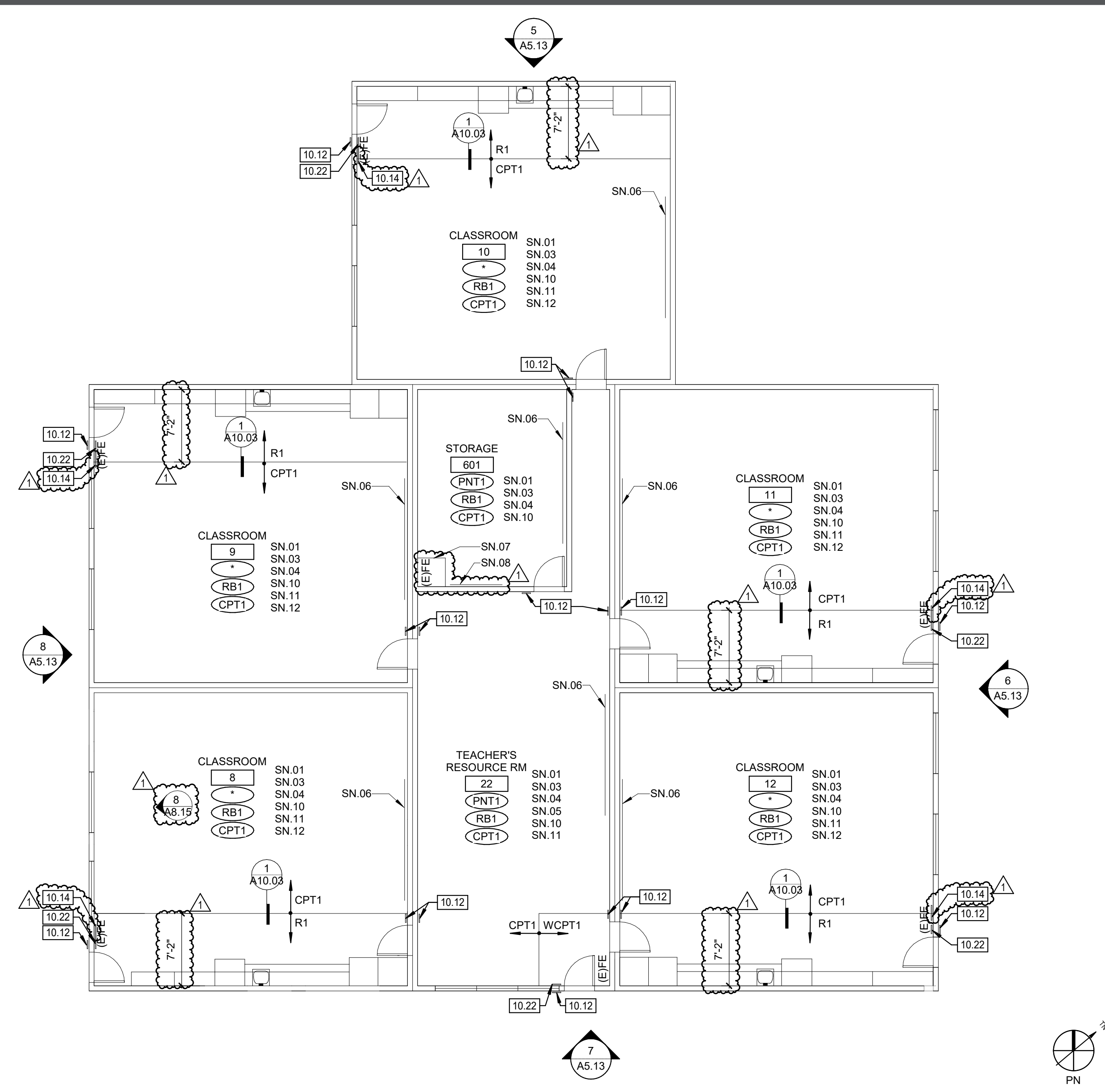
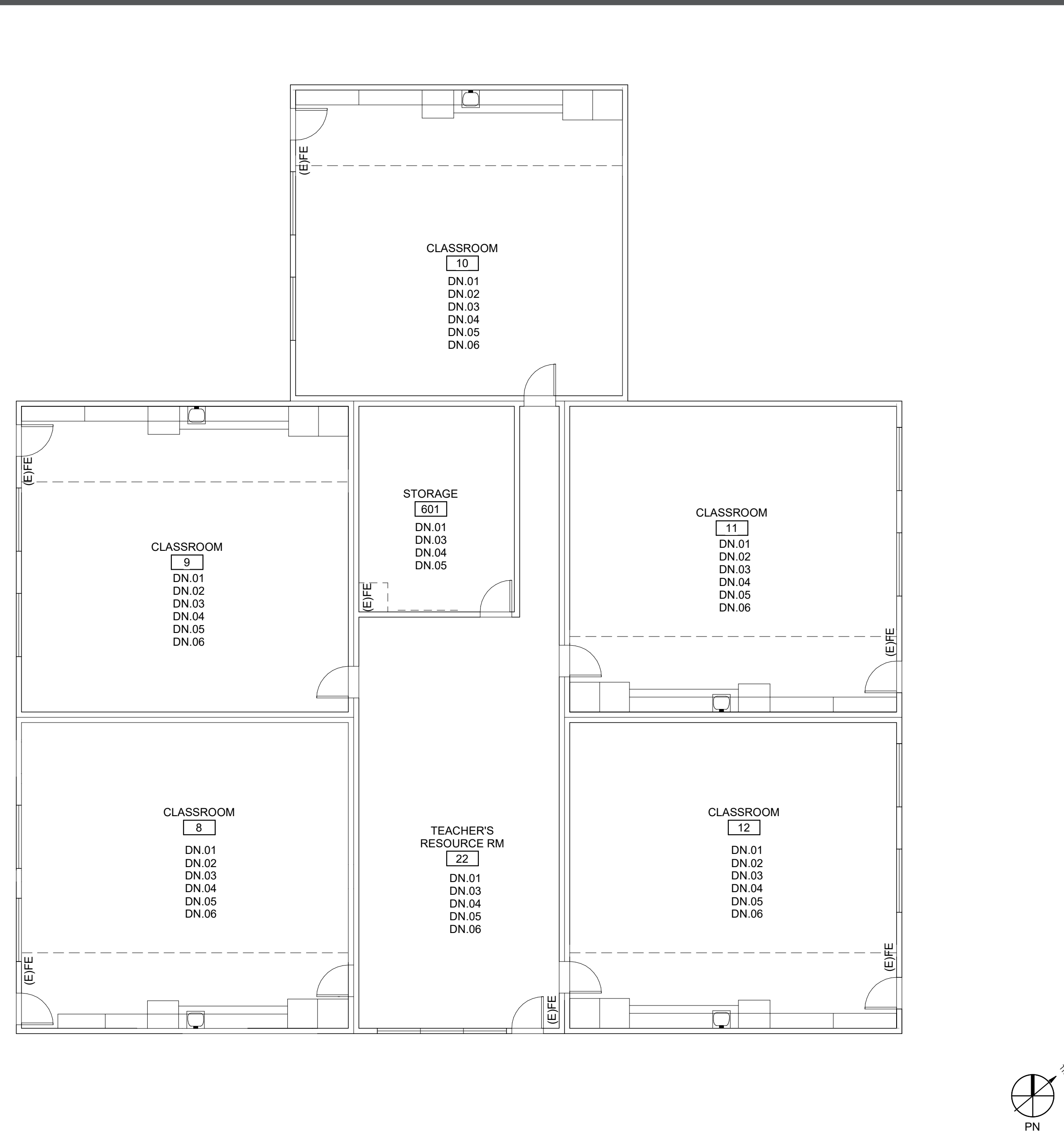


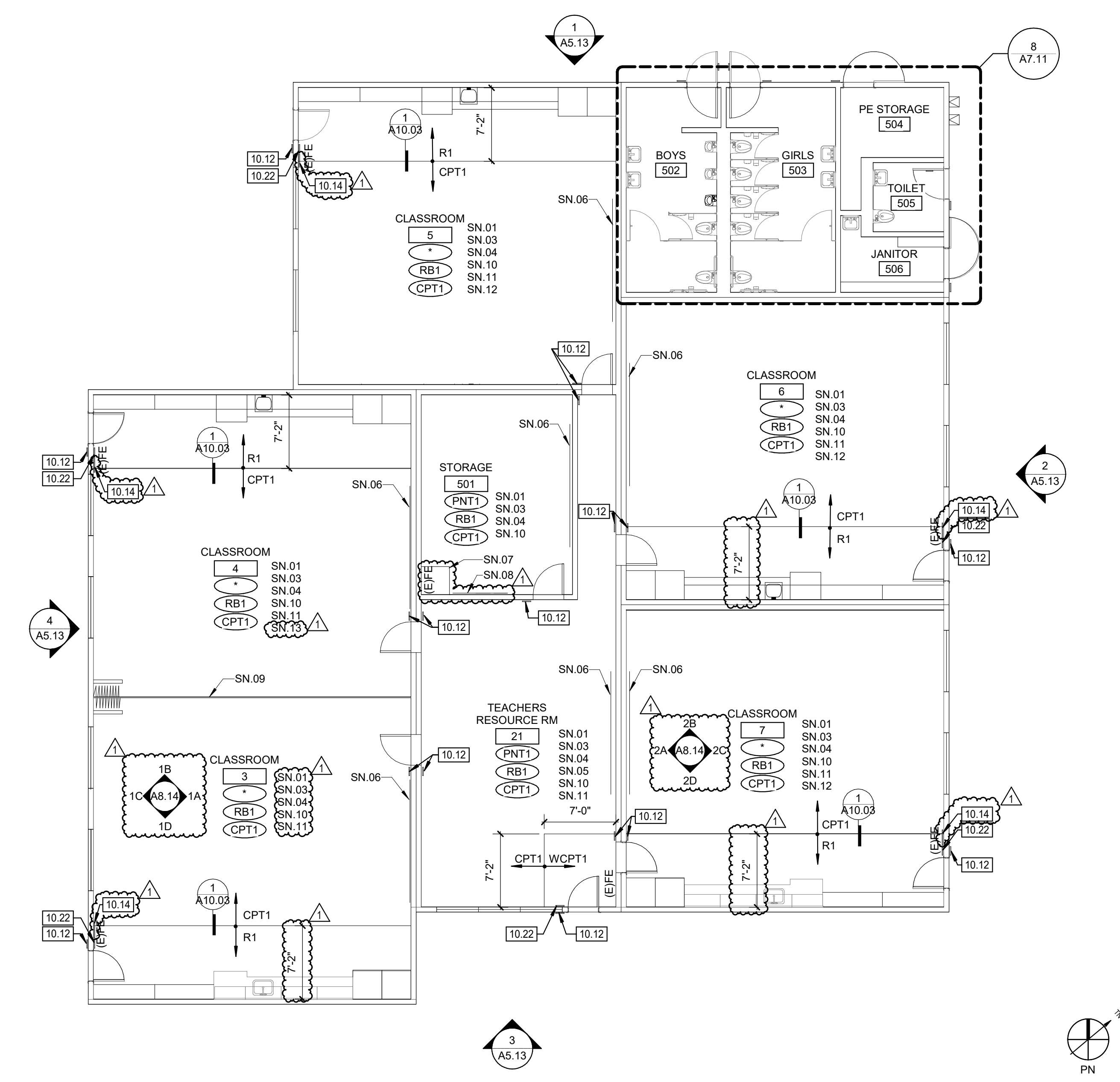
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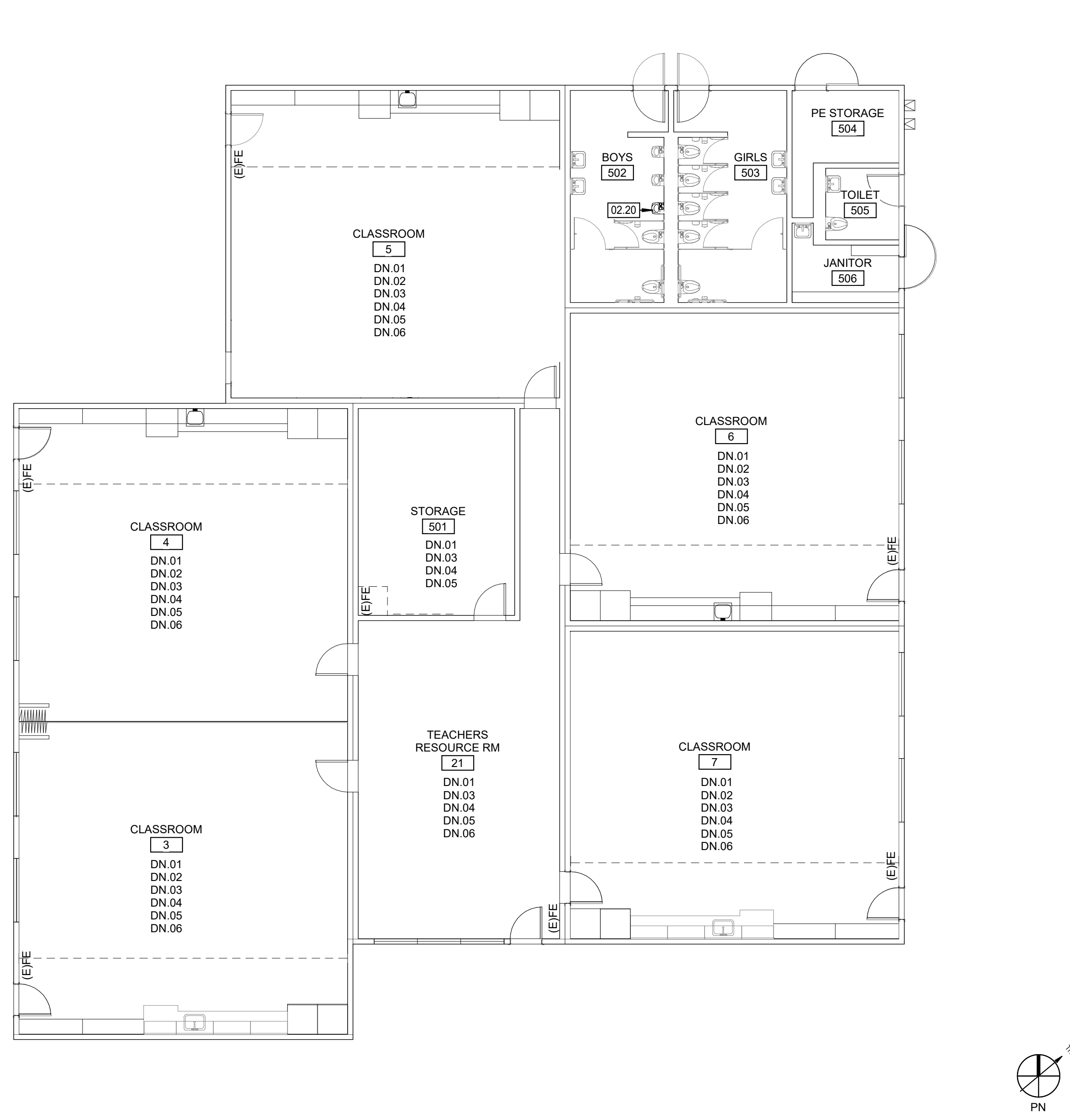
IMPROVEMENT FLOOR PLAN - BLDG 6 4
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 6 3
1/8" = 1'-0"



IMPROVEMENT FLOOR PLAN - BLDG 5 2
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 5 1
1/8" = 1'-0"

LEGEND

	EXISTING ELEMENT TO REMAIN
	EXISTING ELEMENT TO BE DEMOLISHED
	EXISTING ONE HOUR OCCUPANCY SEPARATION WALL
	ROOM NUMBER
	WALL FINISH - SEE FINISH SCHEDULE
	BASE FINISH - SEE FINISH SCHEDULE
	FLOOR FINISH - SEE FINISH SCHEDULE

- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED
 - PATCH AND REGUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
 - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
 - REMOVE ALL (E) ABANDONED WIRE MOLD
 - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
 - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
 - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
 - ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION UNO
 - ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION. SEE PLAN FOR SIGN TYPE
 - WHERE SIGNS MOUNTED ON GLASS, IF POSSIBLE MOUNT SIGNS BACK TO BACK AND MAKE EQUAL SIZE. WHERE NO SECOND SIGN IS PRESENT, PROVIDE A BLANK SIGN TO COVER ADHESIVE.
 - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS. SEE DETAIL 4/A10.03

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1 ADDENDUM #1	03/01/2024

KEYNOTES

	ROOM NUMBER
	ROOM TO SIGN 12/A10.04
	ASSISTIVE LISTENING DEVICE SIGN SEE DETAIL 4/A10.04
	TACTILE EXIT SIGN 12/A10.04

- DEMOLITION NOTES**
- DN.01 (E) CARPET TO BE REMOVED IN ITS ENTIRETY
 - DN.02 (E) VCT TO BE REMOVED IN ITS ENTIRETY
 - DN.03 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
 - DN.04 (E) LAY-IN CEILING PANELS TO BE REMOVED IN THEIR ENTIRETY. (E) GRID TO REMAIN
 - DN.05 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REMOVED AND STORED
 - DN.06 (E) PROJECTION SCREEN TO BE REMOVED AND STORED

- SHEET NOTES**
- SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
 - SN.02 (E) GRID AND DIFFUSERS (PNT.1, U.N.O.) AND INSTALL LAY-IN CEILING PANEL (ACP1)
 - SN.03 (E) INSTALL RUBBER BASE
 - SN.04 (E) INSTALL WALK-OFF CARPET AT EXTERIOR DOORS
 - SN.05 (E) MARKERBOARDS TO REMAIN. PROTECT DURING CONSTRUCTION
 - SN.06 (E) ELECTRICAL PANELS. PROTECT DURING CONSTRUCTION
 - SN.07 (E) FOLDING PARTITION WALL. CLEAN (E) FINISH
 - SN.08 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REMOVED AND STORED
 - SN.09 (E) PROJECTION SCREEN TO BE REINSTALLED IN SAME LOCATION
 - SN.10 (E) REFER TO CLASSROOM 7 FOR SIMILAR INTERIOR ELEVATIONS
 - SN.11 (E) REFER TO CLASSROOM 3 FOR SIMILAR INTERIOR ELEVATIONS
 - SN.12 (E) REFER TO CLASSROOM 3 FOR SIMILAR INTERIOR ELEVATIONS
 - SN.13 (E) REFER TO CLASSROOM 3 FOR SIMILAR INTERIOR ELEVATIONS

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

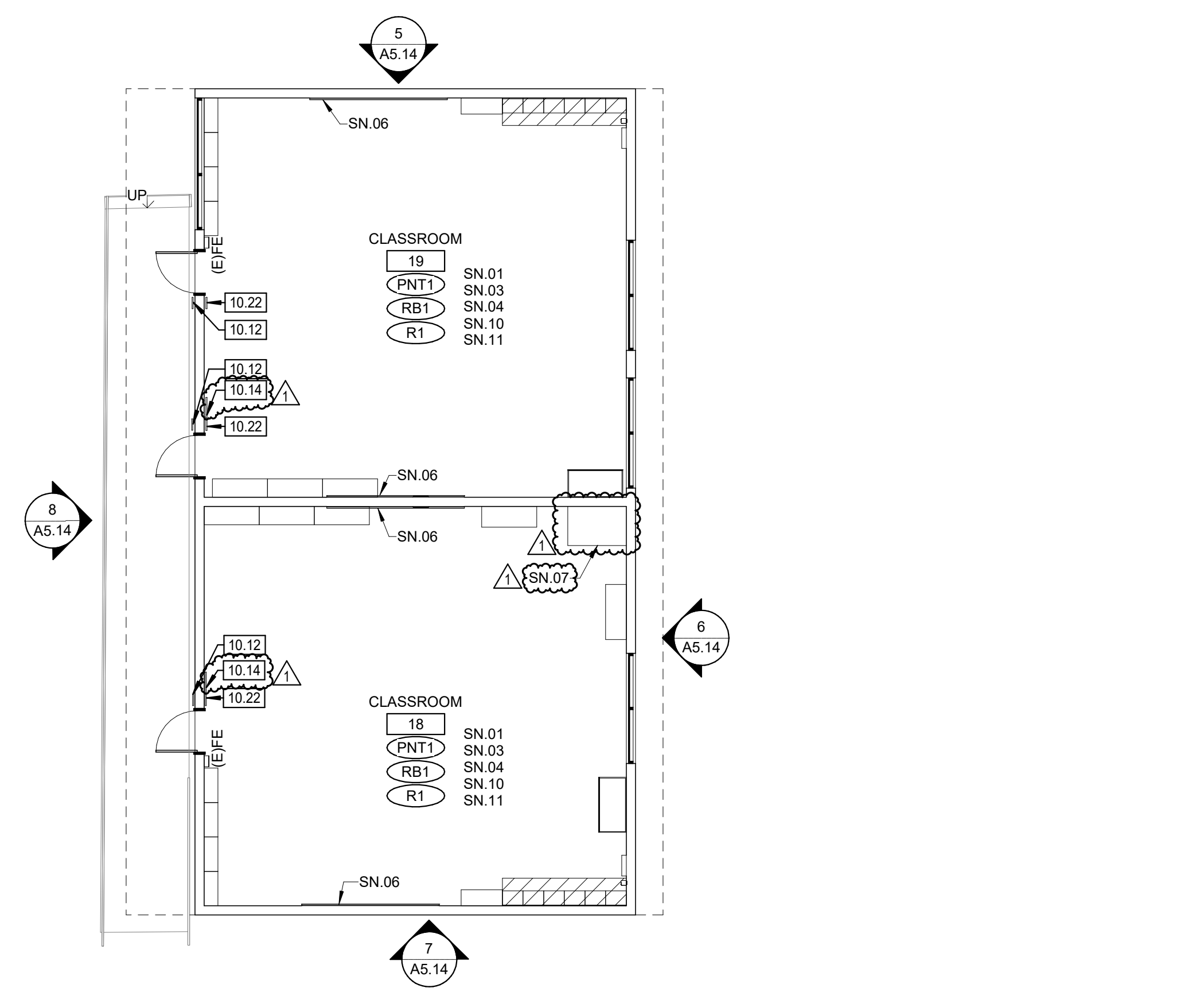
SHEET NAME:
DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 5, 6

