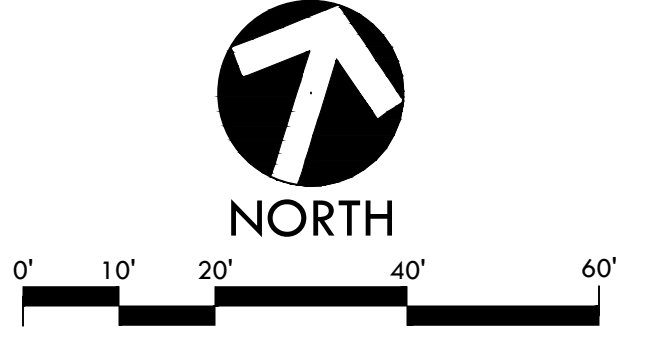
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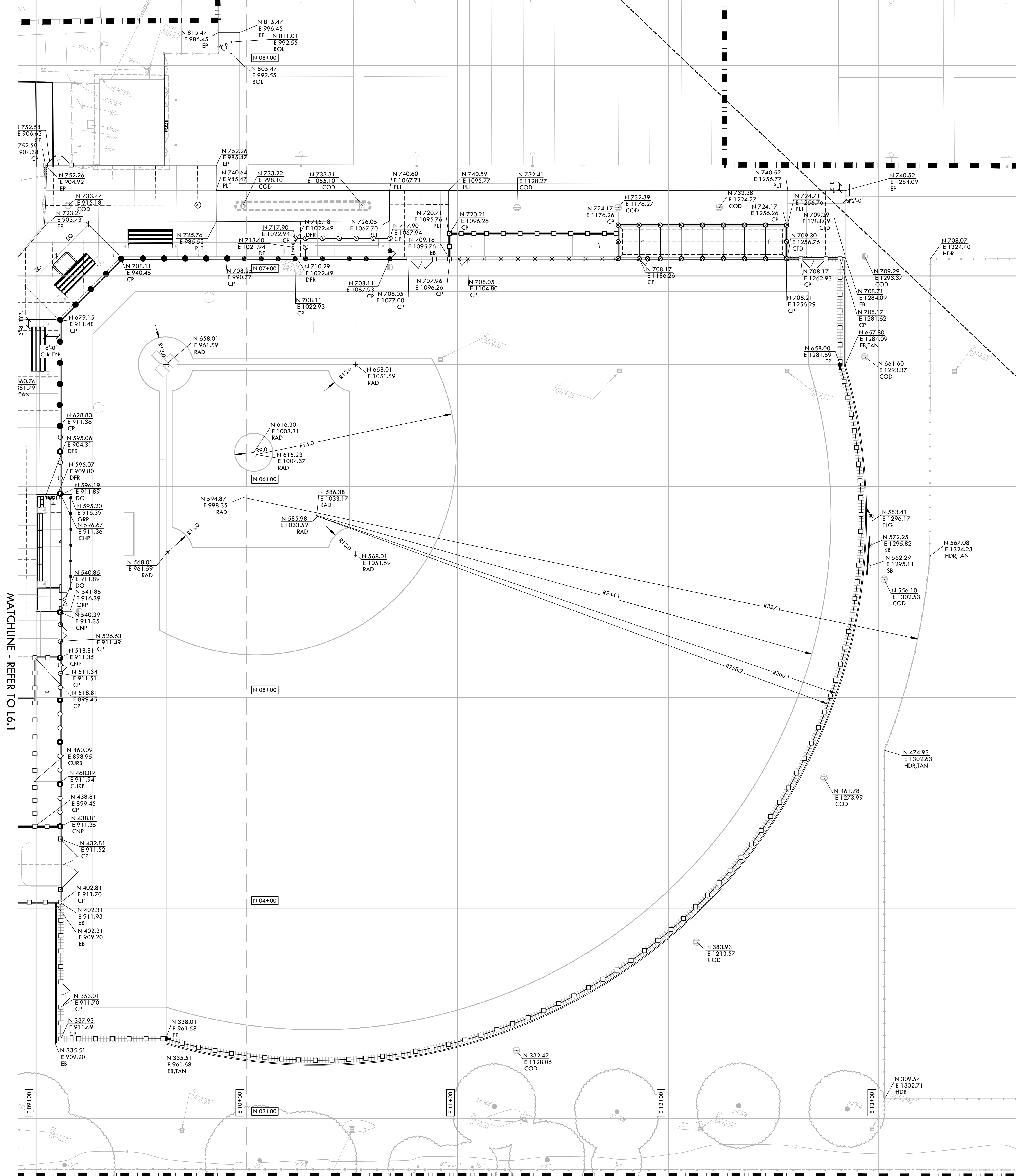
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PROJ. NO.: 2304200
SHEET NO.: L6.1