DSA SUBMITTAL

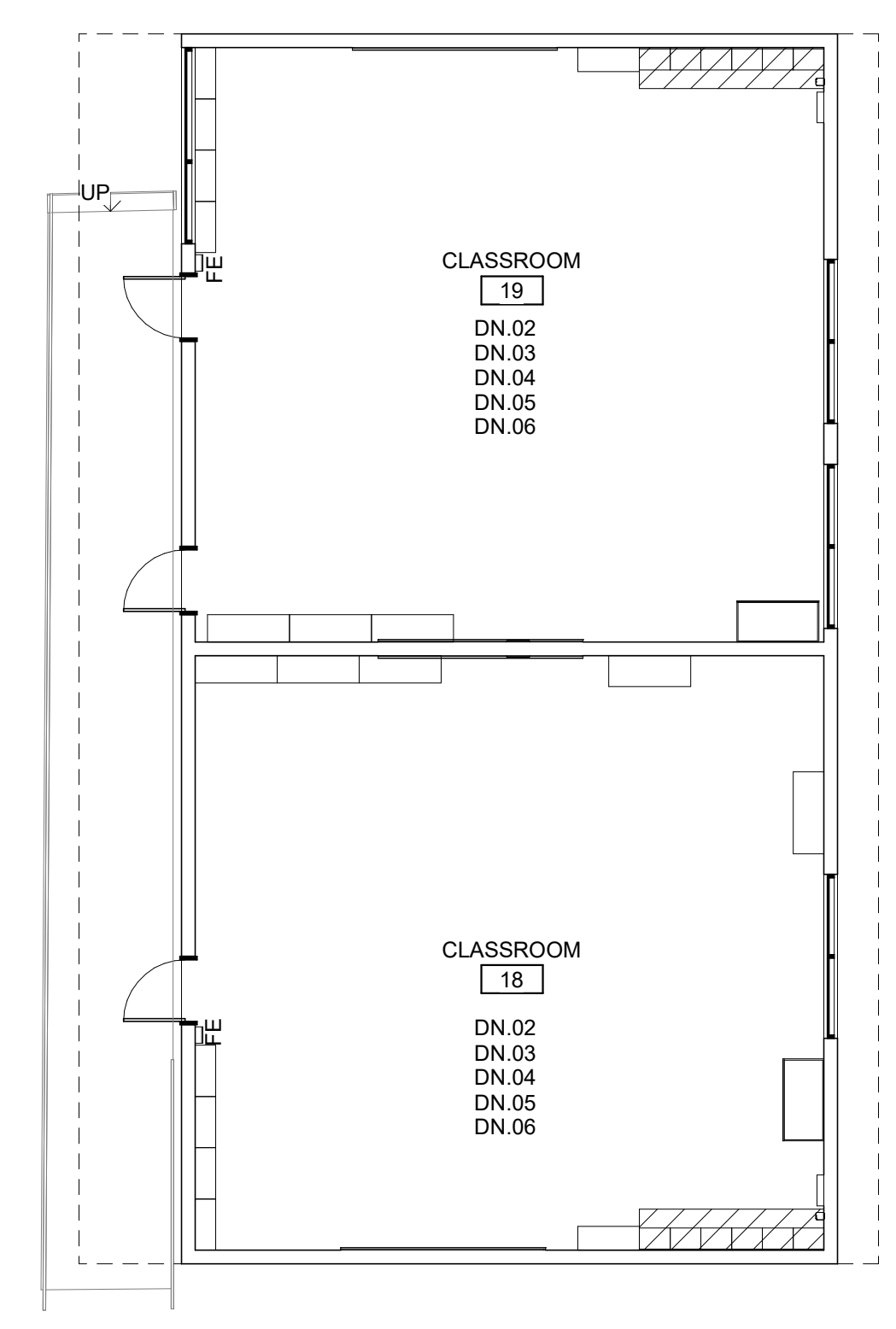
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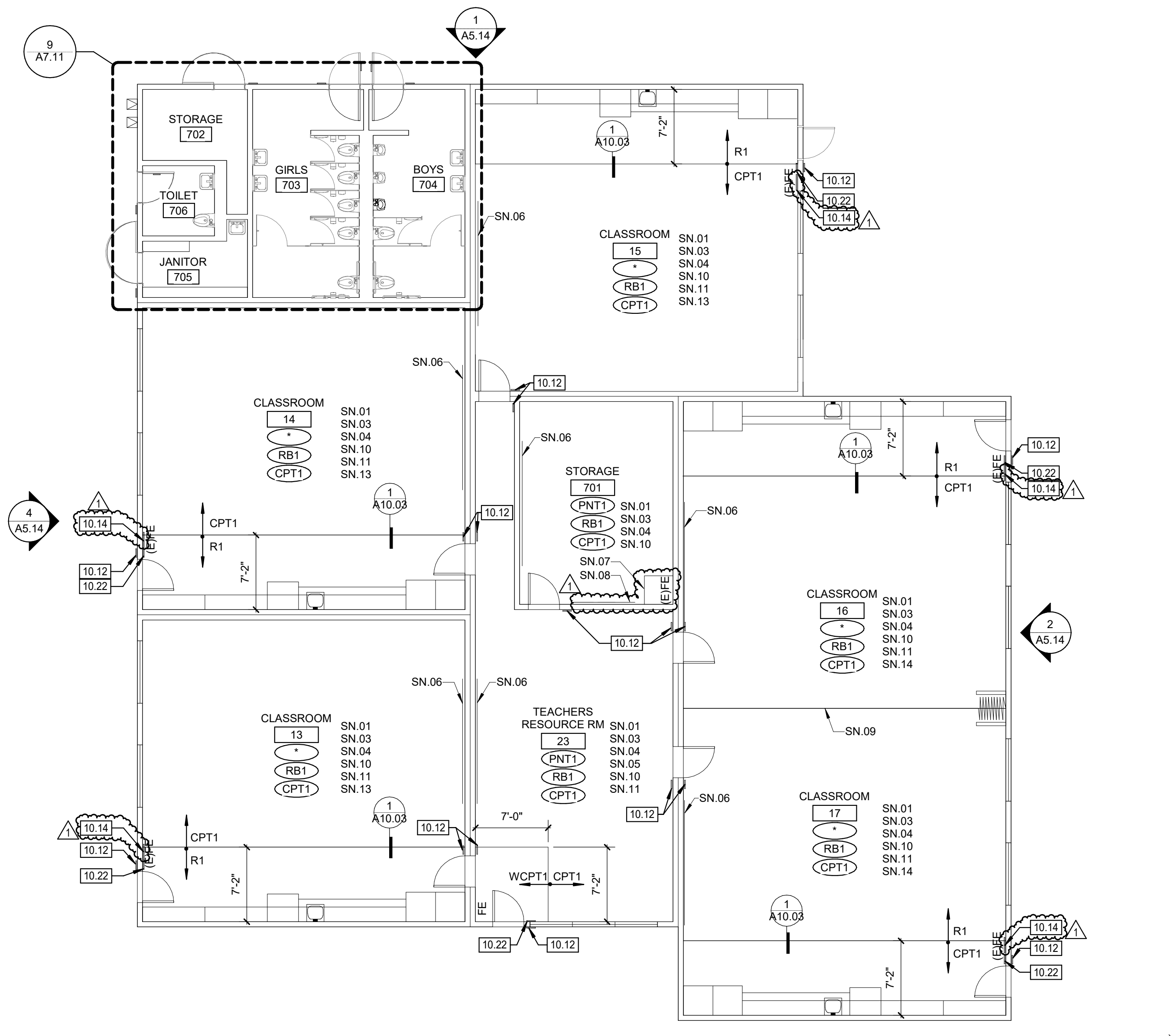
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IMPROVEMENT FLOOR PLAN - BLDG 8 **4**
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 8 **3**
1/8" = 1'-0"



IMPROVEMENT FLOOR PLAN - BLDG 7 **2**
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 7 **1**
1/8" = 1'-0"

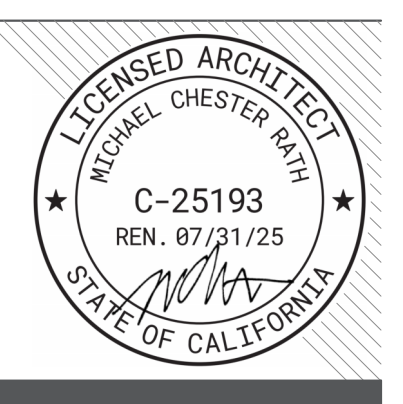
LEGEND

	EXISTING ELEMENT TO REMAIN
	EXISTING ELEMENT TO BE DEMOLISHED
	EXISTING ONE HOUR OCCUPANCY SEPARATION WALL
	ROOM NUMBER
	WALL FINISH - SEE FINISH SCHEDULE
	MULT. FINISHES, SEE INT. ELEVATIONS
	BASE FINISH - SEE FINISH SCHEDULE
	FLOOR FINISH - SEE FINISH SCHEDULE

- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED
 - PATCH AND REGUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
 - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
 - REMOVE ALL (E) ABANDONED WIRE MOLD
 - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
 - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
 - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
 - ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION UNO
 - ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION. SEE PLAN FOR SIGN TYPE
 - THE ROOM NAMES AND NUMBERS INDICATED ON THE FLOOR PLANS ARE SOLELY FOR REFERENCE IN CONSTRUCTION DOCUMENTS. THE CONTRACTOR TO PROVIDE COMPLETE CHART OF ACTUAL BUILDING ROOM USE SIGNAGE DESIGNATION. THE ARCHITECT TO FORWARD THIS INFORMATION TO THE DISTRICT FOR REVIEW AND APPROVAL.
 - WHERE SIGNS MOUNTED ON GLASS, IF POSSIBLE MOUNT SIGNS BACK TO BACK AND MAKE EQUAL SIZE. WHERE NO SECOND SIGN IS PRESENT, PROVIDE A BLANK SIGN TO COVER ADHESIVE.
 - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS. SEE DETAIL 4/A10.03



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1 ADDENDUM #1	03/01/2024

KEYNOTES

02.20 REMOVE (E) URINAL	10.14 REMOVE (E) RUBBER BASE
10.14 ASSISTIVE LISTENING DEVICE SIGN - SEE DETAIL 10/A10.04	10.22 TACTILE "EXIT" SIGN 8/A10.04

- DEMOLITION NOTES**
- DN 01 (E) CARPET TO BE REMOVED IN ITS ENTIRETY
 - DN 02 (E) VCT TO BE REMOVED IN ITS ENTIRETY
 - DN 03 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
 - DN 04 (E) LAY-IN CEILING PANELS TO BE REMOVED IN THEIR ENTIRETY. (E) GRID TO REMAIN
 - DN 05 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REMOVED AND STORED
 - DN 06 (E) PROJECTION SCREENS TO BE REMOVED AND STORED

- SHEET NOTES**
- SN 01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE REMOVED
 - SN 02 (E) NOT USED
 - SN 03 (E) PAINT (E) GRID DIFFUSERS, AND MODULAR LINES (PNT1, U, N, O.) AND INSTALL LAY-IN CEILING PANEL (ACP1)
 - SN 04 INSTALL RUBBER BASE
 - SN 05 INSTALL WALK-OFF CARPET AT EXTERIOR DOORS
 - SN 06 (E) MARKER CARDS TO REMAIN. PROTECT DURING CONSTRUCTION
 - SN 07 (E) TYPING BOXES TO BE PROTECTED DURING CONSTRUCTION
 - SN 08 (E) ELECTRICAL PANELS. PROTECT DURING CONSTRUCTION
 - SN 09 (E) FOLDING PARTITION WALL. CLEAN (E) FINISH
 - SN 10 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REMOVED AND STORED
 - SN 11 (E) PROJECTION SCREENS TO BE REINSTALLED IN SAME LOCATION
 - SN 12 (E) NOT USED
 - SN 13 REFER TO CLASSROOM 7 FOR SIMILAR INTERIOR ELEVATIONS
 - SN 14 REFER TO CLASSROOM 3 FOR SIMILAR INTERIOR ELEVATIONS

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 7,8

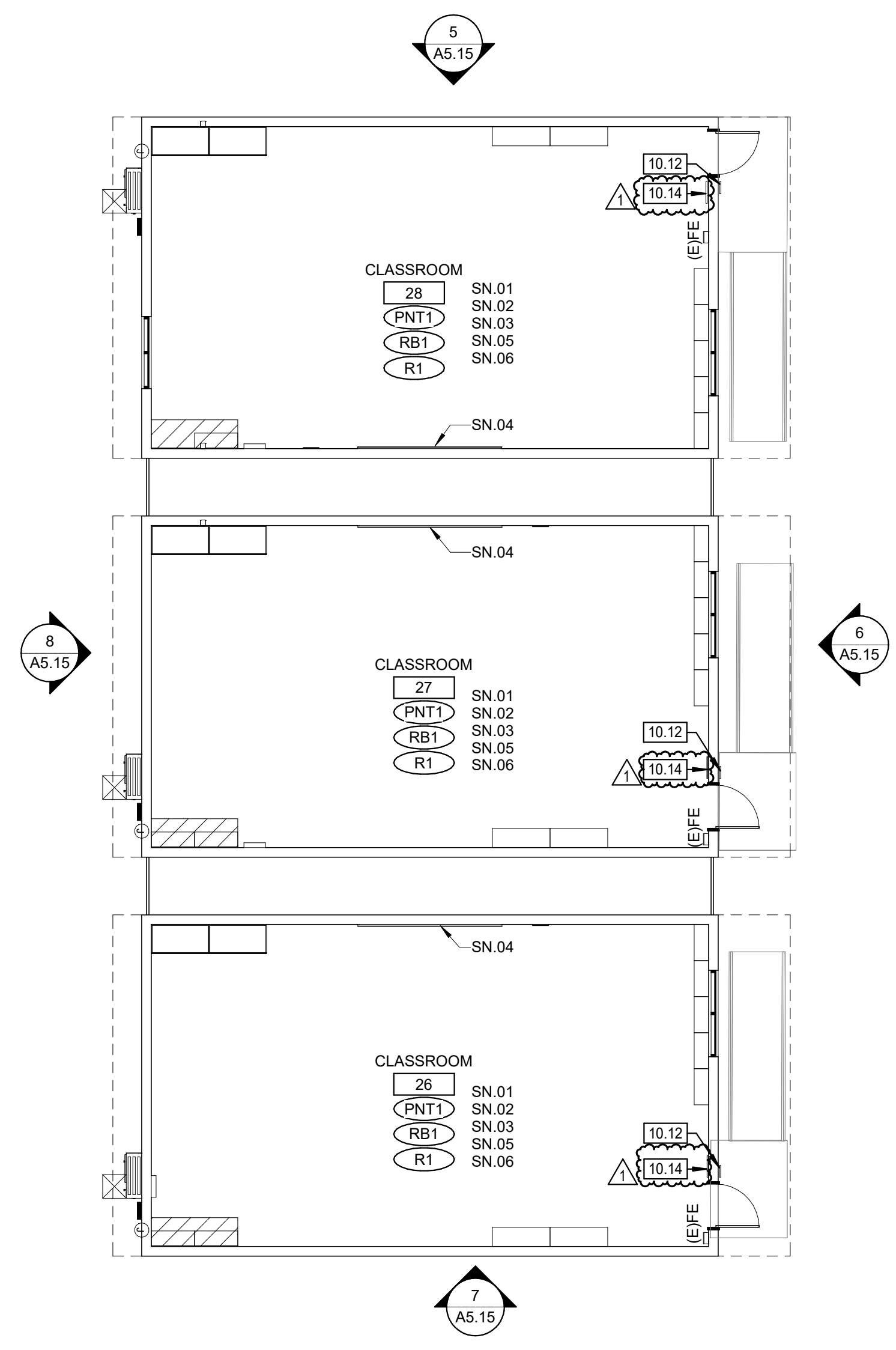
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DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

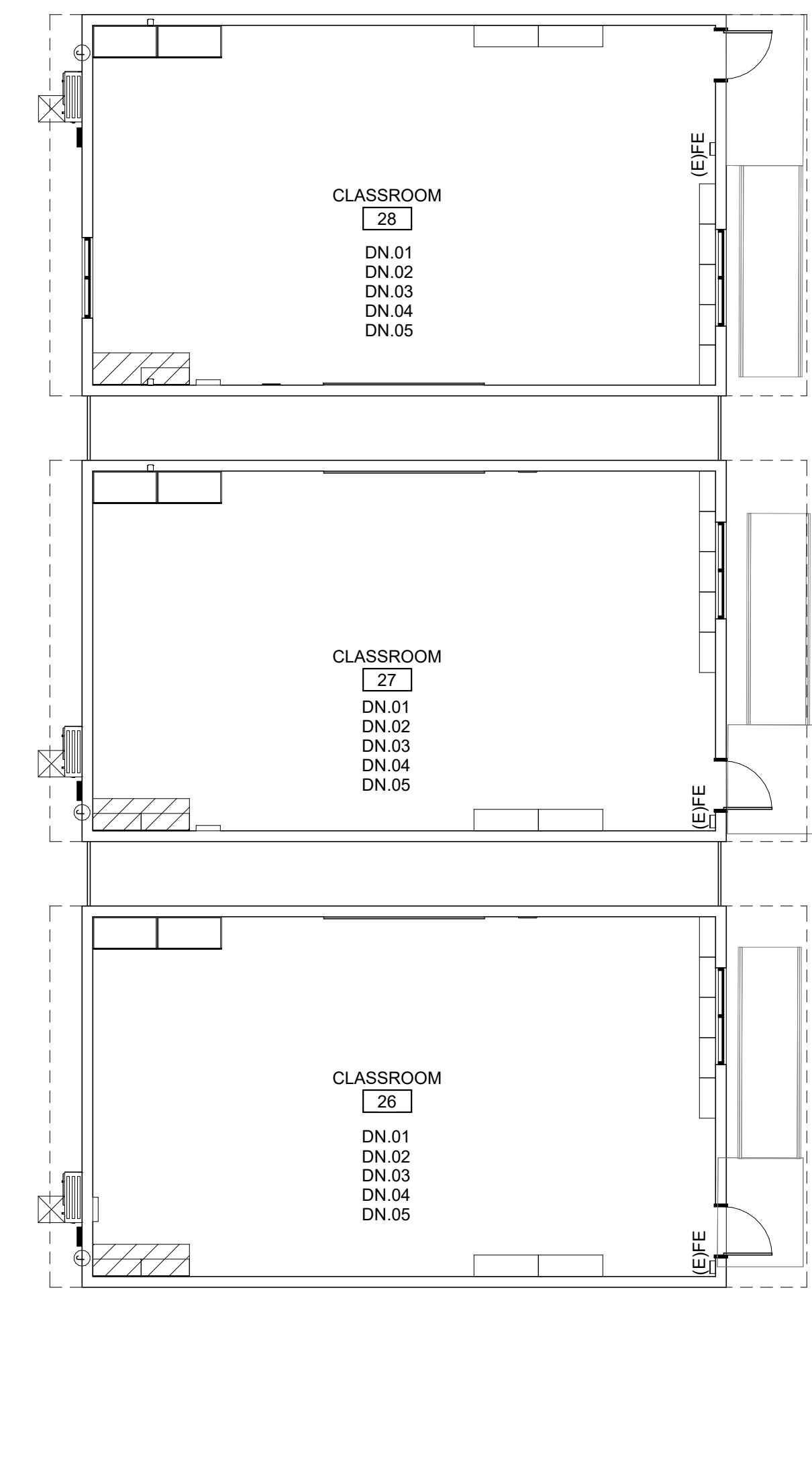
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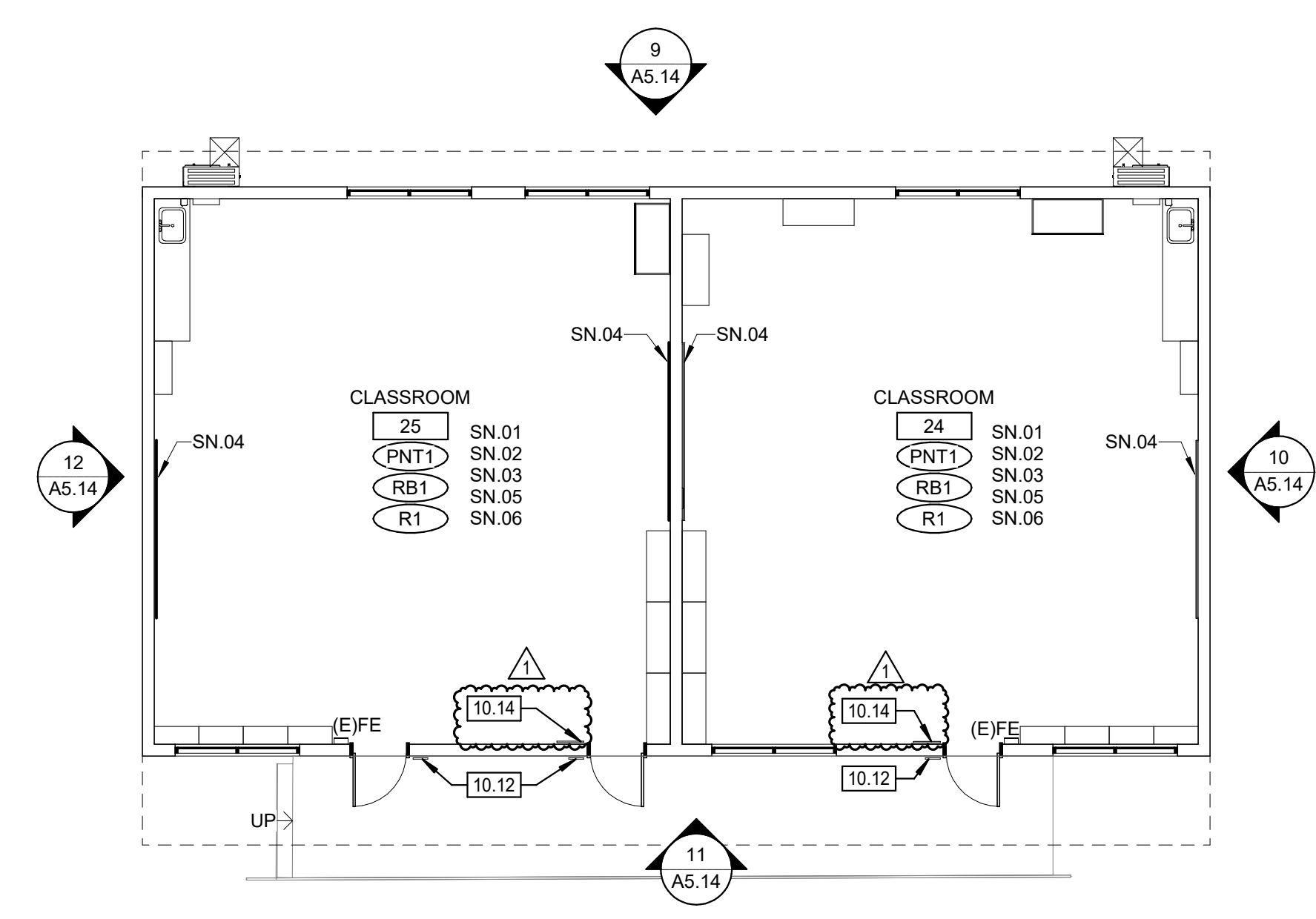
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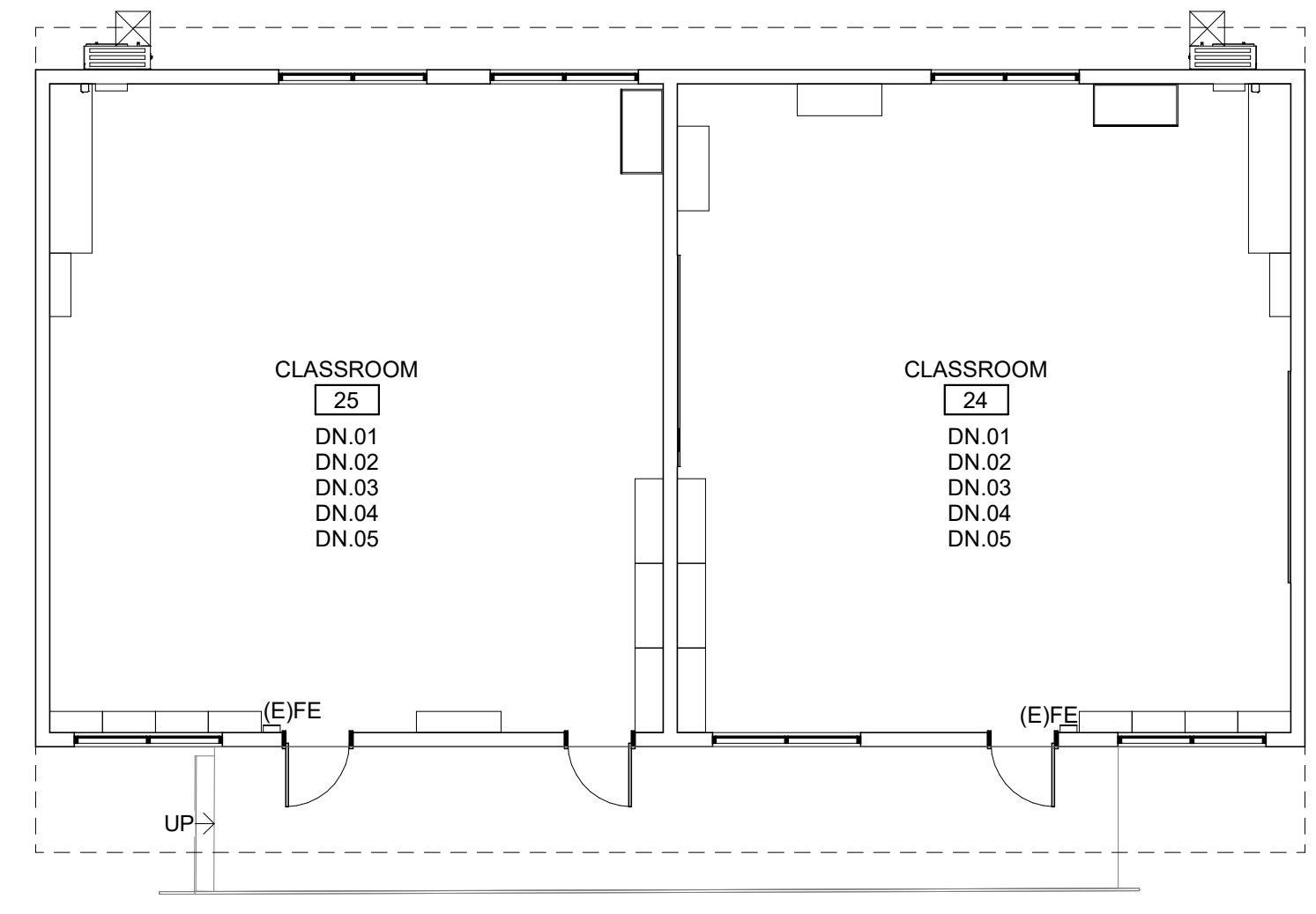
IMPROVEMENT FLOOR PLAN - BLDG 11 4
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 11 3
1/8" = 1'-0"



IMPROVEMENT FLOOR PLAN - BLDG 9 2
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 9 1
1/8" = 1'-0"

LEGEND

- EXISTING ELEMENT TO REMAIN
- - - - EXISTING ELEMENT TO BE DEMOLISHED
- EXISTING ONE HOUR OCCUPANCY SEPARATION WALL
- ROOM NAME
- 101 ROOM NUMBER
- WF WALL FINISH - SEE FINISH SCHEDULE
- BF BASE FINISH - SEE FINISH SCHEDULE
- FF FLOOR FINISH - SEE FINISH SCHEDULE

- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED
 - PATCH AND REGLOUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
 - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
 - REMOVE ALL (E) ABANDONED WIRE MOLD
 - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
 - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
 - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
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 - THE ROOM NAMES AND NUMBERS INDICATED ON THE FLOOR PLANS ARE SOLELY FOR REFERENCE IN CONSTRUCTION DOCUMENTS. THE CONTRACTOR TO PROVIDE COMPLETE CHART OF ACTUAL BUILDING ROOM USE SIGNAGE DESIGNATION. THE ARCHITECT TO FORWARD THIS INFORMATION TO THE DISTRICT FOR REVIEW AND APPROVAL.
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 - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS. SEE DETAIL 4/A10.03

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DESCRIPTION	DATE
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KEYNOTES

- 10.14 ROOM ID SIGN, 1, 2, 3, 4, 5
- 10.14 ASSISTIVE LISTENING DEVICE SIGN, SEE DETAIL 10.04

- DEMOLITION NOTES**
- DN.01 (E) VCT TO BE REMOVED IN ITS ENTIRETY
 - DN.02 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
 - DN.03 (E) LAY-IN CEILING PANELS TO BE REMOVED IN THEIR ENTIRETY
 - (E) GRID TO REMAIN
 - DN.04 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REMOVED AND STORED
 - DN.05 (E) PROJECTION SCREENS TO BE REMOVED AND STORED

- SHEET NOTES**
- SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
 - SN.02 PAINT (E) GRID, DIFFUSERS, AND MODULAR LINES (PNT1, U.N.O.) AND INSTALL LAY-IN CEILING PANEL (ACP1)
 - SN.03 INSTALL RUBBER BASE
 - SN.04 (E) MARKERBOARDS TO REMAIN. PROTECT DURING CONSTRUCTION
 - SN.05 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REINSTALLED IN SAME LOCATION
 - SN.06 (E) PROJECTION SCREENS TO BE REINSTALLED IN SAME LOCATION

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SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

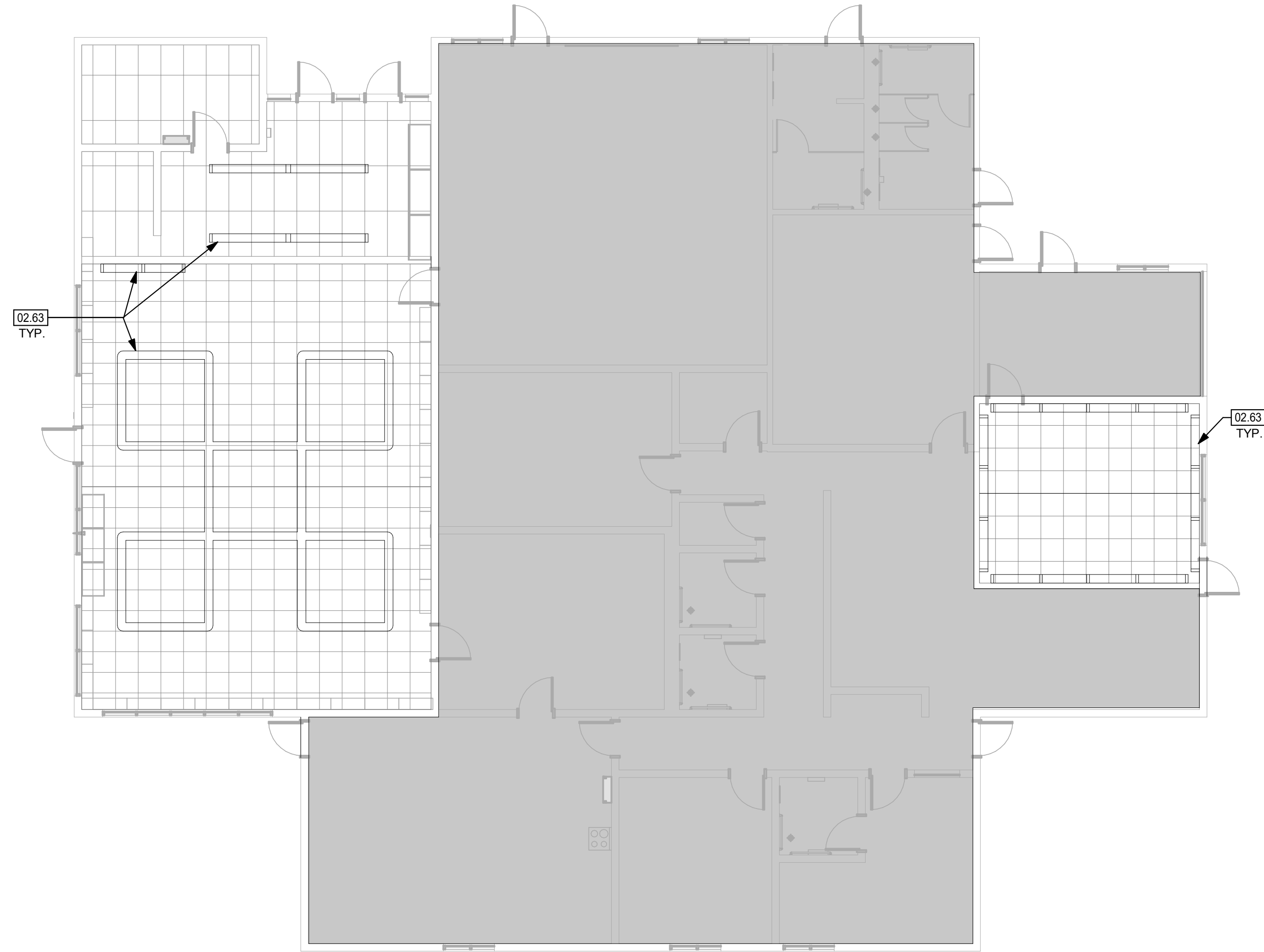
SHEET NAME:
DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 9, 11

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

THE LINE SHOWN ABOVE IS THE EXACT DIMENSIONAL PAGE SIZE



DEMO RCP - BLDG 2
2
1/8" = 1'-0"

LEGEND - RCP

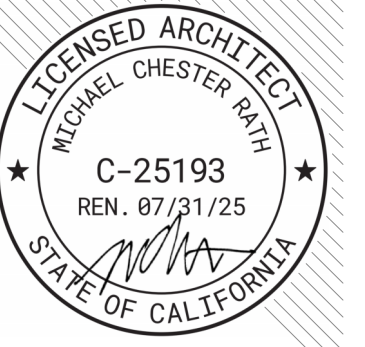
	PARTITION
	EXISTING PARTITION
	EXISTING GB CEILING (GYP BD) / PLASTER SOFFIT (P) REF: FLOOR PLAN
	EXISTING GLUE-UP ACOUSTICAL PANEL REF: FLOOR PLAN AND SPECS
	EXISTING 24"x48" CEILING GRID WITH NEW LAY-IN CEILING PANELS REF: FLOOR PLAN AND SPECS
	EXISTING CEILING AND CEILING MOUNTED ITEMS NOT SHOWN. SEE FLOOR AND ROOF PLANS FOR MORE INFORMATION



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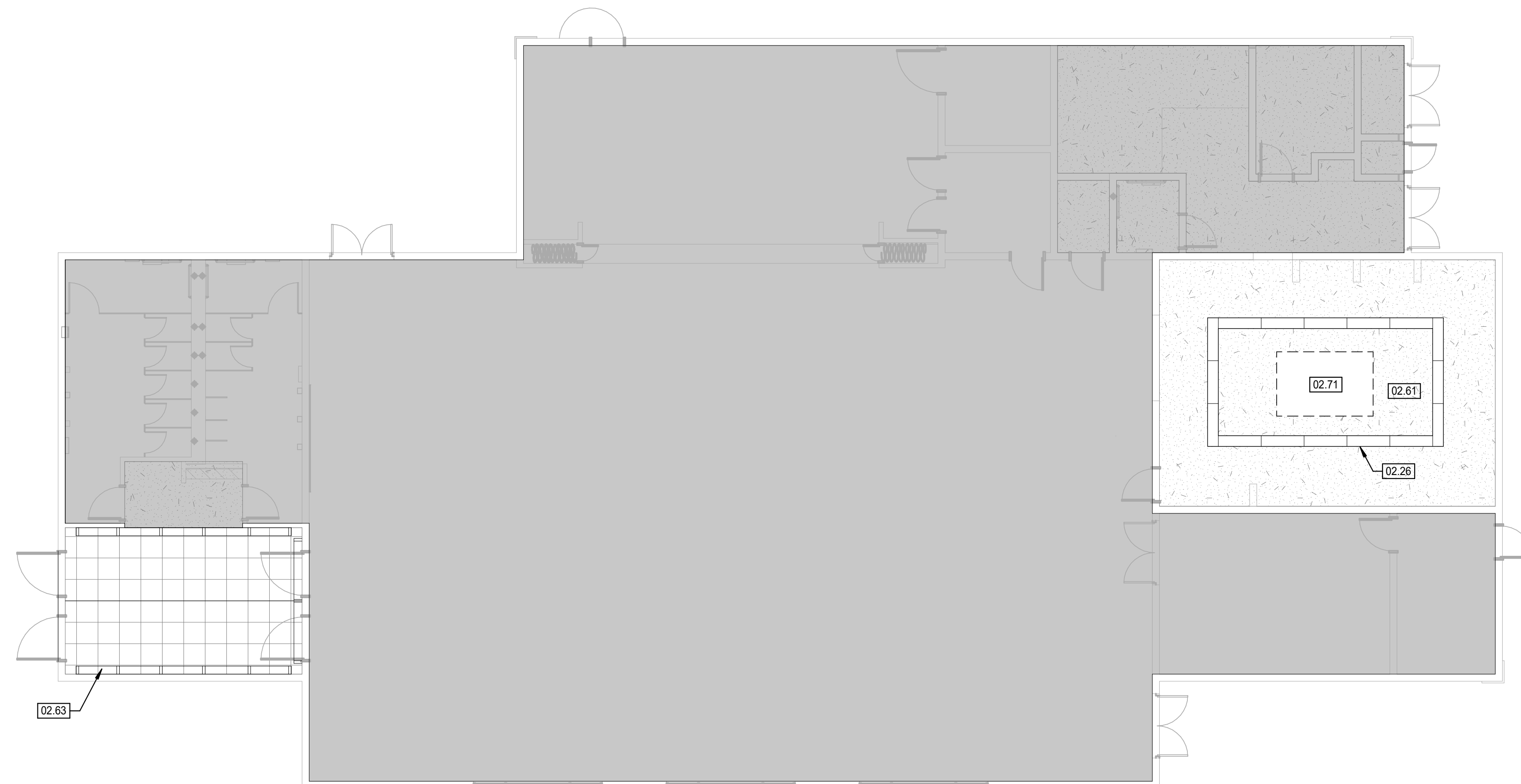
ISSUE	DESCRIPTION	DATE
1	ADDENDUM #1	03/01/2024

KEYNOTES

- 02.26 (E) LIGHT FIXTURES TO REMAIN; PROTECT IN PLACE
- 02.61 DEMOLISH PORTION OF (E) CEILING AS REQUIRED FOR IMPROVEMENT | REMODEL PLAN
- 02.63 REMOVE (E) LIGHT FIXTURE | ELEC
- 02.71 REMOVE (E) KITCHEN HOOD

NOTES

- SEE FLOOR PLANS FOR CEILING REPAIR INFORMATION
- SEE MECHANICAL DRAWINGS FOR MECHANICAL SCOPE
- SEE ELECTRICAL DRAWINGS FOR ELECTRICAL SCOPE



DEMO RCP - BLDG 1
1
1/8" = 1'-0"

FACILITY:
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SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
DEMOLITION REFLECTED CEILING PLAN - BLDG 1,2

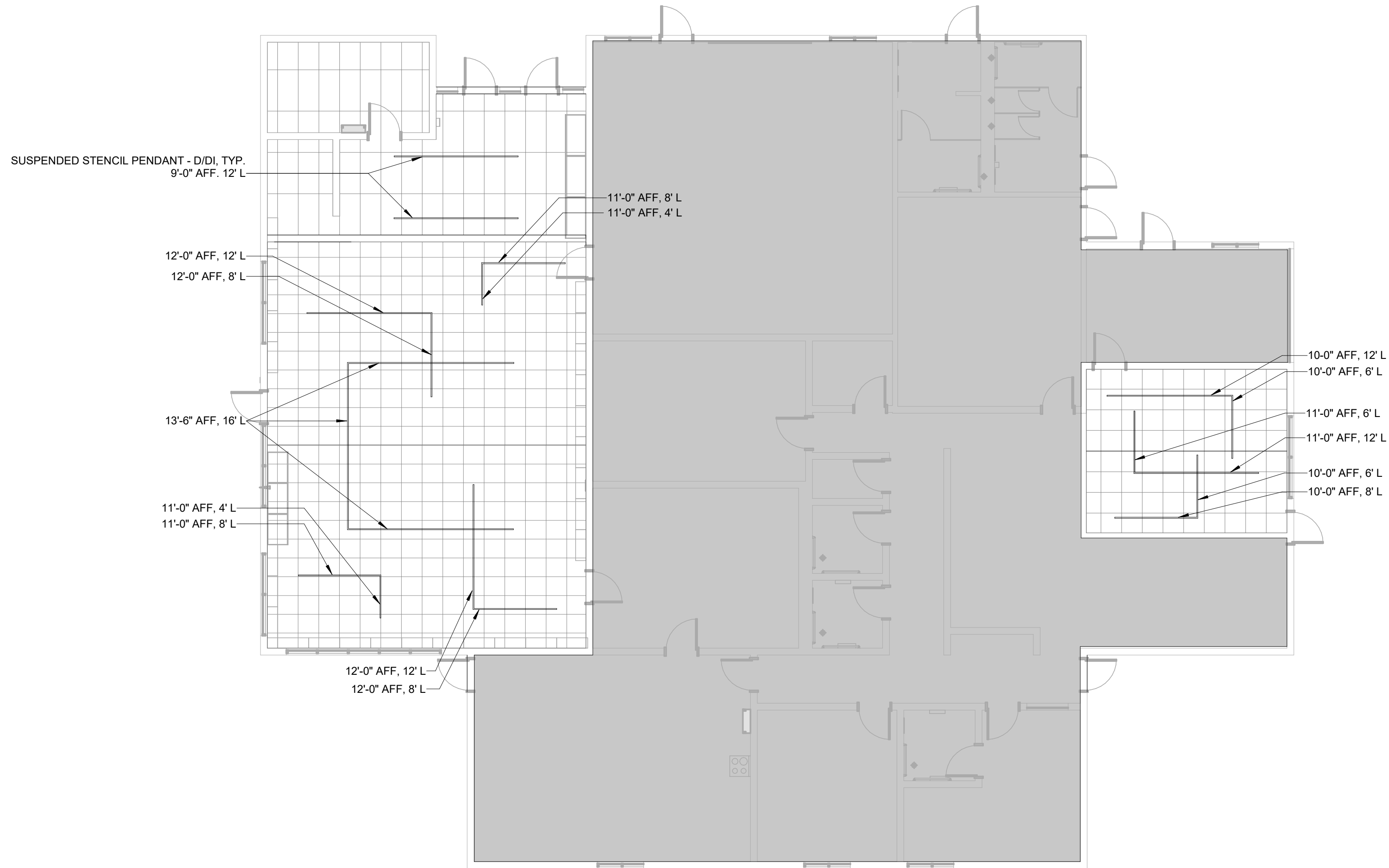
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DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000
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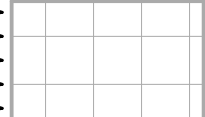
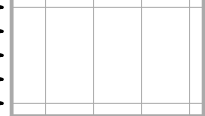

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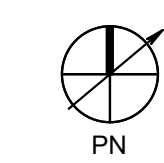
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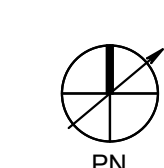
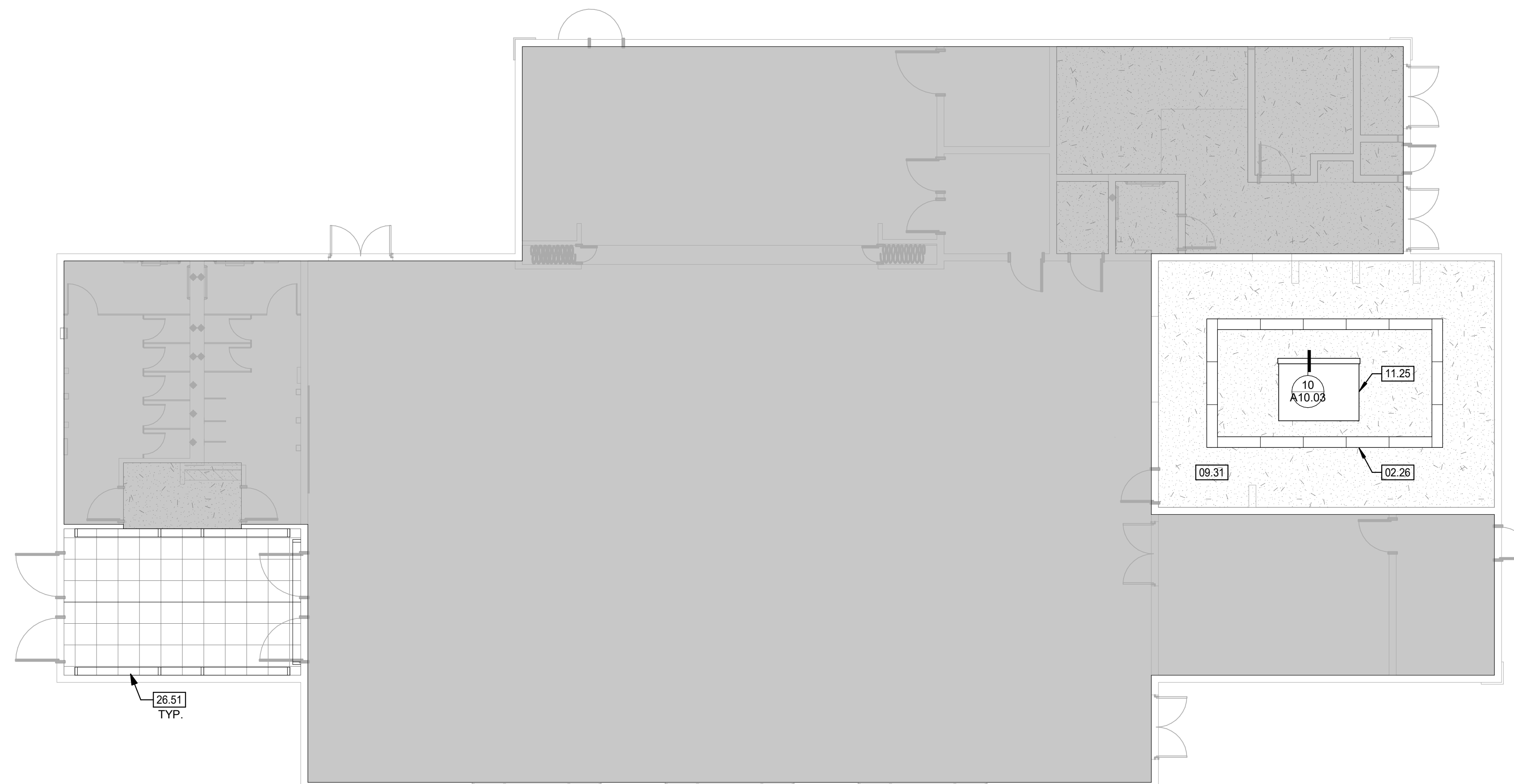