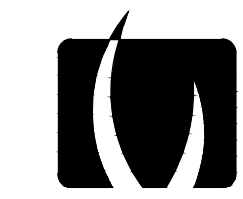


MATCHLINE - REFER TO L6.4

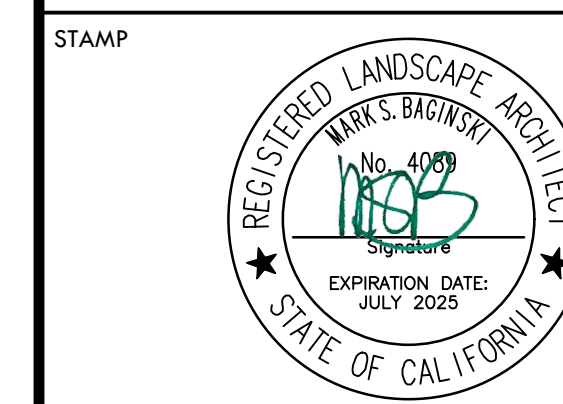


MATCHLINE - REFER TO L6.1

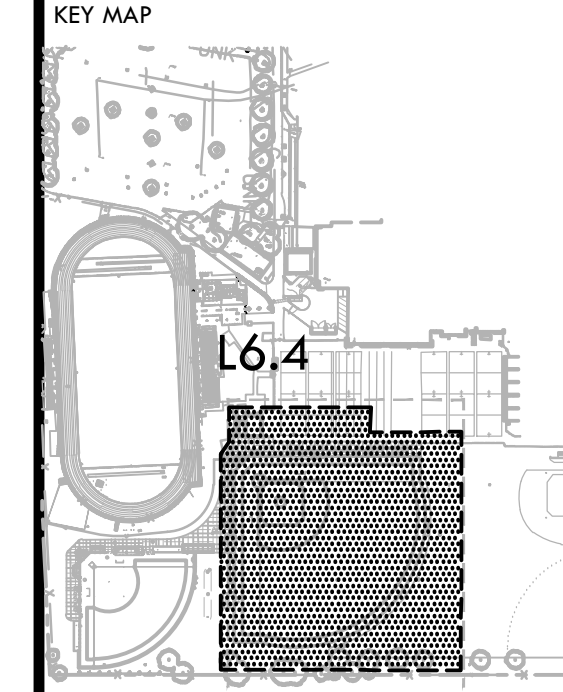
MATCHLINE - REFER TO L6.3



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SHEET TITLE
LAYOUT PLAN - VARSITY BASEBALL FIELD

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

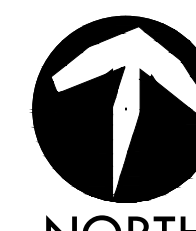
PROJECT ADDRESS
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SUBMITTAL	DATE
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NO.	REVISIONS	DATE

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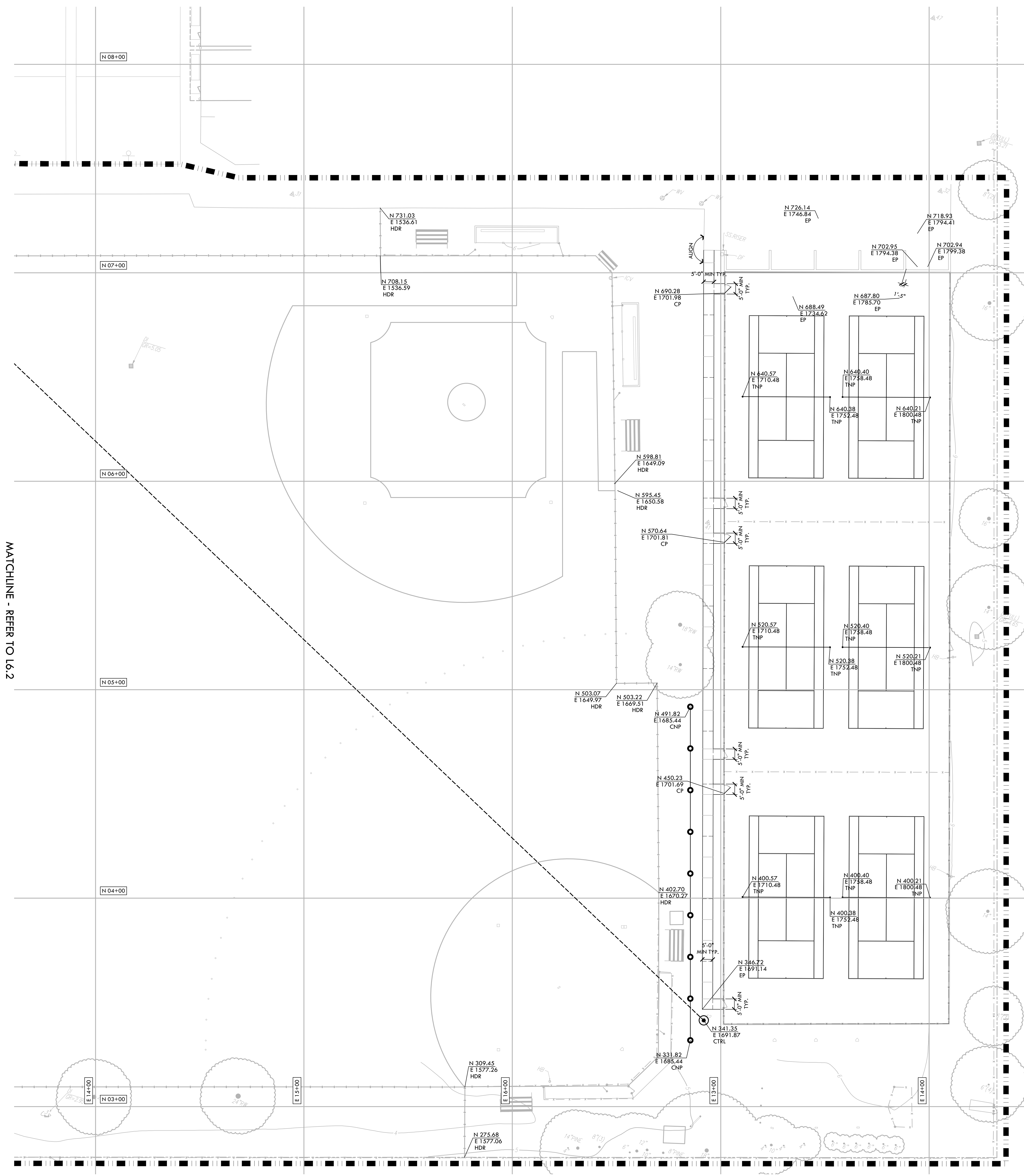
SHEET NO.
L6.2



0' 10' 20' 40' 60'

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LAYOUT NOTES

- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS AND REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD DISCREPANCY ARISE AND REDIRECT WORK TO AVOID DELAYS.
- ALL DIMENSIONS SHALL BE VERIFIED IN FIELD AND CHALKED, STRING LINED OR FLAGGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MINOR ADJUSTMENTS MADE TO ACHIEVE OVERALL DESIGN LAYOUT SHALL BE ACCEPTED BY THE OWNER PRIOR TO CONSTRUCTION.
- LAYOUT IS BASED ON THE POINT(S) OF BEGINNING (P.O.B.) AND BASELINE(S) OR GRID SYSTEM AS SHOWN. DIMENSIONS SHOWN ARE ROUNDED TO THE NEAREST INCH.
- ALL LAYOUT AND GRADES SHALL BE COMPLETED BY A LICENSED SURVEYOR.
- SURVEY PROVIDED BY: CAL VADA SURVEYING, INC. (FIELD COMPLETION DATE: 08/22/19)
- ASSESSOR'S PARCEL NO.: 143-310-06
- ELEVATIONS SHOWN HEREON ARE BASED UPON STOCKTON CITY BENCHMARK 197, ELEVATION 30.26 FEET (NAVD 88); BRASS DISK MARKING COS MONUMENT STAMPED "65-9" IN 3" DIAMETER PIPE SET SOUTH OF THE SOUTH RAIL OF THE S.F.P.CO. TRACKS ON THE CENTERLINE OF PAVING OF GERTRUDE AVE. PROJECTED NORTHERLY.
- THE COORDINATES SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CCS83, ZONE 3, (2017.50) IN ACCORDANCE TO THE CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID BEARINGS ARE DETERMINED LOCALLY UPON FIELD-OBSERVED TIES TO THE FOLLOWING LEICA SMARTNET NORTH AMERICA NETWORK CONTINUOUS OPERATING REFERENCE STATIONS (C.O.R.S.):
 - C.S.R.C. P273: NORTHING = 2229969.53' EASTING = 6306178.61'
 - C.S.R.C. P309: NORTHING = 2219667.30' EASTING = 6431806.86'

LAYOUT LEGEND

SYM	DESCRIPTION
	POINT OF BEGINNING - LOCATED ON SHEET L7.4
	ANCHOR POINT FOR CONTROL LINE - LOCATED ON SHEET L7.3
	RADIUS POINT / CENTER MARK
	PROPOSED ANGLE BETWEEN ELEMENTS
	ALIGN EDGES OF ELEMENTS
	DISTANCE BETWEEN ELEMENTS
	CENTER LINES
	BASELINE
	CONTROL LINE
	NORTHING/EASTING LAYOUT COORDINATE CALLOUT
	(BLD) BUILDING CORNER
	(BOL) CENTER OF BOLLARD
	(COD) CENTER OF DRAINAGE STRUCTURE
	(CP) CENTER OF POST
	(CNP) CENTER OF NETTING POST
	(CTD) CENTER OF TRENCH DRAIN
	(CURB) CURB
	(DO) CORNER OF CHU DUGOUT
	(EB) EDGEBAND
	(EP) EDGE OF PAVEMENT
	(FLG) CENTER OF FLAG POST
	(FP) CENTER OF FOUL POLE
	(PLT) PLANTER EDGE
	(POB) POINT OF BEGINNING FOR GRID LAYOUT
	(RAD) RADIUS POINT
	(SB) SCOREBOARD
	(TAN) TANGENT POINT
	(TNP) CENTER OF TENNIS NET POST