LEGEND - RCP

-  PARTITION
-  EXISTING PARTITION
-  EXISTING GB CEILING (GYP BD) / PLASTER SOFFIT (P)
REF: FLOOR PLAN
-  EXISTING GLUE-UP ACOUSTICAL PANEL
REF: FLOOR PLAN AND SPECS
-  EXISTING 24"x48" CEILING GRID WITH NEW LAY-IN CEILING PANELS
REF: FLOOR PLAN AND SPECS
-  EXISTING CEILING AND CEILING MOUNTED ITEMS NOT SHOWN. SEE FLOOR AND ROOF PLANS FOR MORE INFORMATION



IMPROVEMENT RCP - BLDG 2 **2**
1/8" = 1'-0"



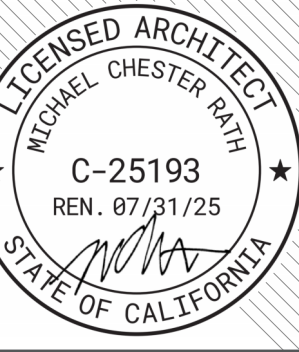
IMPROVEMENT RCP - BLDG 1 **1**
1/8" = 1'-0"



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1 ADDENDUM #1	03/01/2024

KEYNOTES

- 02.26 (E) LIGHT FIXTURES TO REMAIN; PROTECT IN PLACE
- 09.31 PATCH AND REPAIR (E) GYP CEILING AFTER PARTIAL DEMOLITION
- 11.25 HOOD, SEE FOODSERVICE DRAWINGS
- 26.51 LIGHT FIXTURE | ELEC

NOTES

1. SEE FLOOR PLANS FOR CEILING REPAIR INFORMATION
2. SEE MECHANICAL DRAWINGS FOR MECHANICAL SCOPE
3. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL SCOPE

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SHEET NAME:
IMPROVEMENT REFLECTED CEILING PLAN - BLDG 1,2

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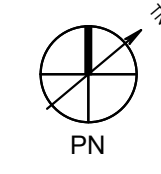
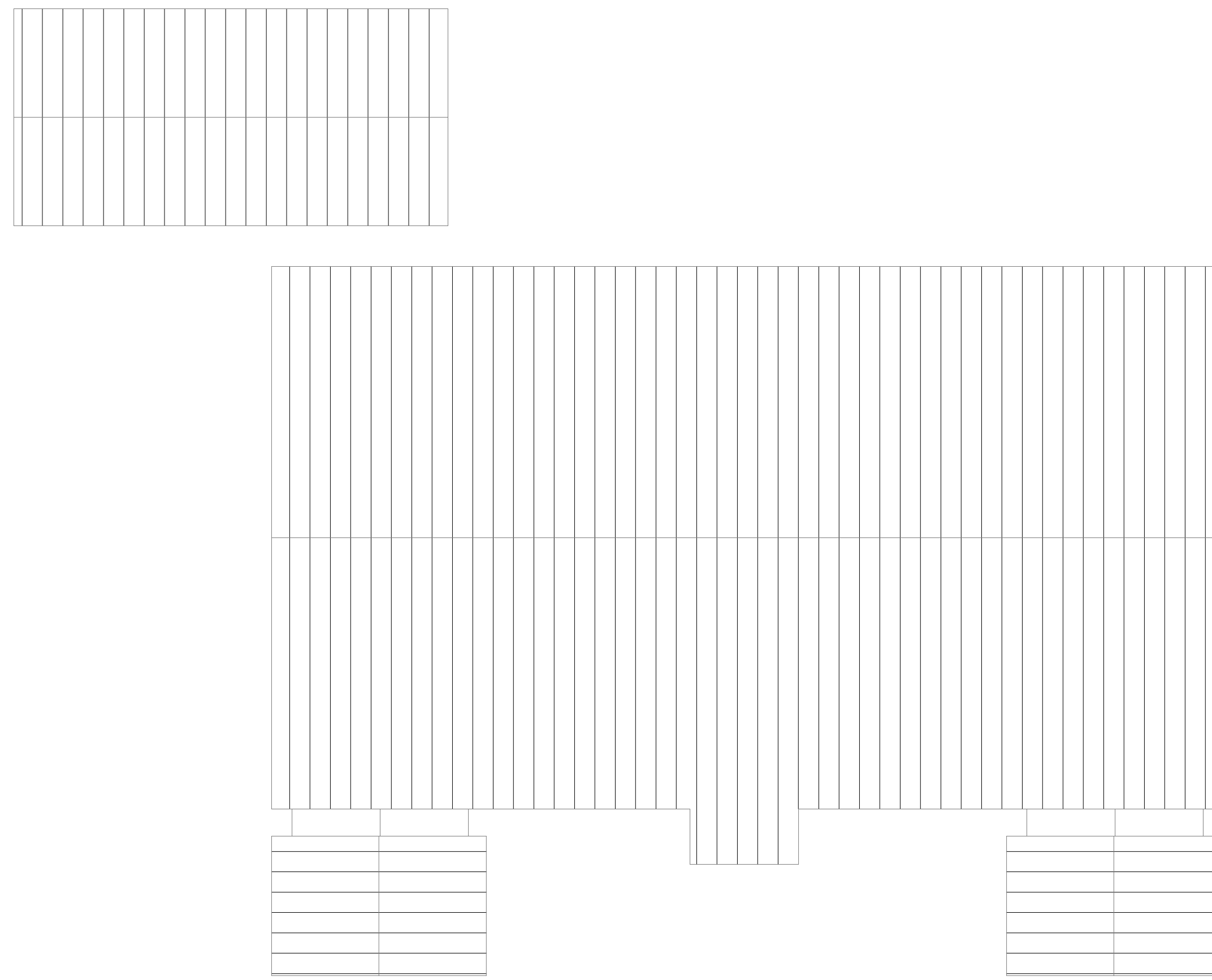
DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

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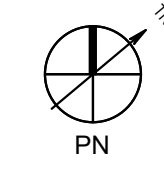
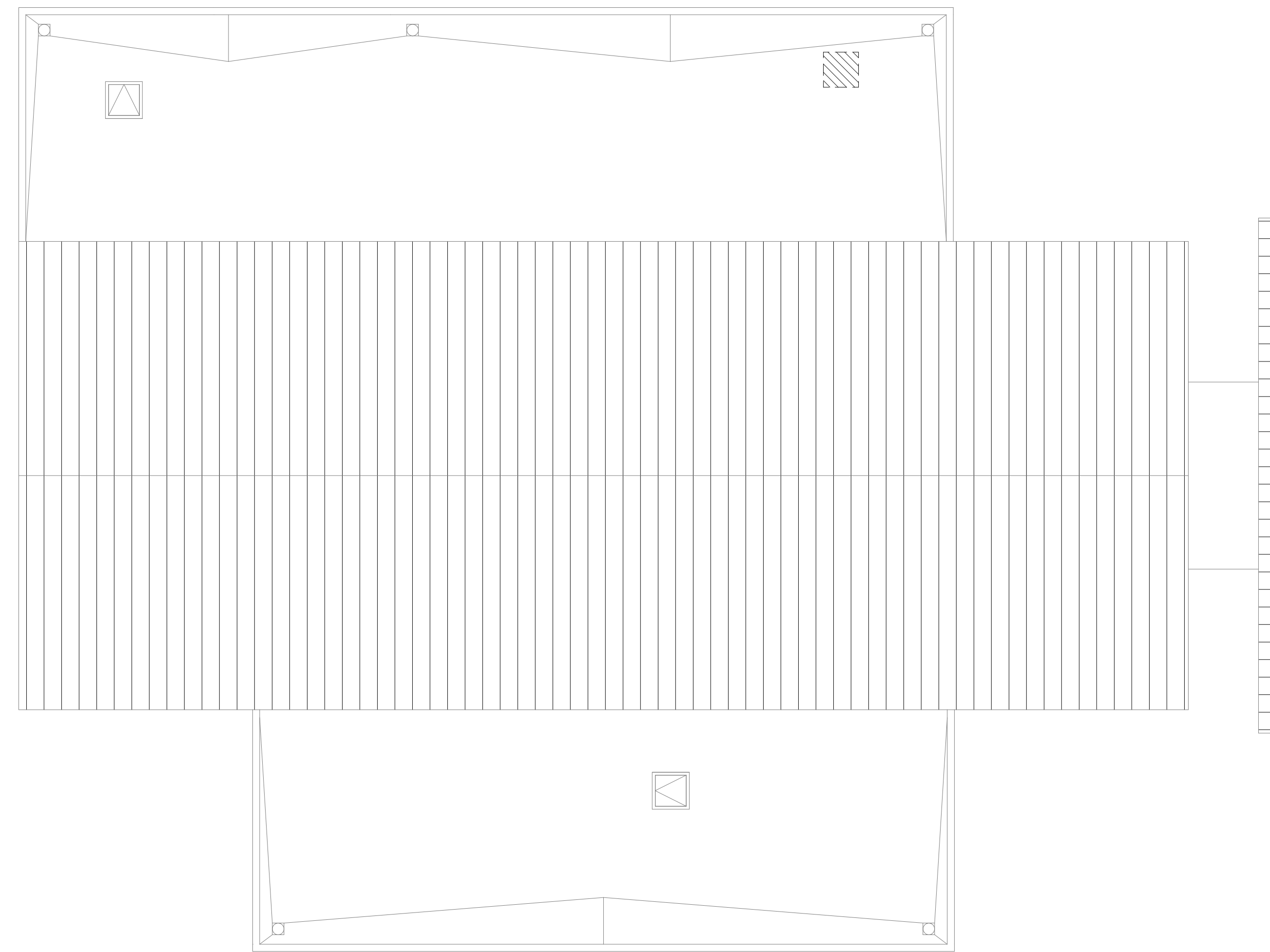
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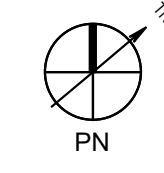
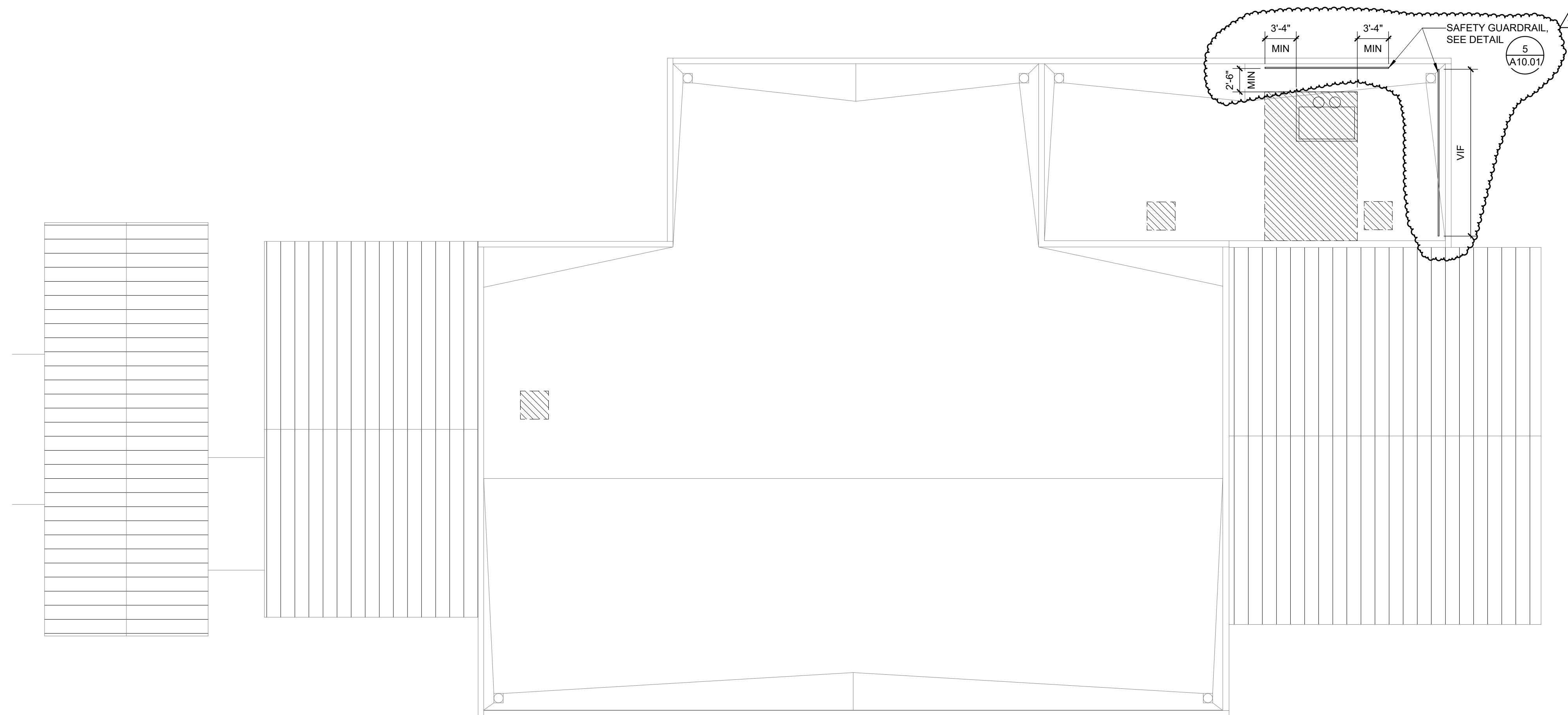
ALL LINE SHOWN ARE IN 1/8" SCALE UNLESS OTHERWISE NOTED
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 SHEET ORIGINAL PAGE SIZE



ROOF PLAN - BLDG 3 **3**
 1/8" = 1'-0"



ROOF PLAN - BLDG 2 **2**
 1/8" = 1'-0"



ROOF PLAN - BLDG 1 **1**
 1/8" = 1'-0"

LEGEND

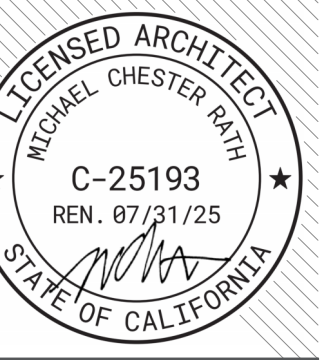
- EXISTING ROOFING
- EXISTING METAL ROOFING
- EXISTING ROOF ACCESS HATCH
- EXISTING ROOF DRAIN
- AREA OF MECHANICAL UNITS TO BE REPLACED. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL SCOPE. PATCH ROOF AS NEEDED. MATCH (E) ROOF ASSEMBLY



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ISSUE	
DESCRIPTION	DATE
1 ADDENDUM #1	03/01/2024

KEYNOTES

NOTES

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
 7680 WINDBRIDGE DRIVE
 SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
ROOF PLAN - BLDG 1,2,3

DSA SUBMITTAL

DATE: 01/04/2024

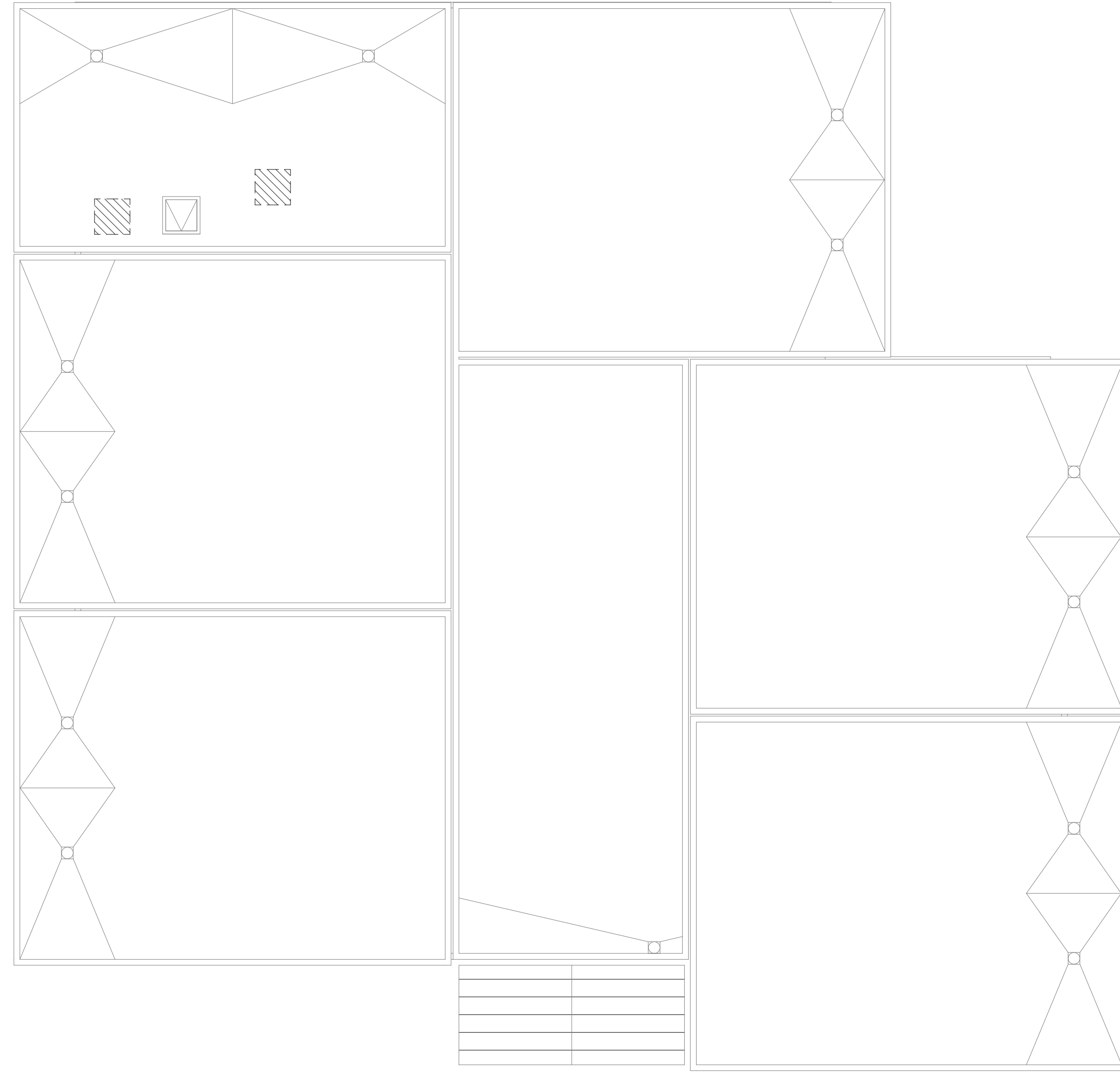
CLIENT PROJ NO: 3186-070-000

SHEET:

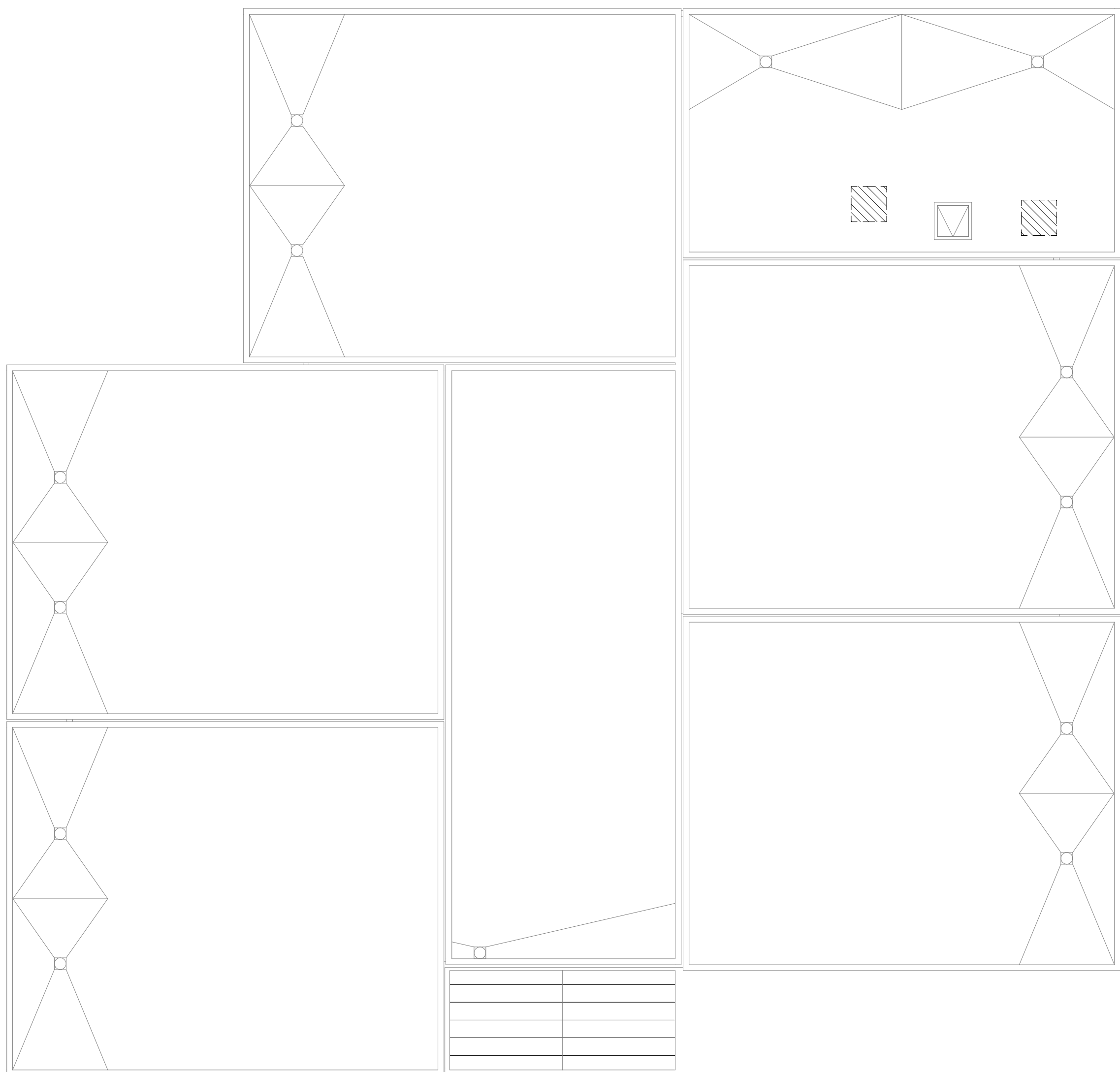
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ALL DIMENSIONS ARE IN FEET
UNLESS SHOWN OTHERWISE
SHEET DIMENSIONS ARE AS SHOWN

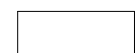
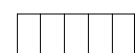





ROOF PLAN - BLDG 7 **2**
1/8" = 1'-0"



ROOF PLAN - BLDG 5 **1**
1/8" = 1'-0"

LEGEND

-  EXISTING ROOFING
-  EXISTING METAL ROOFING
-  EXISTING ROOF ACCESS HATCH
-  EXISTING ROOF DRAIN
-  AREA OF MECHANICAL UNITS TO BE REPLACED. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL SCOPE. PATCH ROOF AS NEEDED. MATCH (E) ROOF ASSEMBLY



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KEYNOTES

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FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
ROOF PLAN - BLDG 5,7

DSA SUBMITTAL

DATE: 01/04/2024

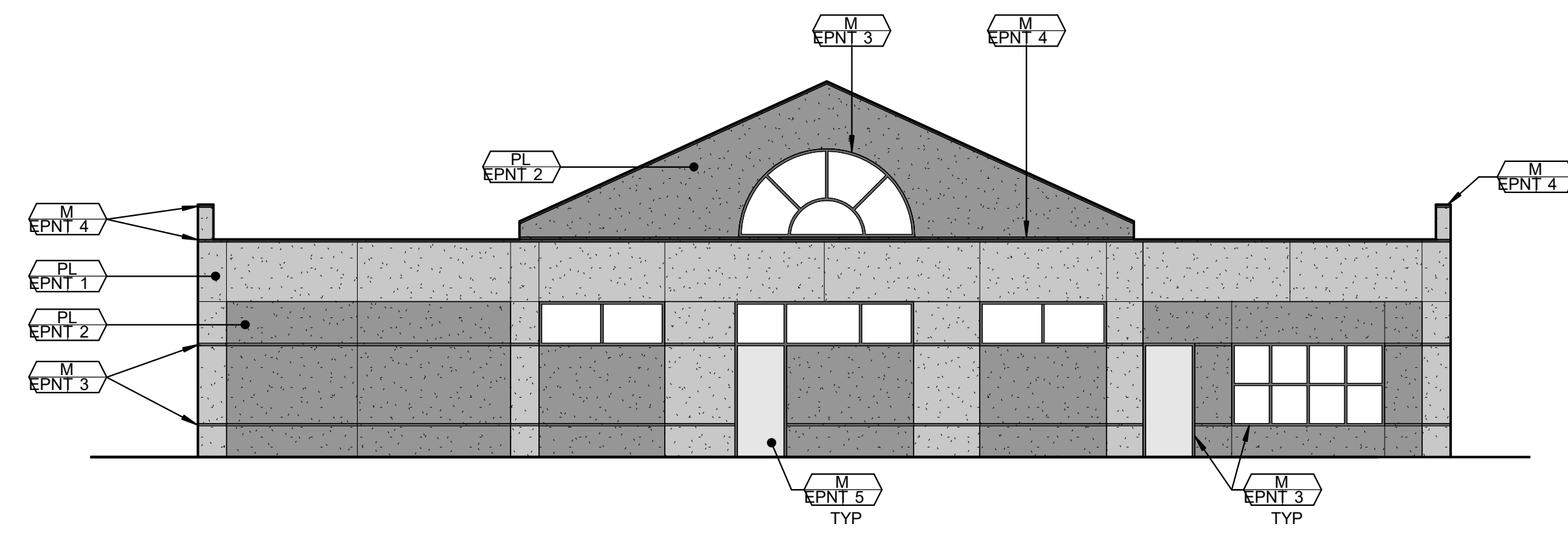
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SHEET:

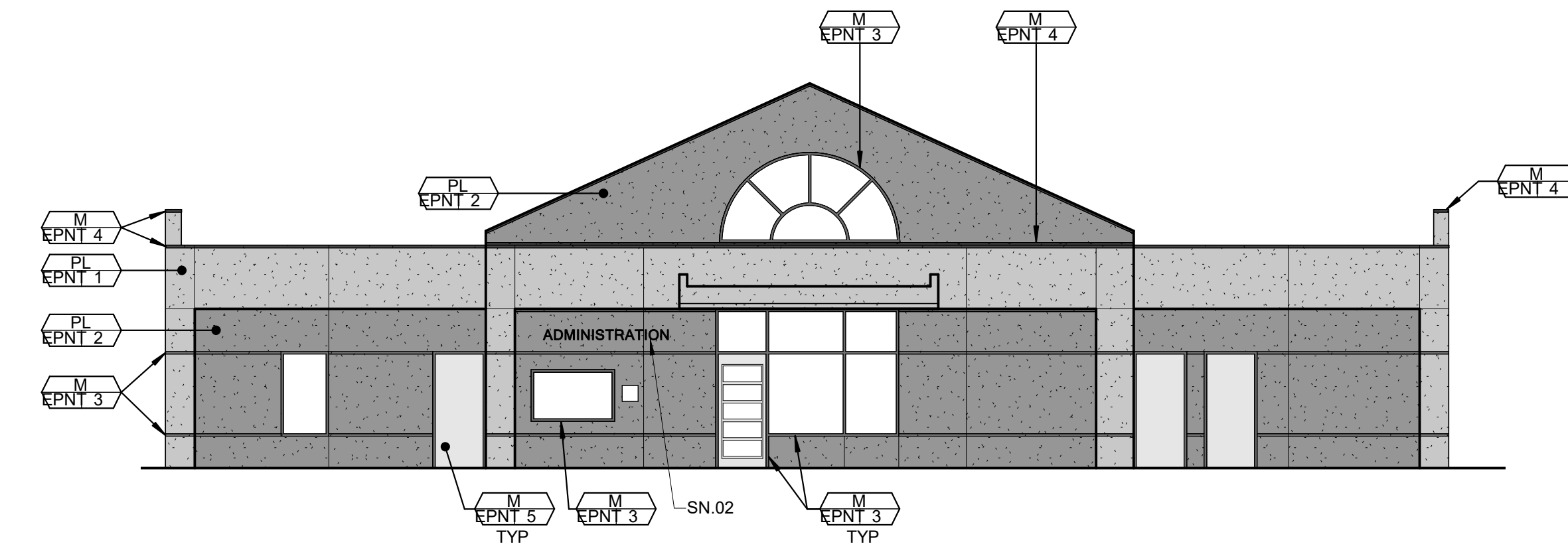
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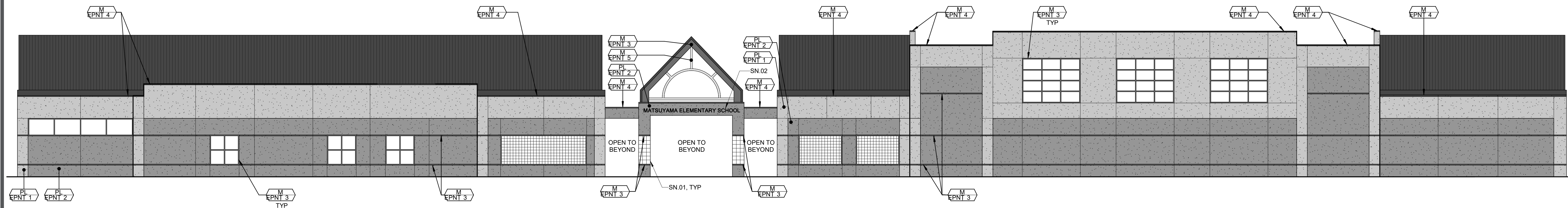
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 EXCEPT WHERE NOTED OTHERWISE
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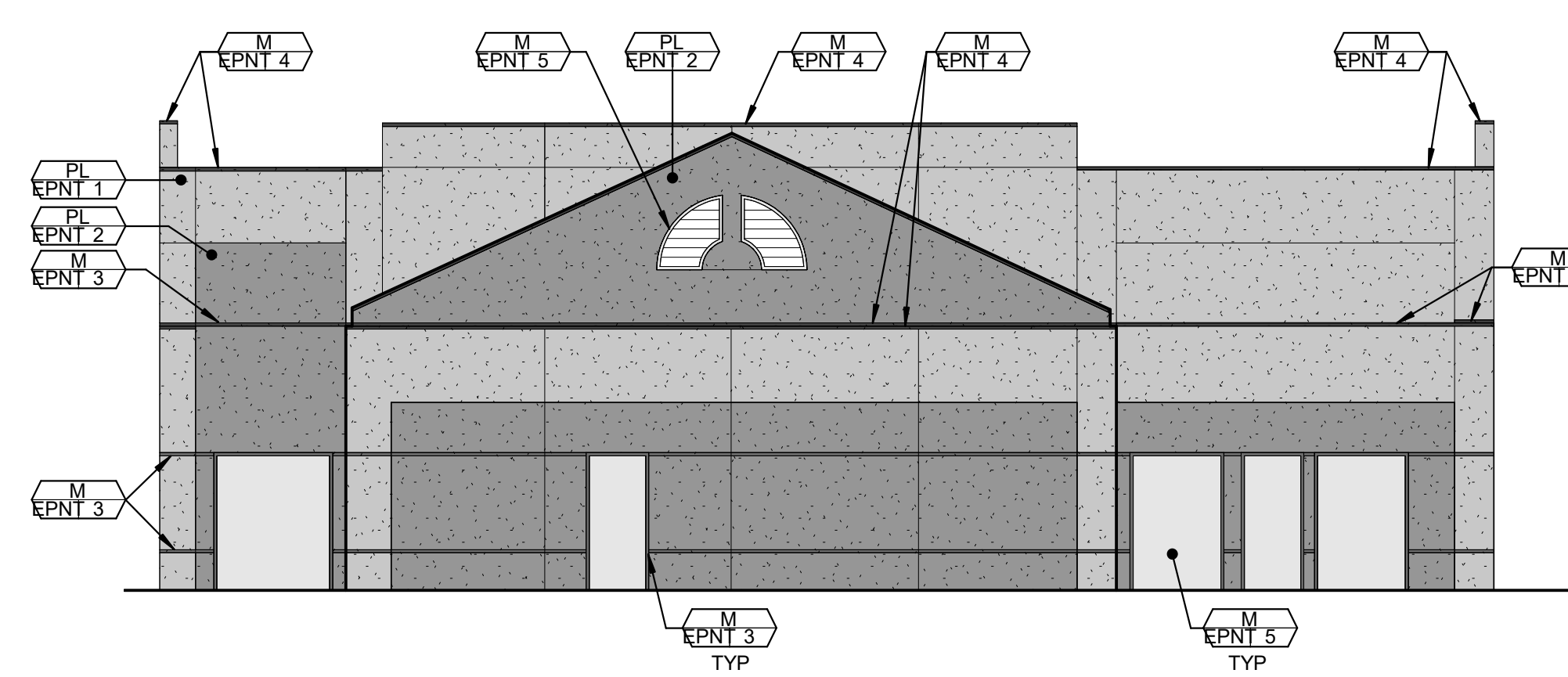
EXTERIOR ELEVATION - BUILDING 2 | 7
 1/8" = 1'-0"



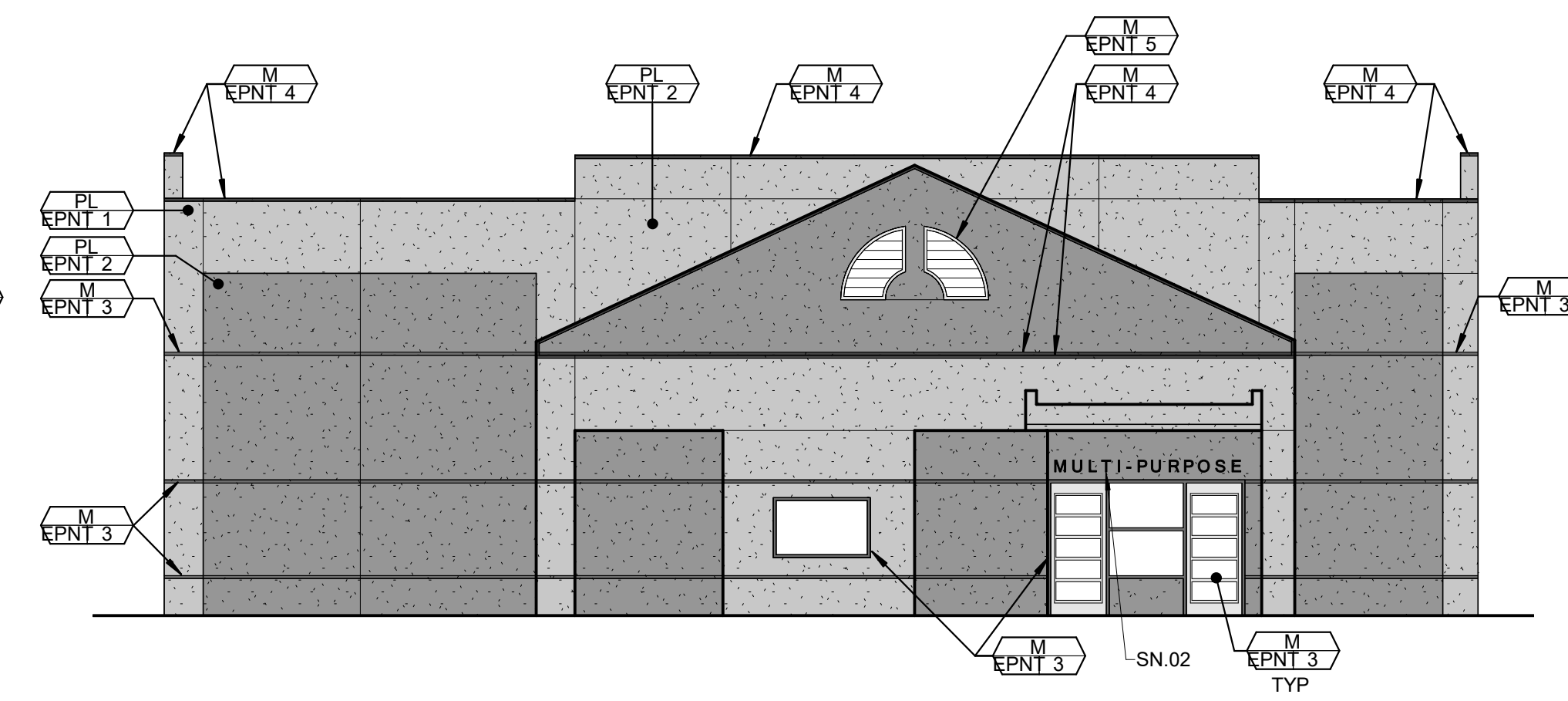
EXTERIOR ELEVATION - BUILDING 2 | 6
 1/8" = 1'-0"



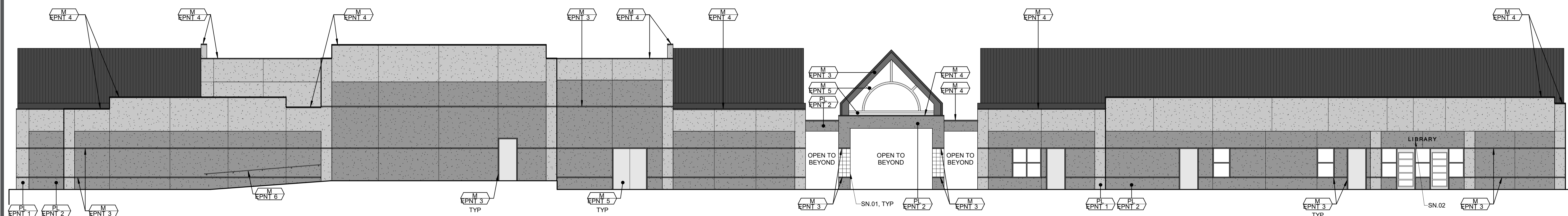
EXTERIOR ELEVATION - BUILDING 1 & 2 | 5
 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 1 | 4



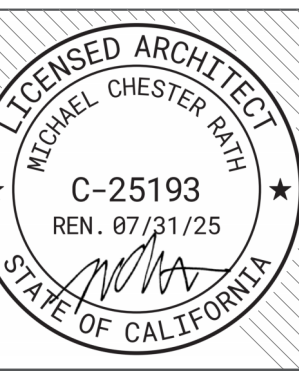
EXTERIOR ELEVATION - BUILDING 1 | 3
 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 1 & 2 | 2
 1/8" = 1'-0"



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ISSUE		DATE
1	DESCRIPTION	03/01/2024
	ADDENDUM #1	

GENERAL NOTES

- POWER WASH ALL (E) METAL ROOFING

SHEET NOTES

- SN.01 DEEP CLEAN GROUT & TILE, AND PATCH GROUT AS NEEDED (EGR1)
 SN.02 DEEP CLEAN (E) METAL LETTERS

LEGEND

M - METAL
 PL - PLASTER

- EPNT 1
- EPNT 2
- EPNT 3
- EPNT 4
- EPNT 5
- EPNT 6

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
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 SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
EXTERIOR ELEVATIONS

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000
 SHEET:

Autodesk Docs:018607000 - SCUSD Matsuyama ES Modernization018607000-A-MATSUYAMA.MOD-04
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PLEASE RECYCLE ♻️

A5.11

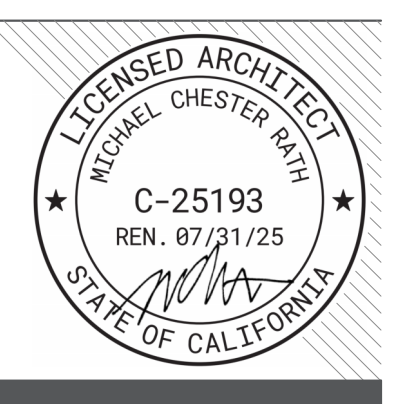
ALL LINE SHOWN AND/OR LINE
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ISSUE	
DESCRIPTION	DATE
1 ADDENDUM #1	03/01/2024

GENERAL NOTES

- POWER WASH ALL (E) METAL ROOFING

KEYNOTES

- 02.S1 REMOVE THE (E) METAL LETTERS AND REPLACE IN KIND

SHEET NOTES

- SN.01 DEEP CLEAN GROUT & TILE, AND PATCH GROUT AS NEEDED (EGR1)

LEGEND

- M - METAL
- PL - PLASTER
- EPNT 1
- EPNT 2
- EPNT 3
- EPNT 4
- EPNT 5
- EPNT 6

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
EXTERIOR ELEVATIONS

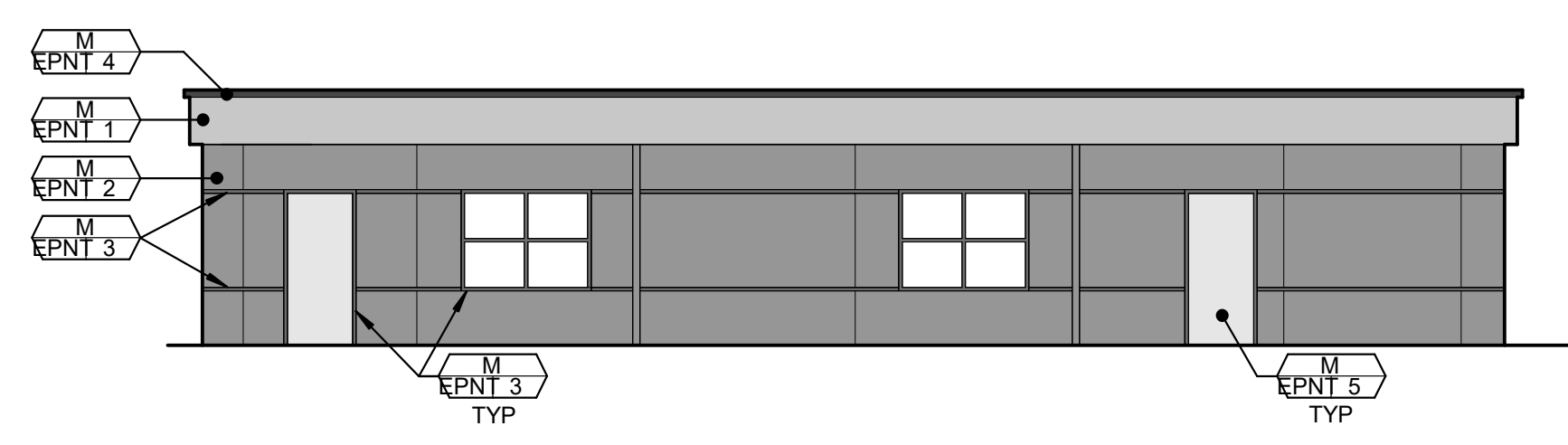
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DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

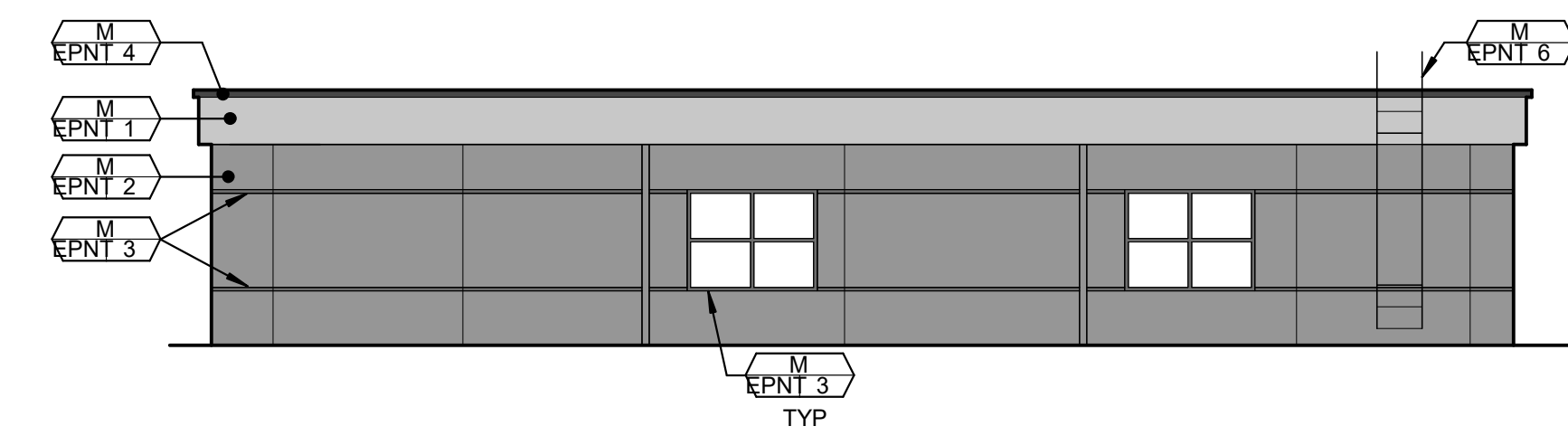
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A5.12