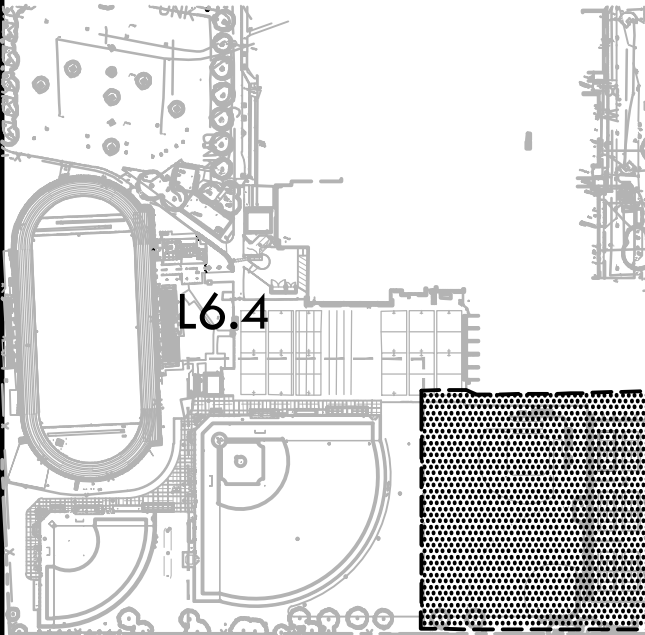


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KEY MAP



SHEET TITLE

LAYOUT PLAN - JV FIELDS AND TENNIS COURT

PROJECT NAME

JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS

6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23

NO. REVISIONS DATE

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10/25/23

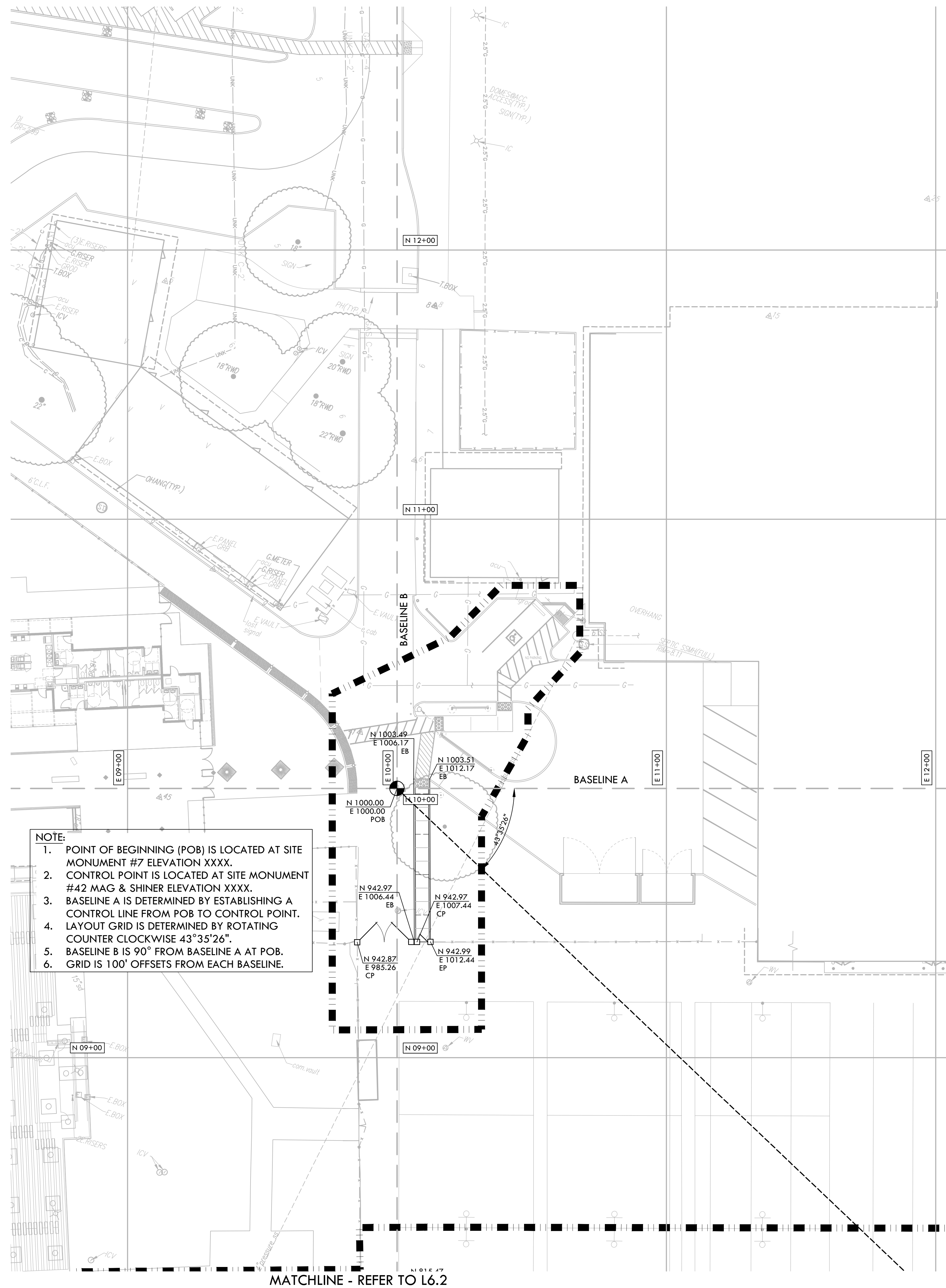
SCALE

1"=20'-0"

PROJ. NO. 2304200

SHEET NO. L6.3





NOTE:

1. POINT OF BEGINNING (POB) IS LOCATED AT SITE MONUMENT #7 ELEVATION XXXX.
2. CONTROL POINT IS LOCATED AT SITE MONUMENT #42 MAG & SHINER ELEVATION XXXX.
3. BASELINE A IS DETERMINED BY ESTABLISHING A CONTROL LINE FROM POB TO CONTROL POINT.
4. LAYOUT GRID IS DETERMINED BY ROTATING COUNTER CLOCKWISE 43°35'26".
5. BASELINE B IS 90° FROM BASELINE A AT POB.
6. GRID IS 100' OFFSETS FROM EACH BASELINE.

MATCHLINE - REFER TO L6.2

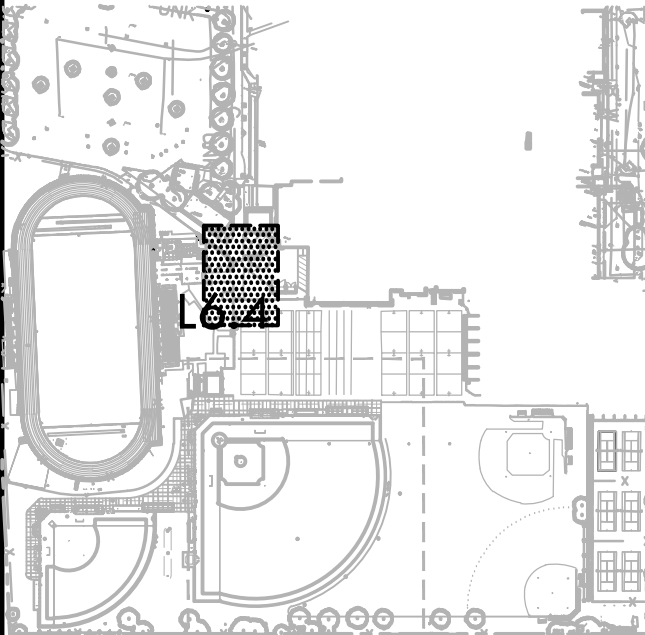
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KEY MAP



SHEET TITLE
LAYOUT PLAN - ACCESS

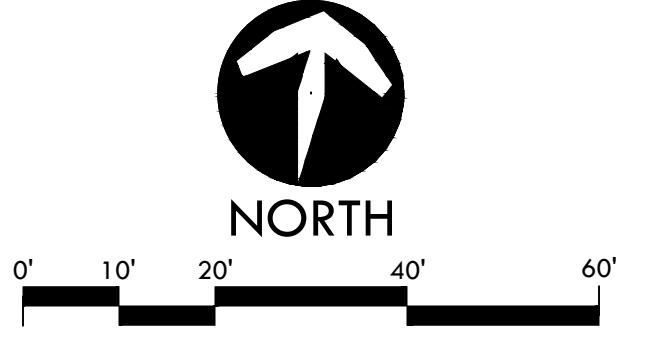
PROJECT NAME
**JOHN F. KENNEDY
 HIGH SCHOOL
 BASEBALL, SOFTBALL,
 & TENNIS COURT
 IMPROVEMENTS**