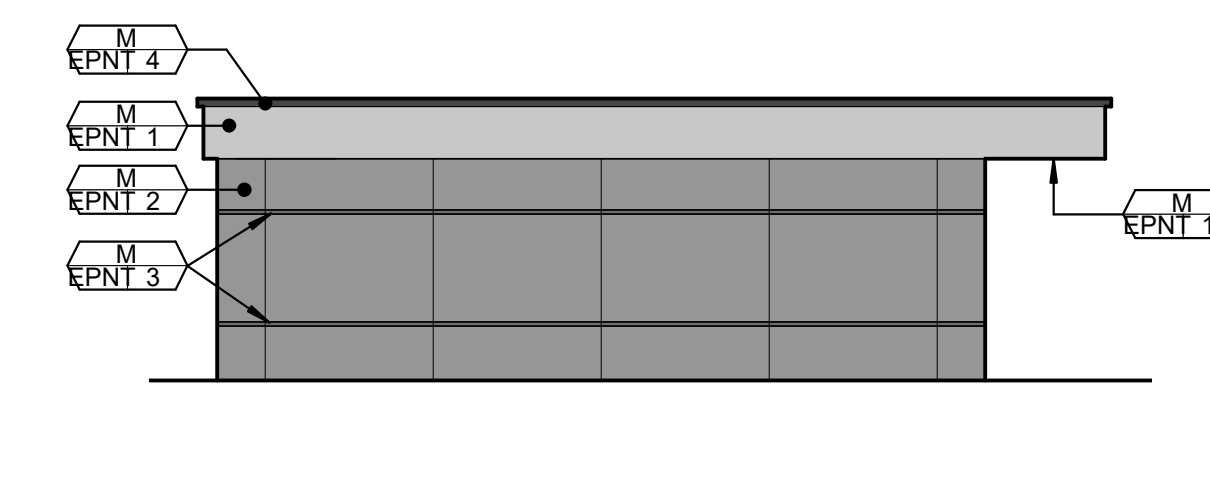
PLEASE RECYCLE ♻️



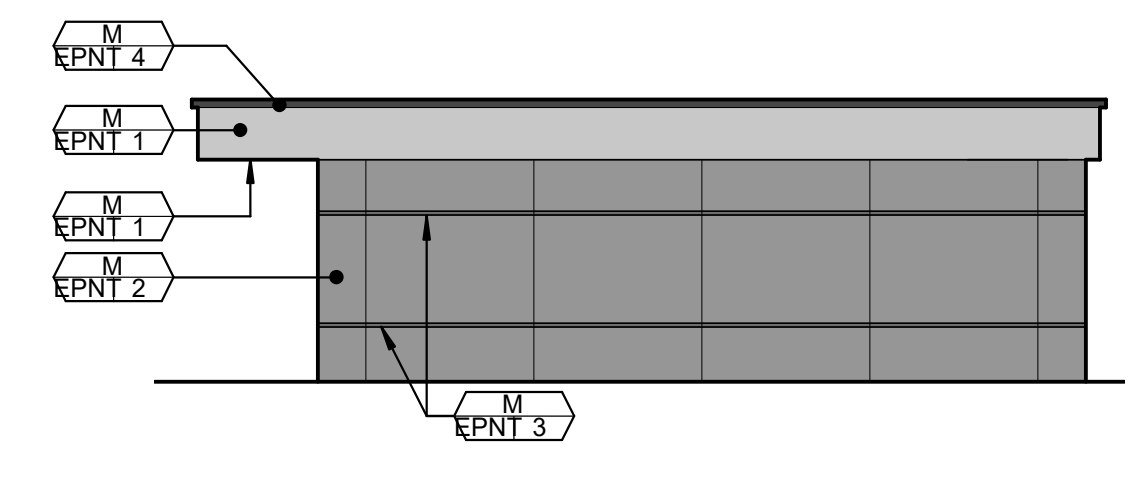
EXTERIOR ELEVATION - BUILDING 4 **13**
1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 4 **12**
1/8" = 1'-0"



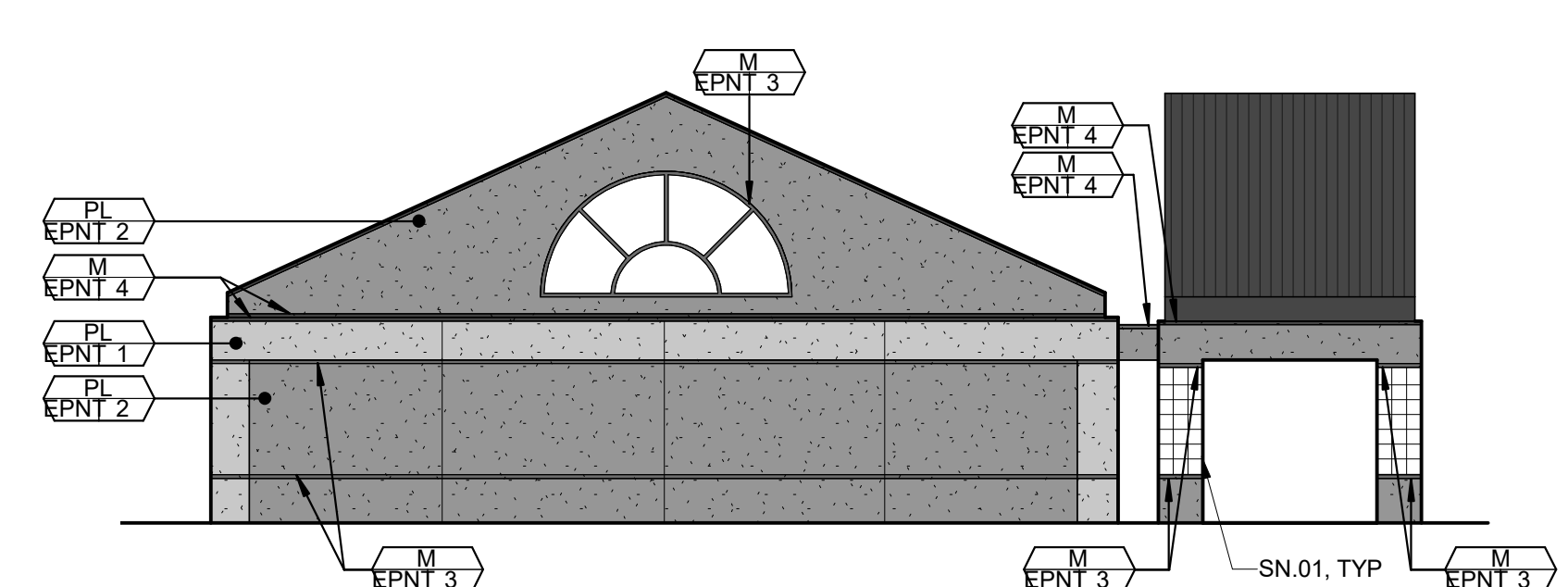
EXTERIOR ELEVATION - BUILDING 4 **11**
1/8" = 1'-0"



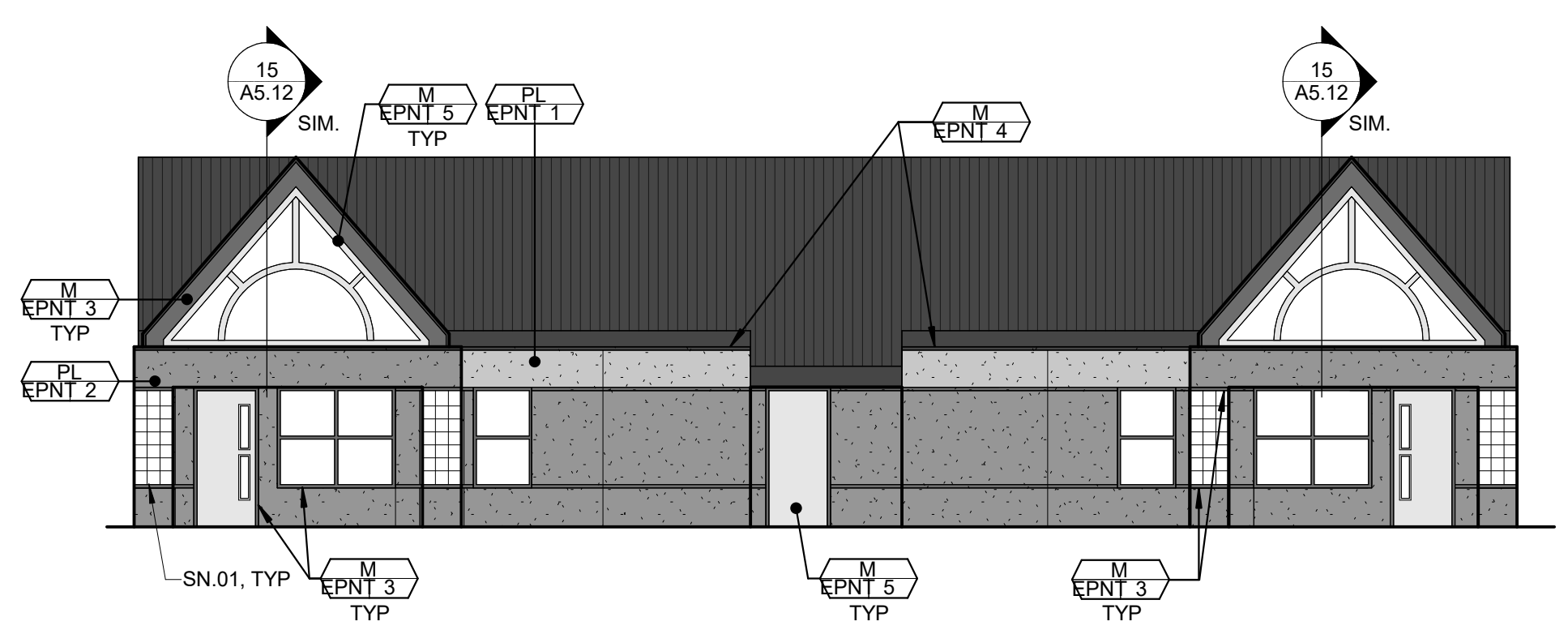
EXTERIOR ELEVATION - BUILDING 4 **10**
1/8" = 1'-0"



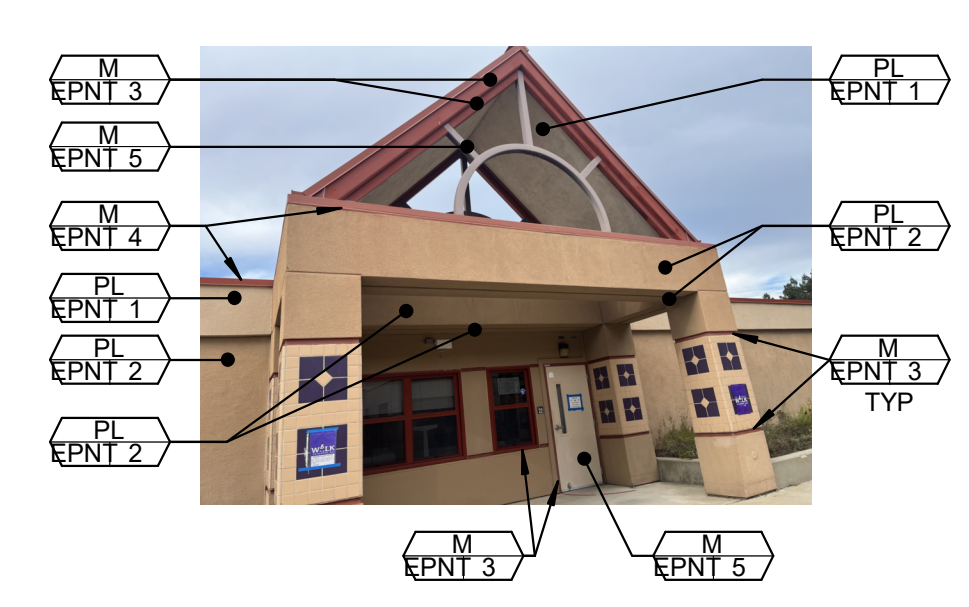
EXTERIOR ELEVATION - BUILDING 3 **9**
1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 3 **8**
1/8" = 1'-0"



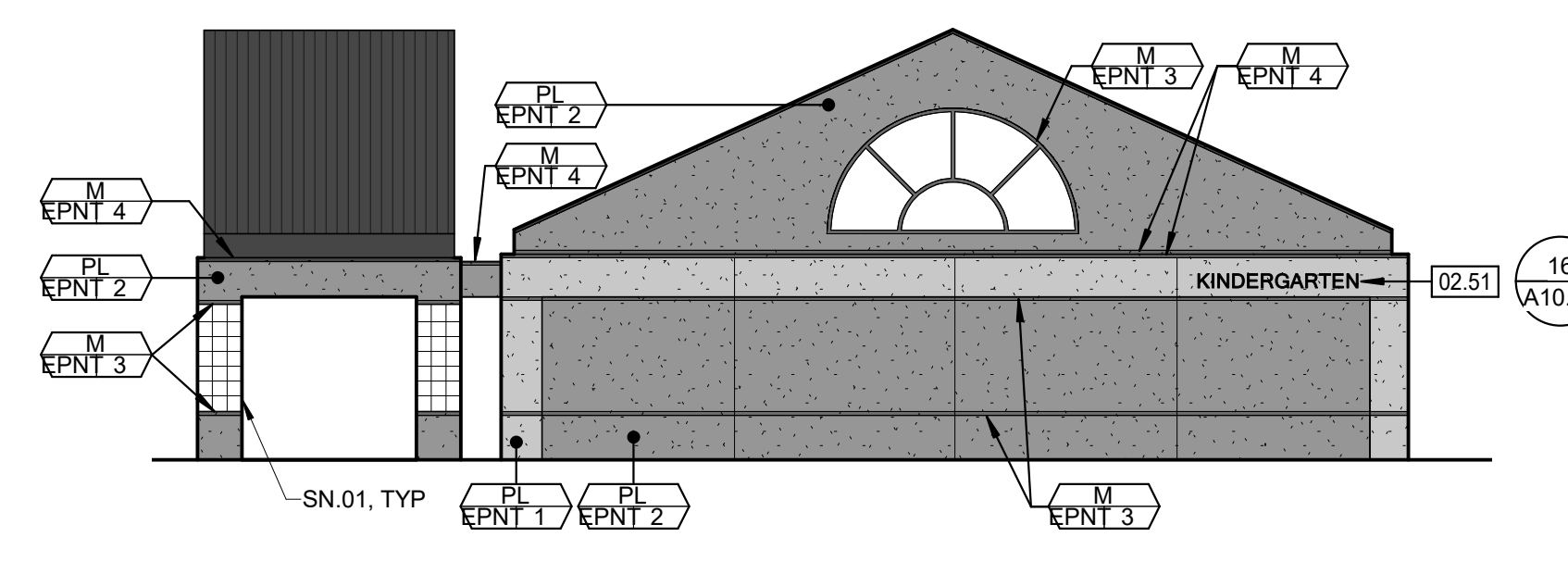
EXTERIOR ELEVATION - BUILDING 3 **7**
1/8" = 1'-0"



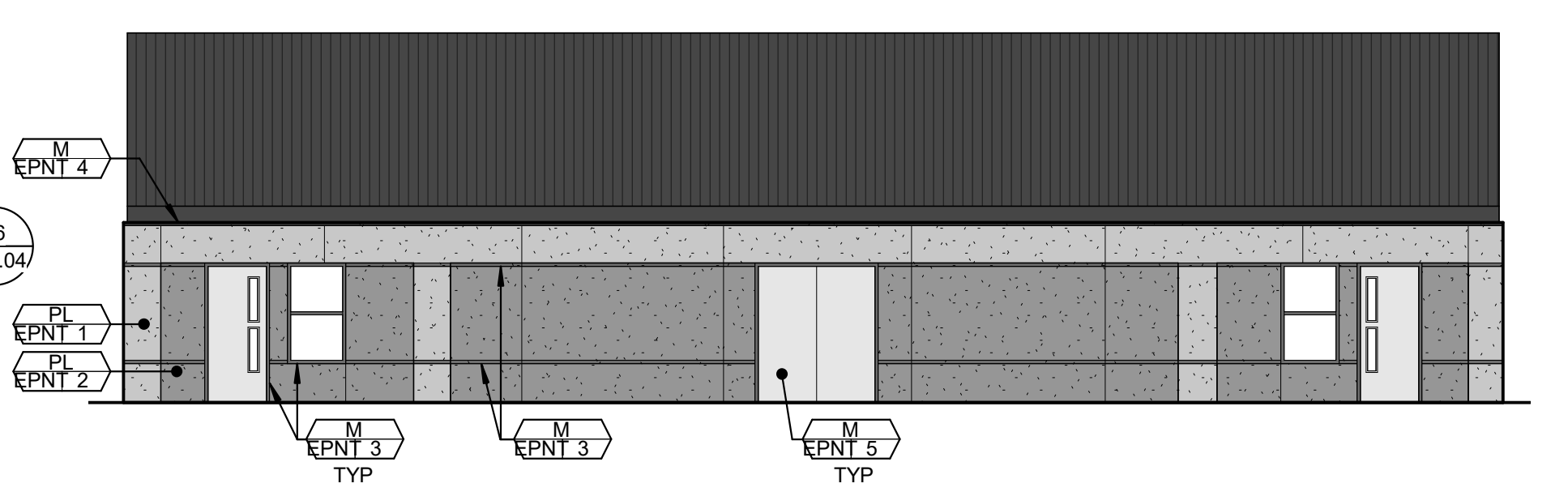
CANOPY **15**
12" = 1'-0"



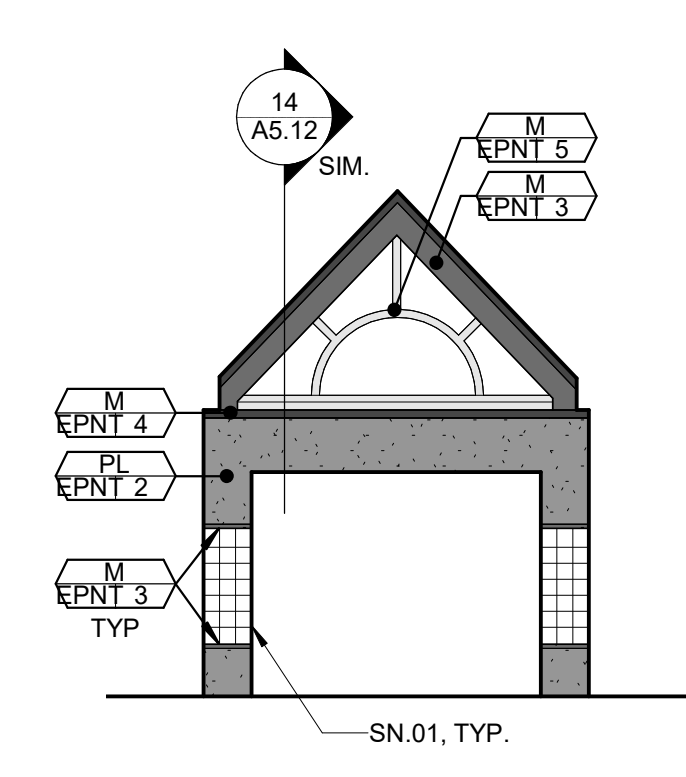
CANOPY **14**
12" = 1'-0"



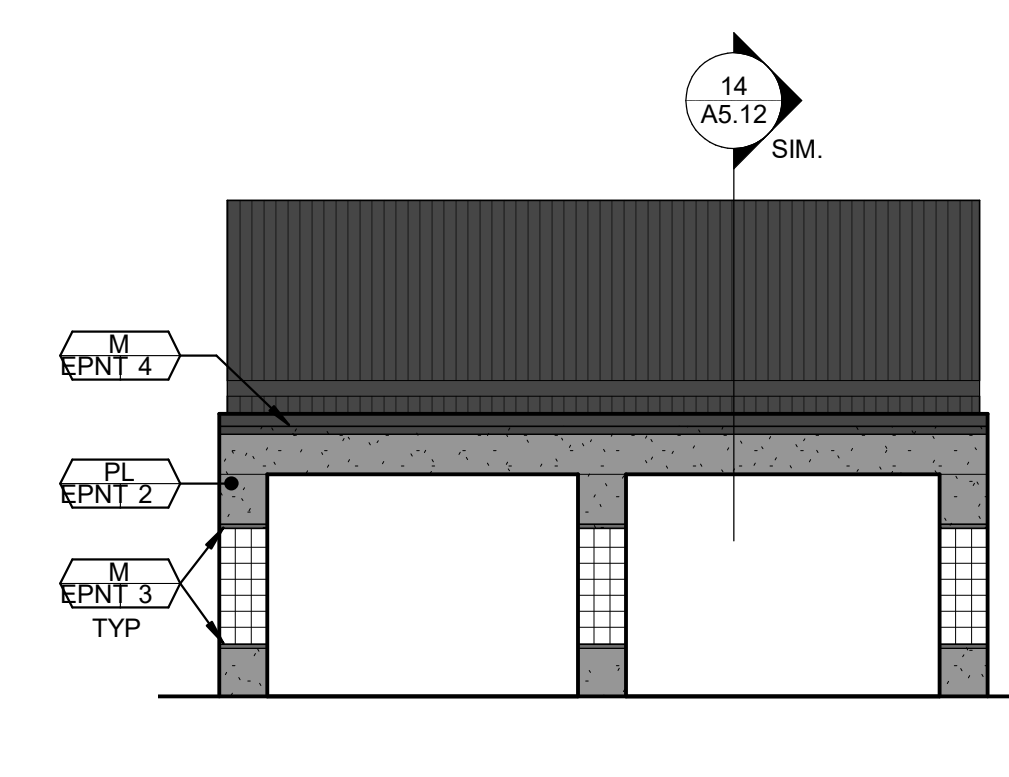
EXTERIOR ELEVATION - BUILDING 3 **6**
1/8" = 1'-0"