PROJECT ADDRESS
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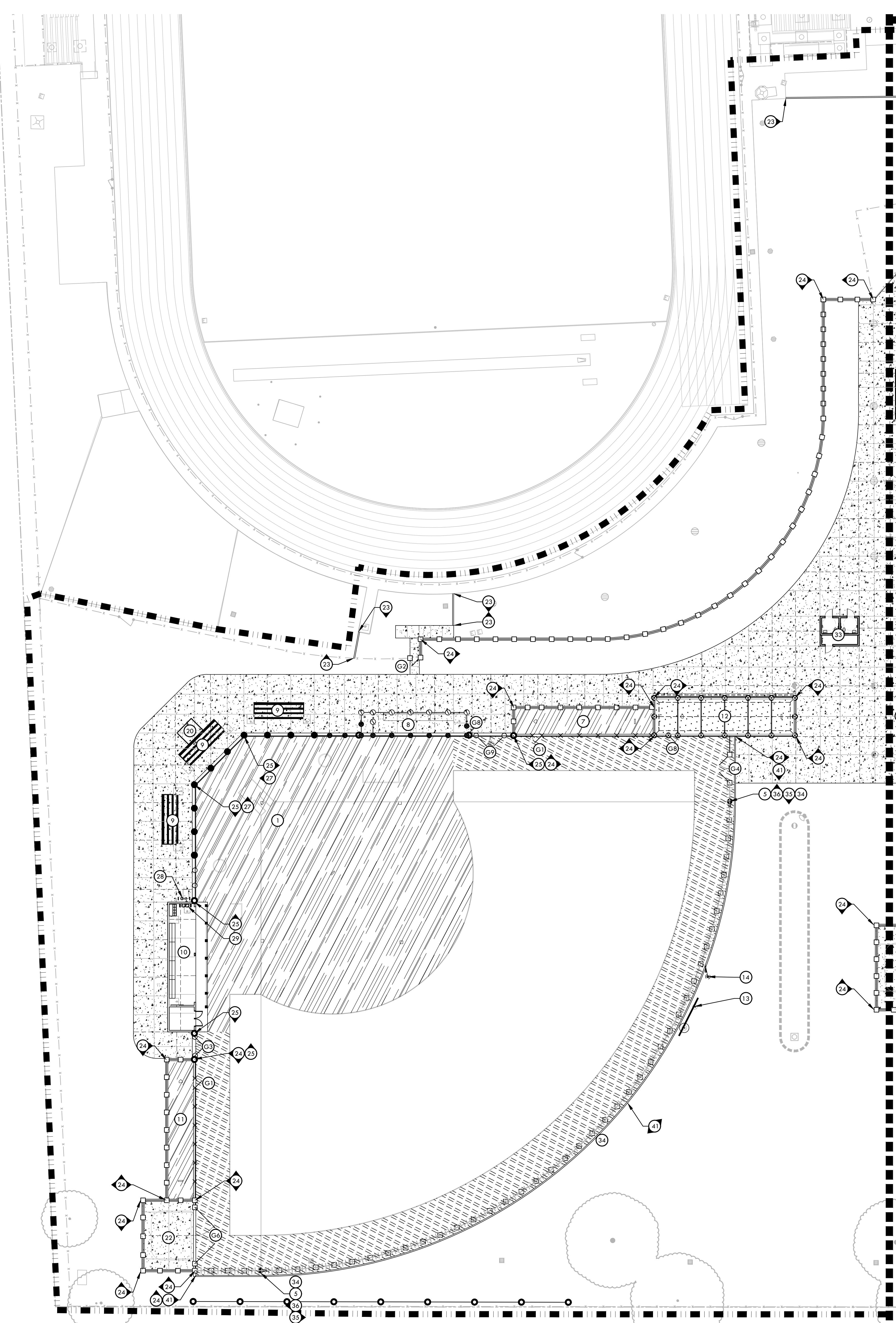
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SHEET NO.
L6.4
 LAYOUT PLAN - ACCESS

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MATERIAL LEGEND		
SYM.	DESCRIPTION	DTL REF.
18	BASEBALL HOME BULLPEN	G D5.2
19	BASEBALL BATTING CAGE WITH SHED STYLE ROOF AND LIGHTS	K D5.1
20	ELEVATED SCORER'S TABLE BOOTH, REFER TO SPECIFICATIONS	
21	BASEBALL SCOREBOARD, REFER TO NEVCO PLANS	
22	PORTABLE BATTING CAGE STORAGE AREA	
23	6" WIDE EDGE BAND	E D2.1
24	12" WIDE EDGE BAND	G D2.1
25	18" WIDE EDGE BAND WITH FENCE	H D2.1
26	12" WIDE TALL CURB	J D2.1
27	18" WIDE TALL CURB WITH FENCE	K D2.1
28	DRINKING FOUNTAIN - PEDESTAL	K D1.1
29	DRINKING FOUNTAIN - WALL MOUNTED	L D1.1
30	RE-STRIPED PARKING STALLS	E D3.1
31	TENNIS STRIPING	P D2.1
32	TENNIS POSTS TO BE PAINTED. NEW NETS PROVIDED AND INSTALLED BY CONTRACTOR	
33	RESTROOM BUILDING, REFER TO ARCHITECTURAL PLANS	
34	OUTFIELD DISTANCE BANNERS, REFER TO SPECIFICATIONS	
35	FENCE CAP - YELLOW REFER TO SPECIFICATIONS	
36	FENCE CAP - BLACK REFER TO SPECIFICATIONS	
37	FIRE HYDRANT INSTALLATION	D D1.2
38	HYDRANT PROTECTION	E D1.2
39	EXISTING BACKSTOP BOARDS TO BE PAINTED AND INSTALL NEW HARDWARE AS NECESSARY. COLOR TO MATCH VARSITY BACKSTOP	
40	6" CURB	I D2.1
41	6" WIDE X 24" DEEP EDGE BAND	F D2.1

MATERIAL NOTES

- THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS & REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS & CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS REQ. NOTIFY THE DISTRICT'S REP. IMMEDIATELY SHOULD DISCREPANCY ARISE & REDIRECT WORK TO AVOID DELAYS.
- THE INTERFACE OF ALL PROPOSED IMPROVEMENTS TO EXISTING SITE SHALL CONFORM & BE SMOOTH & UNIFORM.
- ALL REINFORCING & FORMS SHALL BE SECURED IN PLACE & ACCEPTED BY DISTRICT'S REP. PRIOR TO PLACING ANY CONCRETE.
- CONCRETE FINISHES SHALL BE AS NOTED. CONTRACTOR SHALL PROVIDE 4"x4" SAMPLES OF ALL SPECIFIED FINISHES OF CONCRETE USING THE SAME MATERIALS THAT WILL BE USED IN THE ACTUAL CONSTRUCTION FOR EACH TYPE SPECIFIED. SAMPLES SHALL BE PREPARED WELL ENOUGH IN ADVANCE OF SCHEDULED CONCRETE POUR TO ALLOW FOR REVIEW & POSSIBLE RE-POURING OF UNACCEPTABLE SAMPLES. UNACCEPTABLE SAMPLES SHALL BE RE-PREPARED UNTIL ACCEPTED BY THE DISTRICT'S REP. ACCEPTED SAMPLES SHALL BE PROTECTED & REMAIN ON SITE FOR REFERENCE UNTIL FINAL ACCEPTANCE.
- ALL FENCES & GATES SHOWN ON PLAN ARE GRAPHIC REPRESENTATIONS; REFER TO DETAILS & SPECIFICATIONS FOR PRECISE LOCATION.
- ASPHALT SHALL NOT BE INSTALLED UNTIL ALL EDGES & SITE FURNISHING PADS ARE INSTALLED.

MATERIAL LEGEND		
SYM.	DESCRIPTION	DTL REF.
	LIMIT OF WORK	
	SYNTHETIC TURF - (GREEN)	M D5.1
	INFIELD FINES	A D5.1
	WARNING TRACK FINES	A D5.1
	TRUNCATED DOMES - RECESSED	A D5.1
	CONCRETE PAVING - PEDESTRIAN	A D2.1
	ASPHALT PAVING - VEHICULAR	L D2.1
	TENNIS COURT SURFACING	O D2.1
	EXPANSION JOINT SCORE JOINT	E D2.1
	REDWOOD HEADER BOARD	E D4.2
	42" CHAIN LINK FENCE	E D4.1
	GUARD RAIL SYSTEM	P D4.2
	6' CHAIN LINK FENCE (WITHOUT SLATS)	F D4.1
	6' CHAIN LINK FENCE (WITH SLATS)	G D4.1
	8' CHAIN LINK FENCE	G D4.1
	10' CHAIN LINK FENCE (WITH SLATS)	H D4.1
	12' CHAIN LINK FENCE	I D4.1
	14'/16' CHAIN LINK FENCE	J D4.1
	30' CHAIN LINK BACKSTOP	K D4.1
	22' PROTECTIVE NETTING OVER 8' TALL CHAIN LINK FENCE	H D4.2
	18' PROTECTIVE NETTING OVER 12' TALL CHAIN LINK FENCE	H D4.2
	30' PROTECTIVE NETTING (NO FENCE)	M D4.2
	TRENCH DRAIN	I D1.1
	42" TALL x 4' WIDE CHAIN LINK SWING GATE	A D4.2
	6' TALL x 4' WIDE SWING GATE WITH PANIC HARDWARE	E D4.2
	8' TALL x 4' WIDE DOUBLE SWING GATE WITH PANIC HARDWARE	D D4.2
	6' TALL x 12' WIDE DOUBLE SWING GATE (WITH OR WITHOUT SLATS)	D D4.2
	6' TALL x 20' WIDE DOUBLE SWING GATE	E D4.2
	6' TALL x 24' WIDE DOUBLE SWING GATE	E D4.2
	8' TALL x 4' WIDE CHAIN LINK SWING GATE WITH NETTING	F D4.2
	8' TALL x 4' WIDE CHAIN LINK SWING GATE WITH TRANSOM	G D4.2
	8' TALL x 12' WIDE CHAIN LINK DOUBLE SWING GATE	H D4.2
1	SOFTBALL INFIELD	A D5.3
2	BASEBALL INFIELD	A D5.2
3	SOFTBALL BACKSTOP	A D4.3
4	BASEBALL BACKSTOP	A D4.3
5	FOUL POLE AT SOFTBALL	E D5.1
6	FOUL POLE AT BASEBALL	E D5.1
7	SOFTBALL VISITOR BULLPEN	I D5.3
8	SOFTBALL VISITOR DUGOUT (CHAIN LINK)	I D5.1
9	4 ROW ELEVATED BLEACHERS (6 TOTAL), REFER TO SPECIFICATIONS	
10	SOFTBALL HOME DUGOUT (CMU) WITH STORAGE ROOM	A D5.4
11	SOFTBALL HOME BULLPEN	G D5.3
12	SOFTBALL BATTING CAGE WITH SHED STYLE ROOF AND LIGHTS	K D5.1
13	SOFTBALL SCOREBOARD, REFER TO NEVCO PLANS	
14	FLAGPOLE, REFER TO SPECIFICATIONS	
15	BASEBALL VISITOR BULLPEN	I D5.1
16	BASEBALL VISITOR DUGOUT (CHAIN LINK)	I D5.1
17	BASEBALL HOME DUGOUT (CMU) WITH STORAGE ROOM	A D5.4

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STAMP

CONSULTANT

KEY MAP

SHEET TITLE

**MATERIAL AND
 DETAIL REFERENCE PLAN -
 VARSITY SOFTBALL FIELD**

PROJECT NAME

**JOHN F. KENNEDY
 HIGH SCHOOL
 BASEBALL, SOFTBALL,
 & TENNIS COURT
 IMPROVEMENTS**

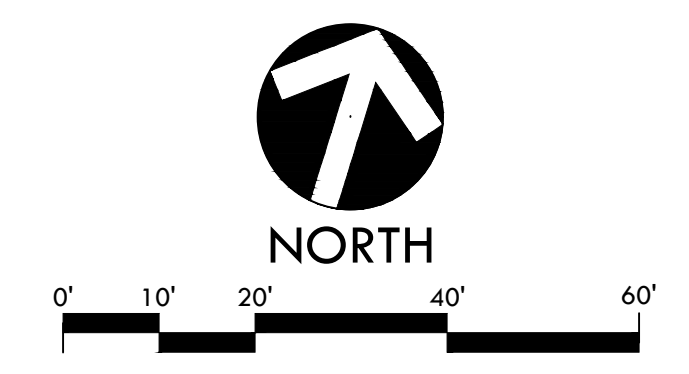
PROJECT ADDRESS

**6715 GLORIA DRIVE
 SACRAMENTO, CA 95831**

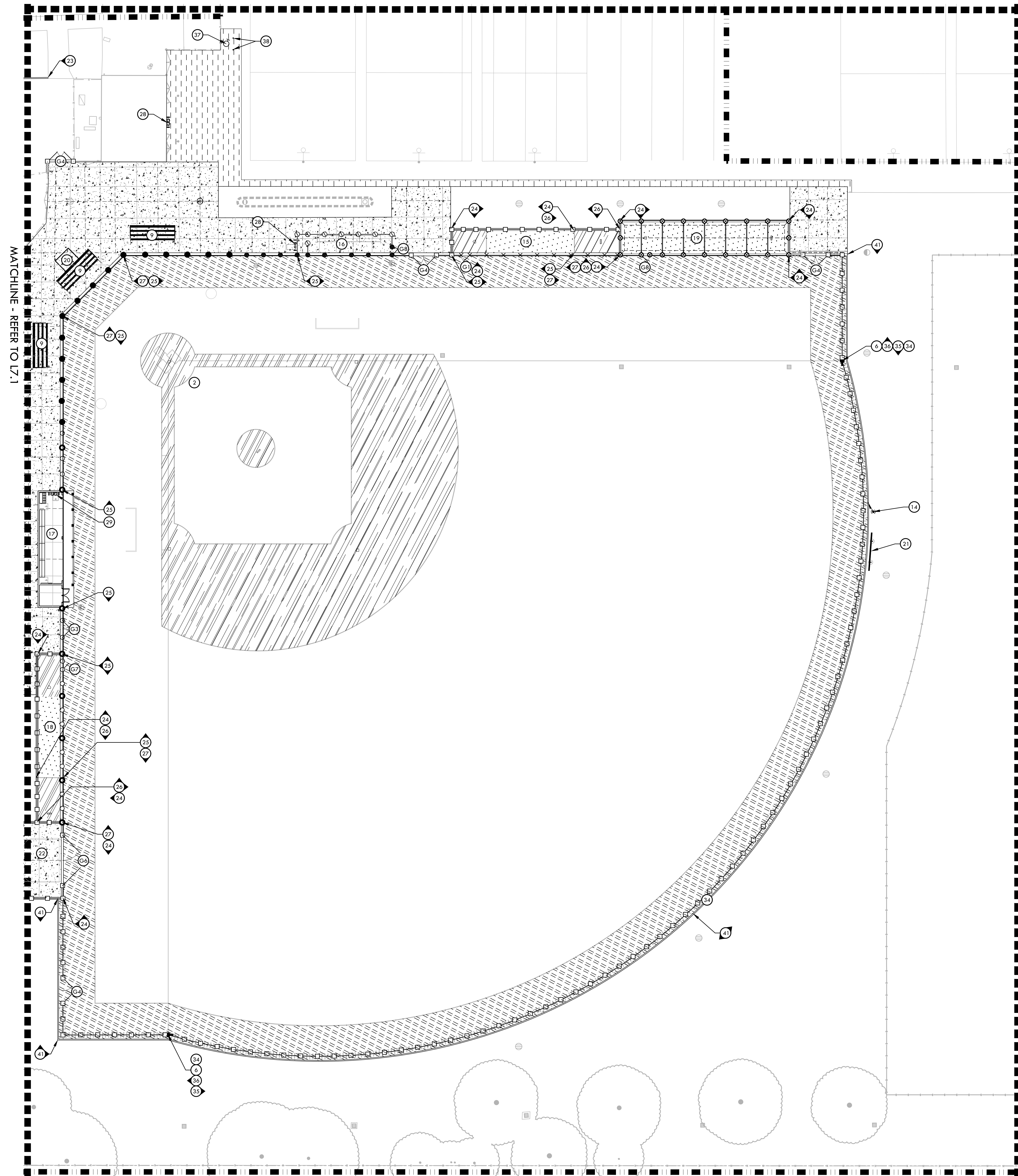
SUBMITTAL	DATE
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100% DSA SUBMITTAL	10/25/23

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 CHECKED BY: CS/MB
 DATE ISSUED: 10/25/23
 SCALE: 1"=20'-0"
 PROJ. NO.: 2304200
 SHEET NO.: L7.1



MATCHLINE - REFER TO L7.4



MATCHLINE - REFER TO L7.3

MATERIAL LEGEND

SYM	DESCRIPTION	DTL REF
18	BASEBALL HOME BULLPEN	G D5.2
19	BASEBALL BATTING CAGE WITH SHED STYLE ROOF AND LIGHTS	K D5.1
20	ELEVATED SCORER'S TABLE BOOTH, REFER TO SPECIFICATIONS	
21	BASEBALL SCOREBOARD, REFER TO NEVCO PLANS	
22	PORTABLE BATTING CAGE STORAGE AREA	
23	6" WIDE EDGE BAND	E D2.1
24	12" WIDE EDGE BAND	G D2.1
25	18" WIDE EDGE BAND WITH FENCE	H D2.1
26	12" WIDE TALL CURB	J D2.1
27	18" WIDE TALL CURB WITH FENCE	K D2.1
28	DRINKING FOUNTAIN - PEDESTAL	L D1.1
29	DRINKING FOUNTAIN - WALL MOUNTED	M D1.1
30	RE-STRIPED PARKING STALLS	F D3.1
31	TENNIS STRIPING	P D2.1
32	TENNIS POSTS TO BE PAINTED. NEW NETS PROVIDED AND INSTALLED BY CONTRACTOR	
33	RESTROOM BUILDING, REFER TO ARCHITECTURAL PLANS	
34	OUTFIELD DISTANCE BANNERS, REFER TO SPECIFICATIONS	
35	FENCE CAP - YELLOW REFER TO SPECIFICATIONS	
36	FENCE CAP - BLACK REFER TO SPECIFICATIONS	
37	FIRE HYDRANT INSTALLATION	D D1.2
38	HYDRANT PROTECTION	E D1.2
39	EXISTING BACKSTOP BOARDS TO BE PAINTED AND INSTALL NEW HARDWARE AS NECESSARY. COLOR TO MATCH VARSITY BACKSTOP	
40	6" CURB	I D2.1
41	6" WIDE X 24" DEEP EDGE BAND	F D2.1

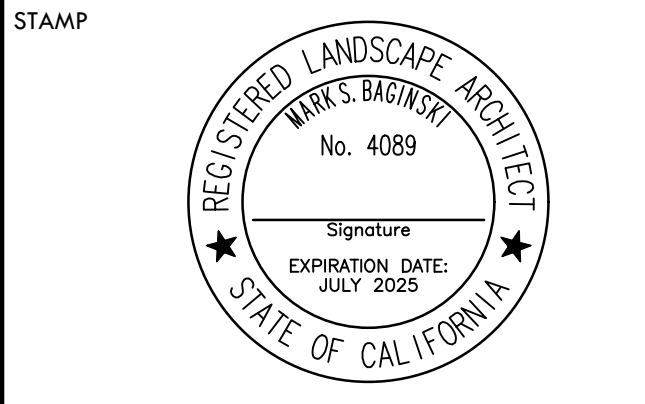
MATERIAL NOTES

1. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS & REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS & CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS REQ. NOTIFY THE DISTRICT'S REP. IMMEDIATELY SHOULD DISCREPANCY ARISE & REDIRECT WORK TO AVOID DELAYS.
2. THE INTERFACE OF ALL PROPOSED IMPROVEMENTS TO EXISTING SITE SHALL CONFORM & BE SMOOTH & UNIFORM.
3. ALL REINFORCING & FORMS SHALL BE SECURED IN PLACE & ACCEPTED BY DISTRICT'S REP. PRIOR TO PLACING ANY CONCRETE.
4. CONCRETE FINISHES SHALL BE AS NOTED. CONTRACTOR SHALL PROVIDE 4"x4" SAMPLES OF ALL SPECIFIED FINISHES OF CONCRETE USING THE SAME MATERIALS THAT WILL BE USED IN THE ACTUAL CONSTRUCTION FOR EACH TYPE SPECIFIED. SAMPLES SHALL BE PREPARED WELL ENOUGH IN ADVANCE OF SCHEDULED CONCRETE POUR TO ALLOW FOR REVIEW & POSSIBLE RE-POURING OF UNACCEPTABLE SAMPLES. UNACCEPTABLE SAMPLES SHALL BE RE-PREPARED UNTIL ACCEPTED BY THE DISTRICT'S REP. ACCEPTED SAMPLES SHALL BE PROTECTED & REMAIN ON SITE FOR REFERENCE UNTIL FINAL ACCEPTANCE.
5. ALL FENCES & GATES SHOWN ON PLAN ARE GRAPHIC REPRESENTATIONS; REFER TO DETAILS & SPECIFICATIONS FOR PRECISE LOCATION.
6. ASPHALT SHALL NOT BE INSTALLED UNTIL ALL EDGES & SITE FURNISHING PADS ARE INSTALLED.

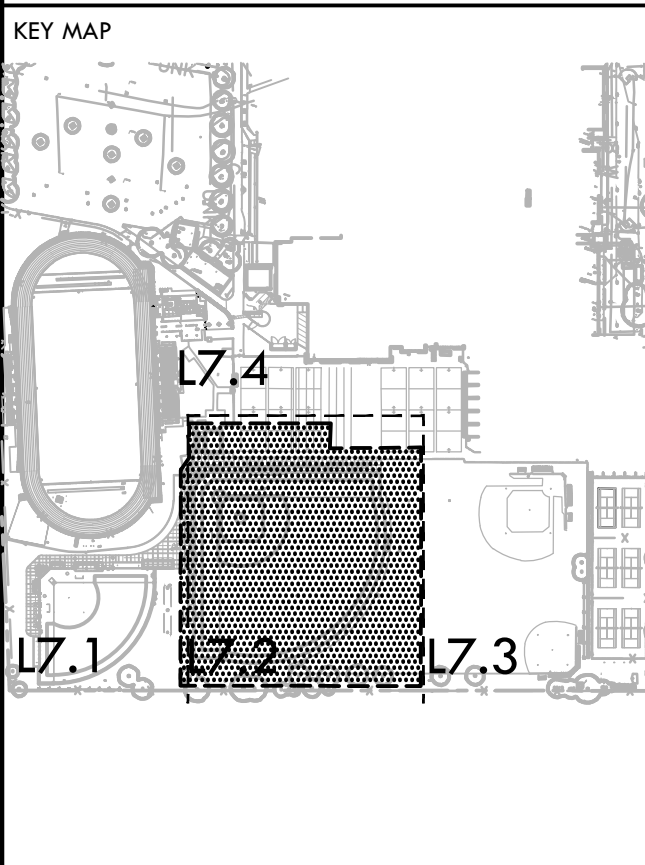
MATERIAL LEGEND

SYM	DESCRIPTION	DTL REF
	LIMIT OF WORK	
	SYNTHETIC TURF (GREEN)	M D3.1
	INFIELD FINES	A D3.1
	WARNING TRACK FINES	D3.1
	TRUNCATED DOMES - RECESSED	D3.1
	CONCRETE PAVING - PEDESTRIAN	A D2.1
	ASPHALT PAVING - VEHICULAR	L D2.1
	TENNIS COURT SURFACING	O D2.1
	EXPANSION JOINT	E D2.1
	SCORE JOINT	E D2.1
	REDWOOD HEADER BOARD	R D2.2
	42" CHAIN LINK FENCE	E D4.1
	GUARD RAIL SYSTEM	P D4.2
	6' CHAIN LINK FENCE (WITHOUT SLATS)	F D4.1
	6' CHAIN LINK FENCE (WITH SLATS)	G D4.1
	8' CHAIN LINK FENCE	D4.1
	10' CHAIN LINK FENCE (WITH SLATS)	I D4.1
	12' CHAIN LINK FENCE	J D4.1
	14'/16' CHAIN LINK FENCE	L D4.1
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	18' PROTECTIVE NETTING OVER 12' TALL CHAIN LINK FENCE	N D4.2
	30' PROTECTIVE NETTING (NO FENCE)	M D4.2
	TRENCH DRAIN	I D1.1
	42" TALL x 4' WIDE CHAIN LINK SWING GATE	A D4.2
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	8' TALL x 4' WIDE DOUBLE SWING GATE WITH PANIC HARDWARE	C D4.2
	6' TALL x 12' WIDE DOUBLE SWING GATE (WITH OR WITHOUT SLATS)	D D4.2
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	4 ROW ELEVATED BLEACHERS (6 TOTAL), REFER TO SPECIFICATIONS	
	SOFTBALL HOME DUGOUT (CMU) WITH STORAGE ROOM	A D3.4
	SOFTBALL HOME BULLPEN	G D3.3
	SOFTBALL BATTING CAGE WITH SHED STYLE ROOF AND LIGHTS	K D3.1
	SOFTBALL SCOREBOARD, REFER TO NEVCO PLANS	
	FLAGPOLE, REFER TO SPECIFICATIONS	
	BASEBALL VISITOR BULLPEN	I D3.1
	BASEBALL VISITOR DUGOUT (CHAIN LINK)	I D3.1
	BASEBALL HOME DUGOUT (CMU) WITH STORAGE ROOM	A D3.4

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