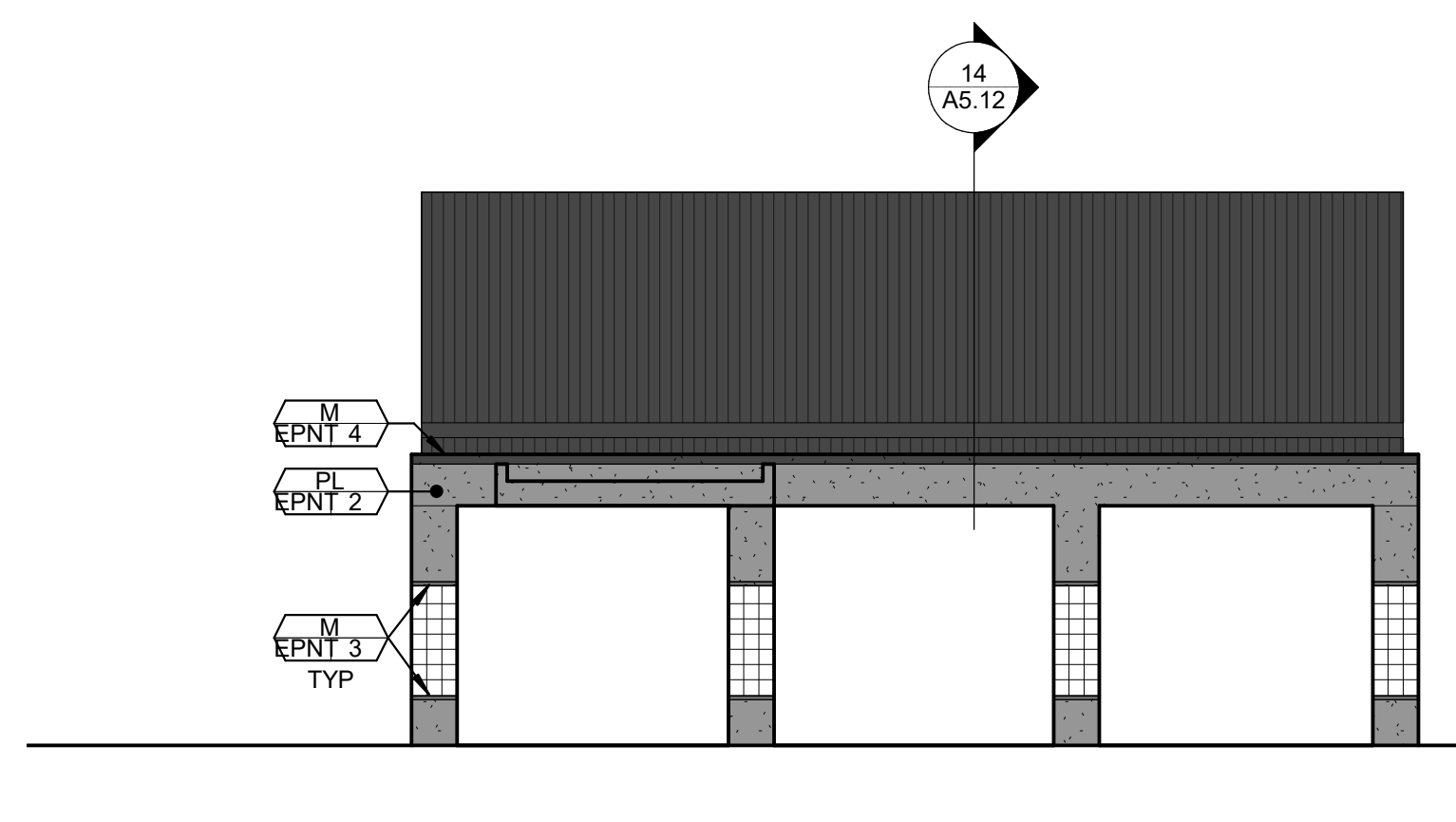
EXTERIOR ELEVATION - BUILDING 3 **5**
1/8" = 1'-0"



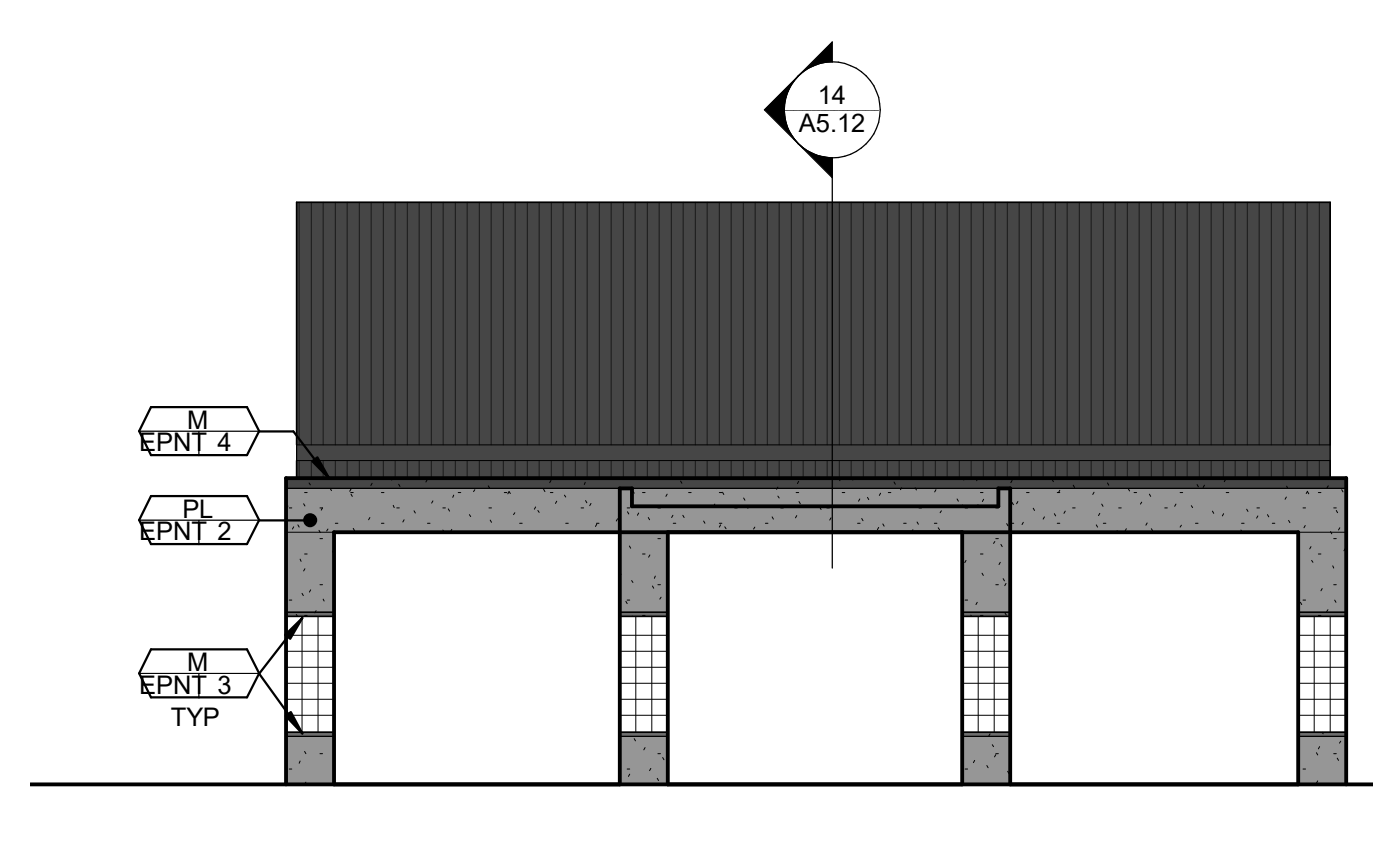
EXTERIOR ELEVATION - CANOPY **4**
1/8" = 1'-0"



EXTERIOR ELEVATION - CANOPY **3**
1/8" = 1'-0"



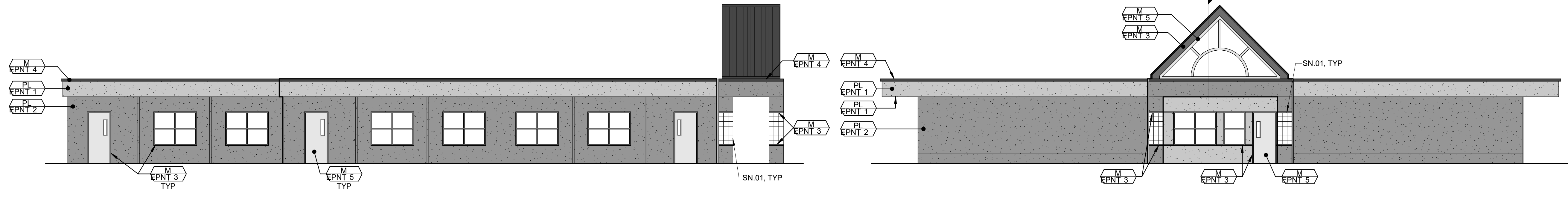
EXTERIOR ELEVATION - CANOPY **2**
1/8" = 1'-0"



EXTERIOR ELEVATION - CANOPY **1**
1/8" = 1'-0"

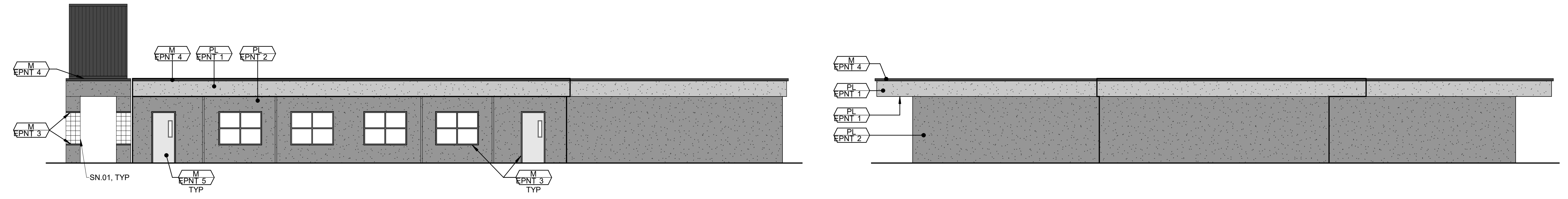
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ALL LINE SHOWN AND NOT TO SCALE
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SHEET DIMENSIONS ARE AS SHOWN



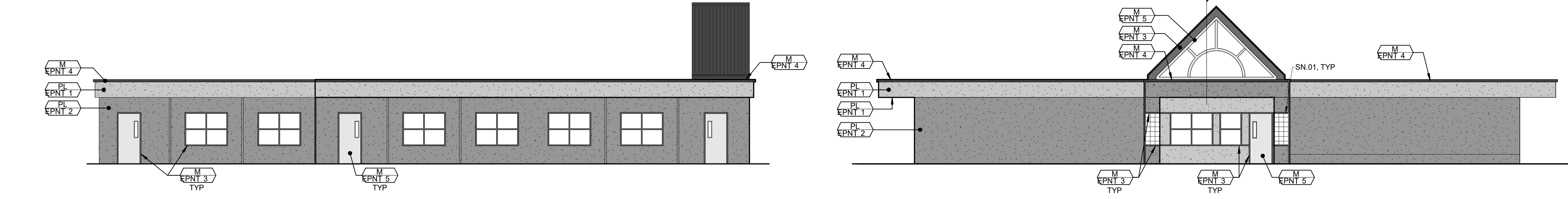
EXTERIOR ELEVATION - BUILDING 6 **8**
1/8" = 1'-0"

EXTERIOR ELEVATION - BUILDING 6 **7**
1/8" = 1'-0"



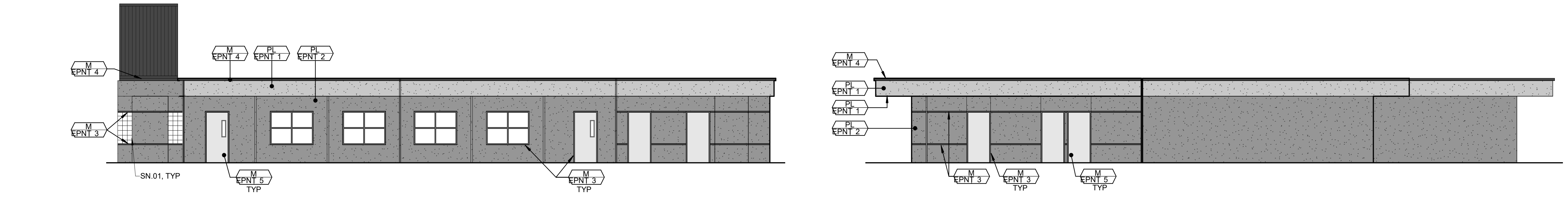
EXTERIOR ELEVATION - BUILDING 6 **6**
1/8" = 1'-0"

EXTERIOR ELEVATION - BUILDING 6 **5**
1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 5 **4**
1/8" = 1'-0"

EXTERIOR ELEVATION - BUILDING 5 **3**
1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 5 **2**
1/8" = 1'-0"

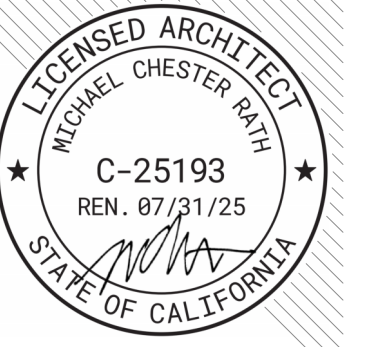
EXTERIOR ELEVATION - BUILDING 5 **1**
1/8" = 1'-0"



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ISSUE	
DESCRIPTION	DATE
1 ADDENDUM #1	03/01/2024

GENERAL NOTES

- 1. POWER WASH ALL (E) METAL ROOFING

SHEET NOTES

- SN.01 DEEP CLEAN GROUT & TILE, AND PATCH GROUT AS NEEDED (EGR1)

LEGEND

- M - METAL
- PL - PLASTER
- EPNT 1
- EPNT 2
- EPNT 3
- EPNT 4
- EPNT 5
- EPNT 6

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
EXTERIOR ELEVATIONS

DSA SUBMITTAL

DATE: 01/04/2024

CLIENT PROJ NO: 3186-070-000

SHEET:

A5.13

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Autodesk Docs:0168070000 - SCUSD Matsuyama ES Modernization0168070000-A-MATSUYAMA-MOD-01
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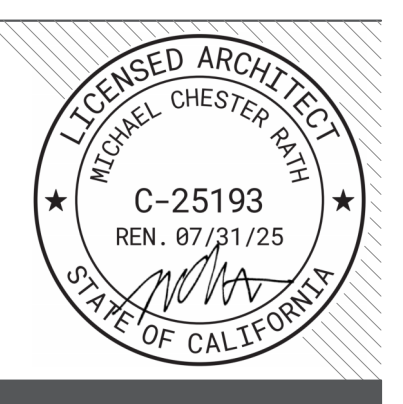
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ISSUE		DATE
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GENERAL NOTES

- POWER WASH ALL (E) METAL ROOFING

SHEET NOTES

- SN.01 DO NOT PAINT BARD UNITS
- SN.02 DO NOT PAINT OVER ANY BUILDING TAGS
- SN.03 DO NOT PAINT THE WINDOW SECURITY ROLL DOWNS AND THEIR HOUSING
- SN.04 DEEP CLEAN GROUT & TILE, AND PATCH GROUT AS NEEDED (EGR1)

LEGEND

- M - METAL
- PL - PLASTER
- EPNT 1
- EPNT 2
- EPNT 3
- EPNT 4
- EPNT 5
- EPNT 6

FACILITY:
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PROJECT:
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SHEET NAME:
EXTERIOR ELEVATIONS

DSA SUBMITTAL

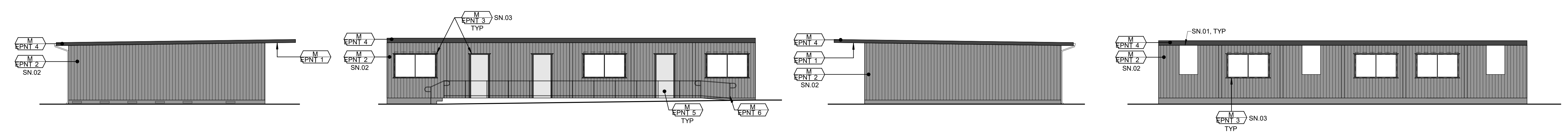
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CLIENT PROJ NO: 3186-070-000

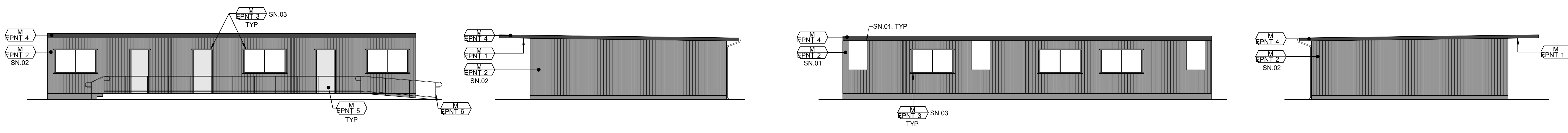
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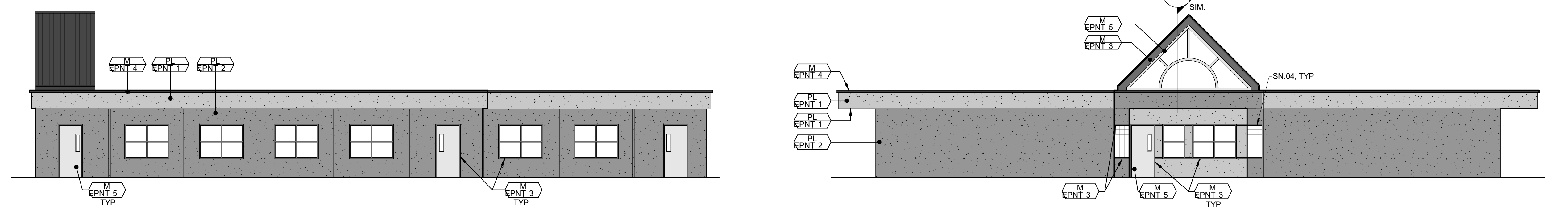
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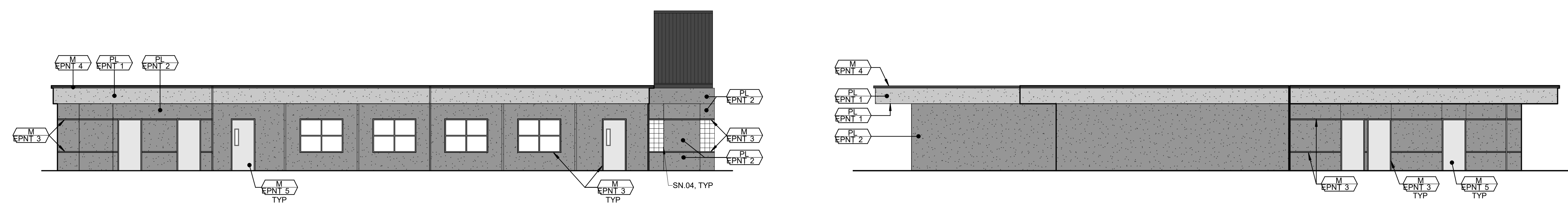
EXTERIOR ELEVATION - BUILDING 9 **12** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 9 **11** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 9 **10** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 9 **9** 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 8 **8** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 8 **7** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 8 **6** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 8 **5** 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 7 **4** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 7 **3** 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 7 **2** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 7 **1** 1/8" = 1'-0"

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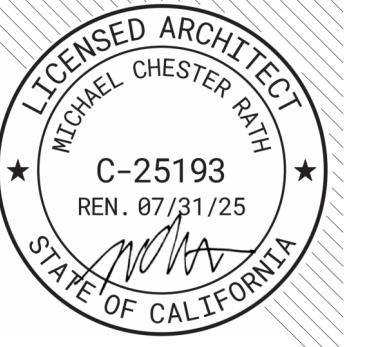
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GENERAL NOTES

- 1. POWER WASH ALL (E) METAL ROOFING

SHEET NOTES

- SN.01 DO NOT PAINT BARD UNITS
- SN.02 DO NOT PAINT OVER ANY BUILDING TAGS
- SN.03 DO NOT PAINT THE WINDOW SECURITY ROLL DOWNS AND THEIR HOUSING

LEGEND

- M - METAL
- PL - PLASTER
- EPNT 1
- EPNT 2
- EPNT 3
- EPNT 4
- EPNT 5
- EPNT 6

FACILITY:
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SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
EXTERIOR ELEVATIONS

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:



A5.15

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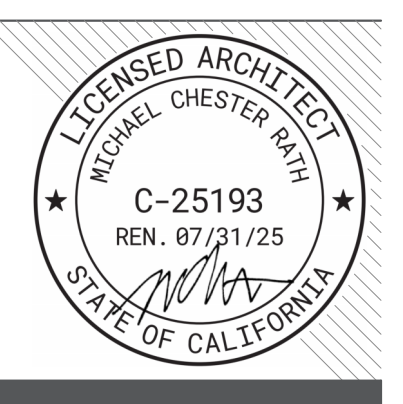
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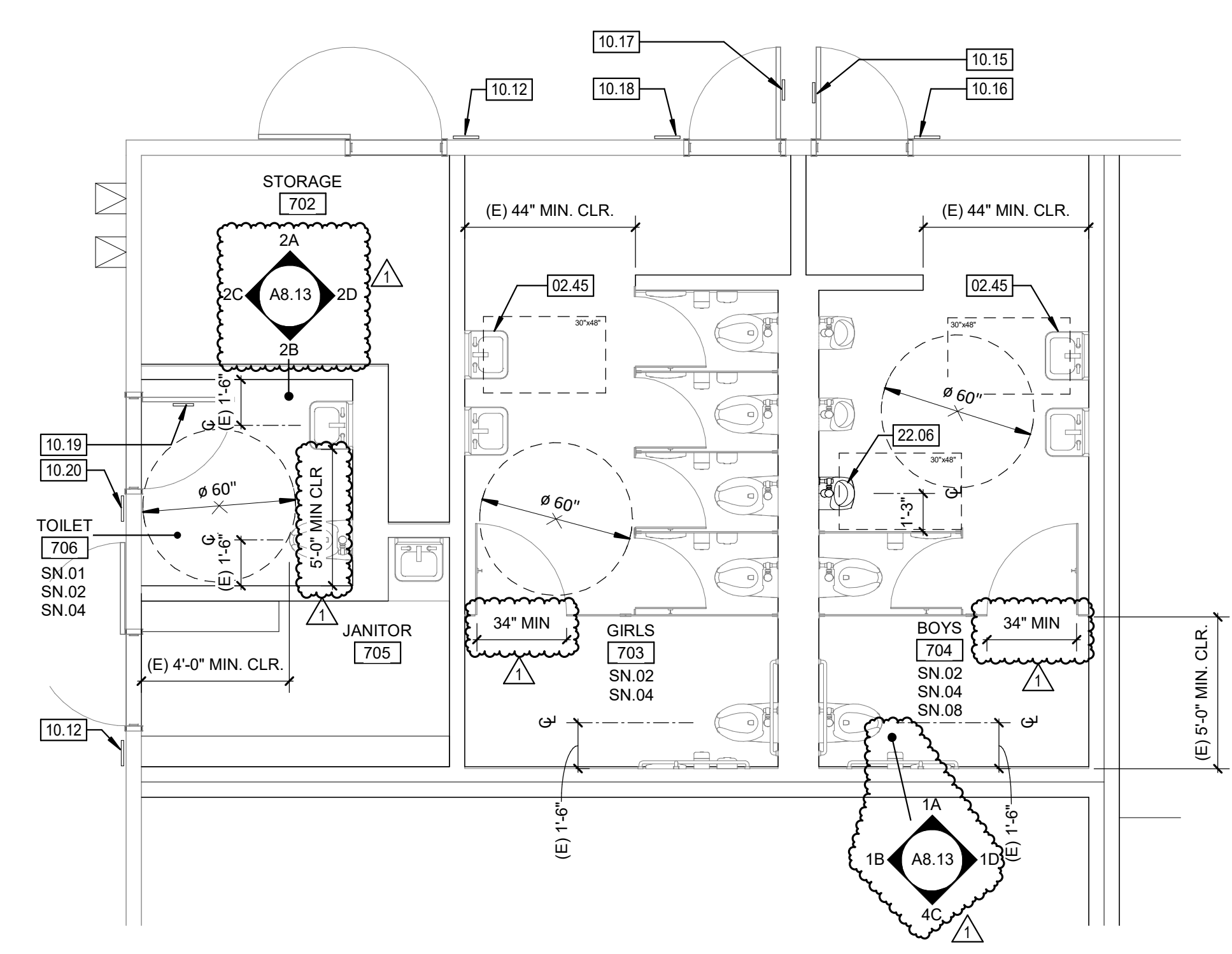
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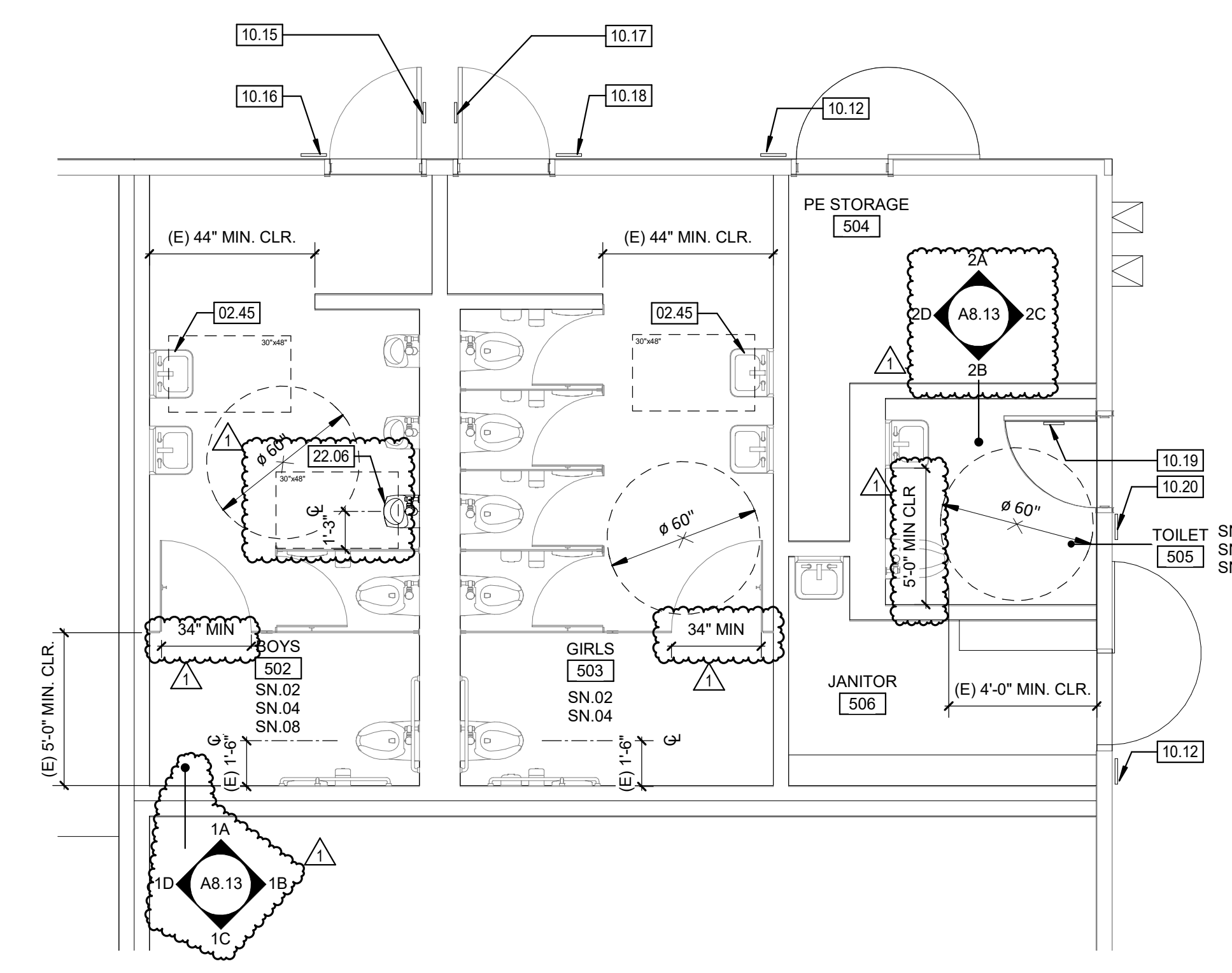
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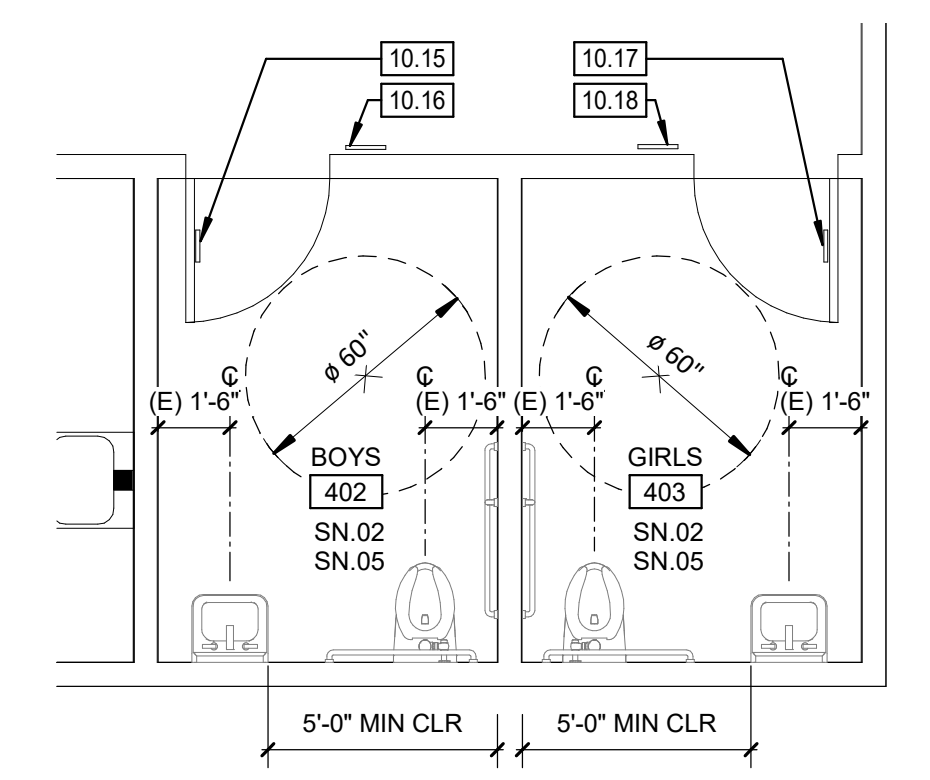
ISSUE	DESCRIPTION	DATE
1	ADDENDUM #1	03/01/2024



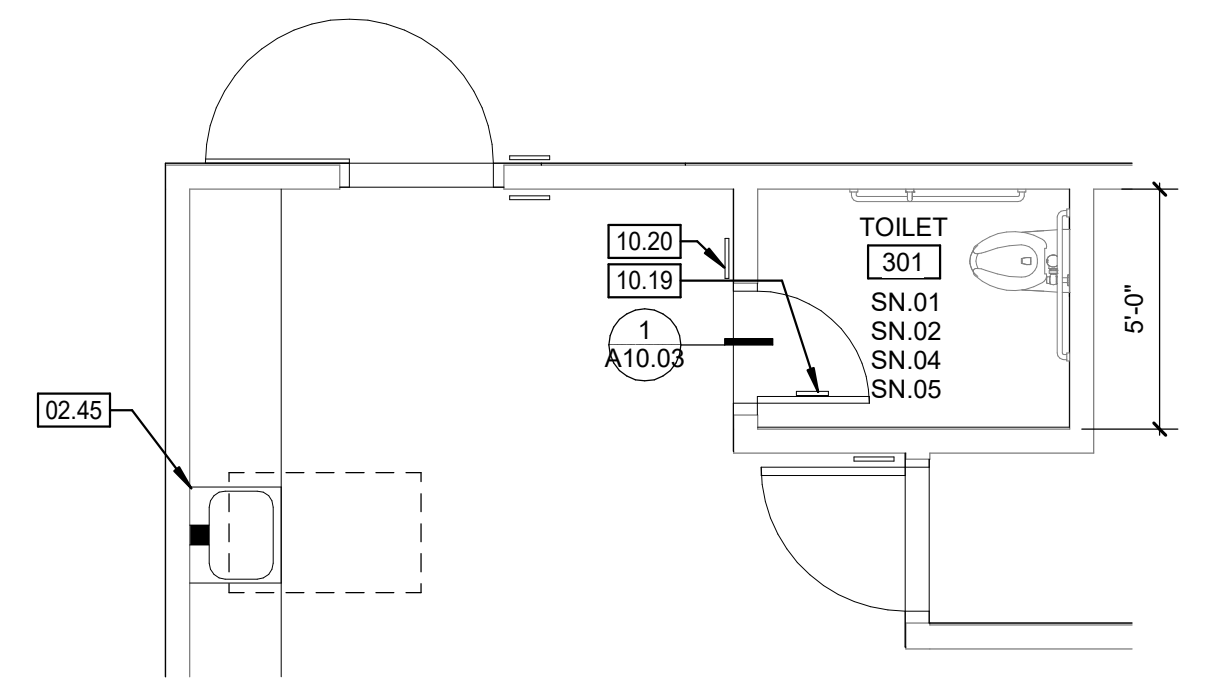
ENLARGED TOILET - BLDG 7 **9**
1/4" = 1'-0"



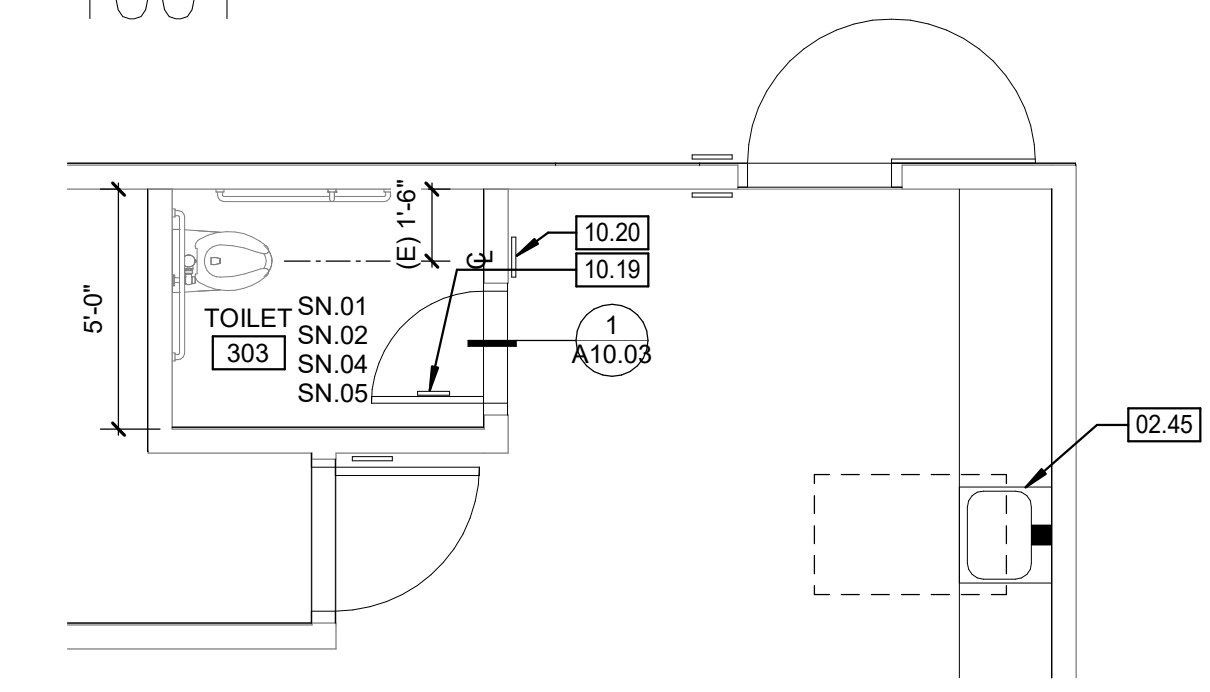
ENLARGED TOILET - BLDG 5 **8**
1/4" = 1'-0"



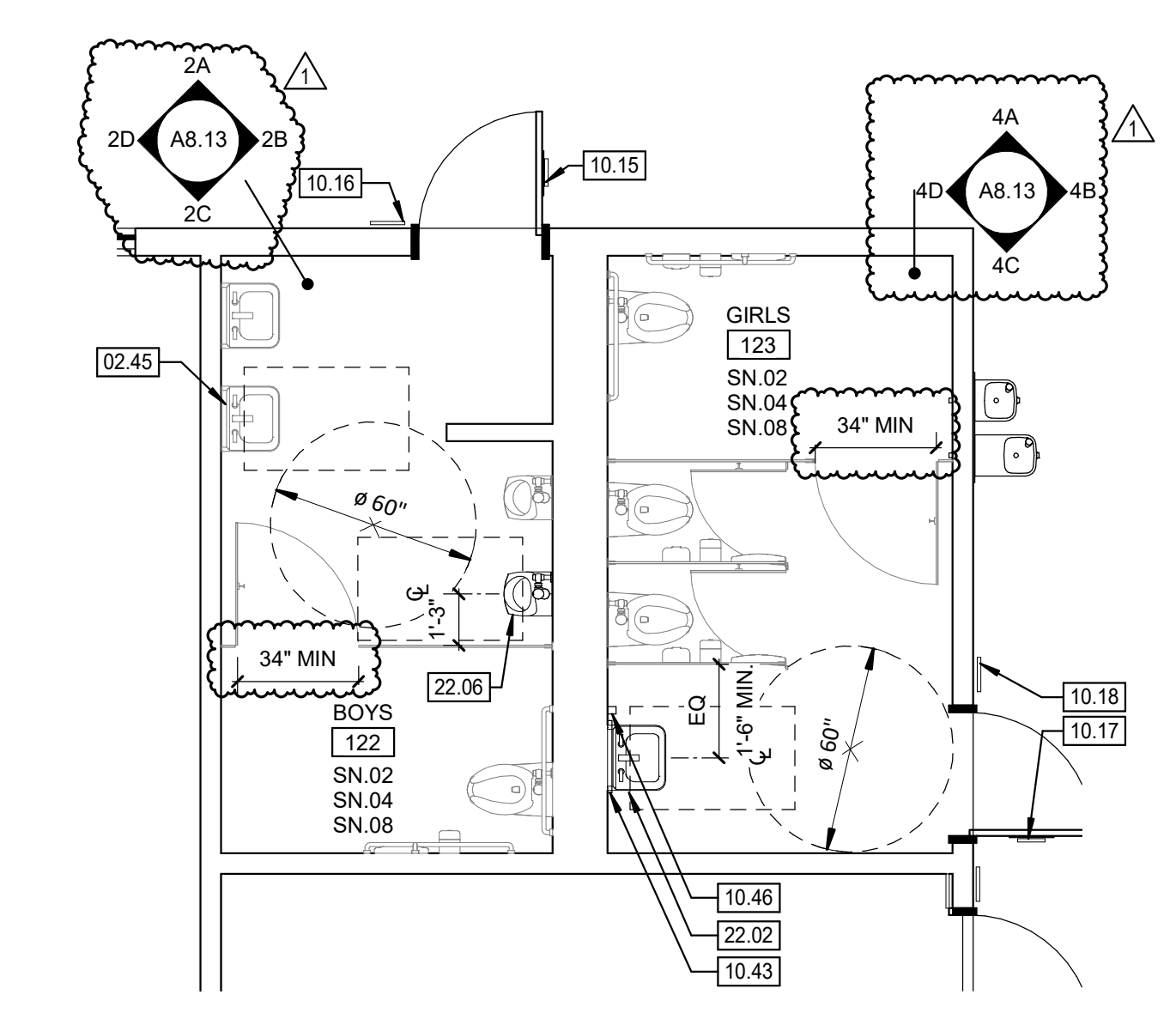
ENLARGED TOILET - UNISEX - BLDG 4 **7**
1/4" = 1'-0"



ENLARGED TOILET - UNISEX 2 - BLDG 3 **6**
1/4" = 1'-0"



ENLARGED TOILET - UNISEX 1 - BLDG 3 **5**
1/4" = 1'-0"



ENLARGED TOILET - BLDG 2 **4**
1/4" = 1'-0"

KEYNOTES

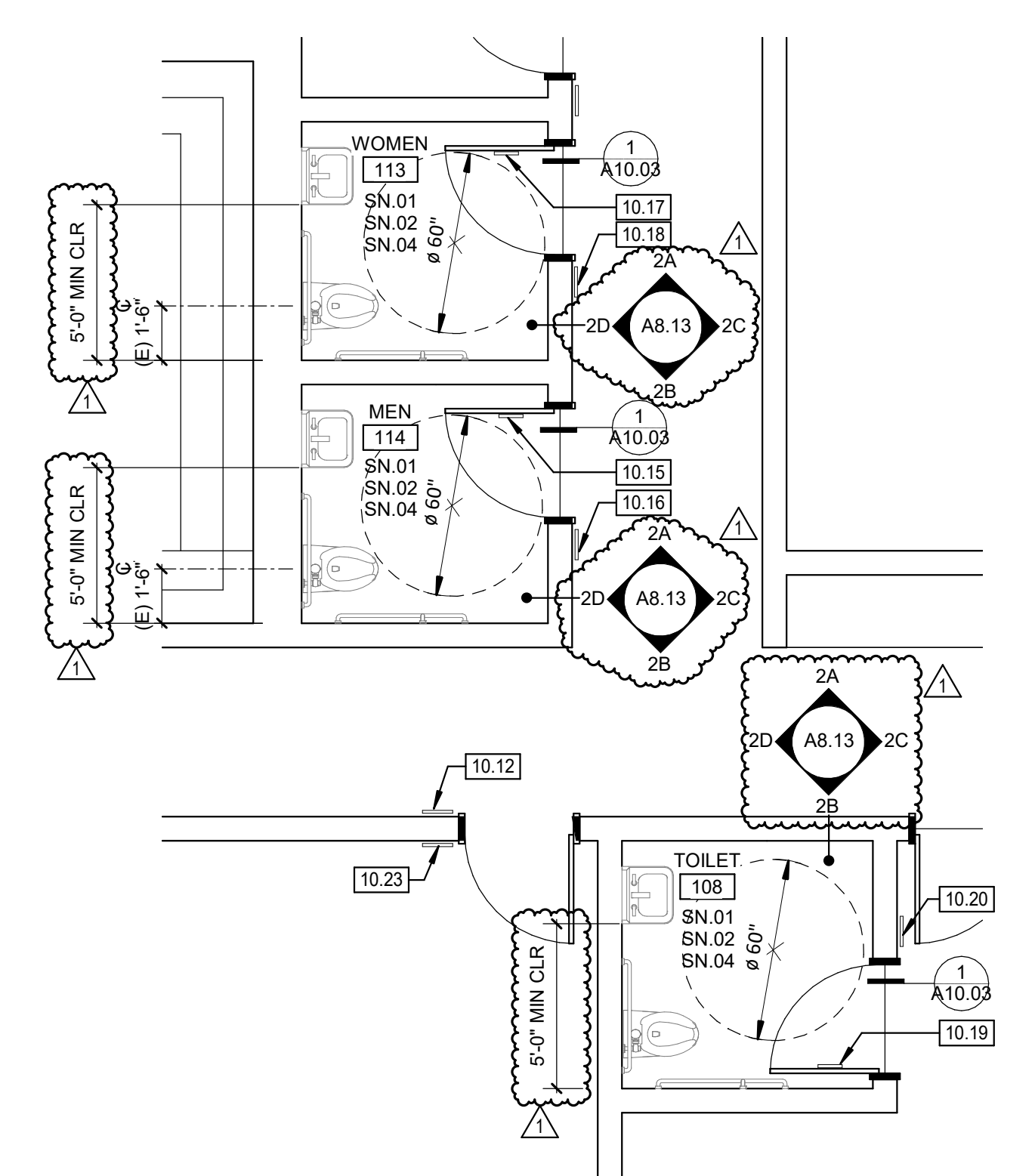
- 02.45 (E) ACCESSIBLE LAVATORY WITH 30"x48" CLEAR SPACE
- 08.01 CUT (E) WINDOW SILL FRAMING, UPDATE WINDOW SILL HEIGHT TO 2'-10"
- 10.12 ROOM ID SIGN | 8/A10.04
- 10.15 MEN'S RESTROOM ID DOOR SIGN | 12/A10.04
- 10.16 MEN'S RESTROOM ID WALL SIGN | 14/A10.04
- 10.17 WOMEN'S RESTROOM ID DOOR SIGN | 11/A10.04
- 10.18 WOMEN'S RESTROOM ID WALL SIGN | 14/A10.04
- 10.19 UNISEX RESTROOM ID DOOR SIGN | 13/A10.04
- 10.20 UNISEX RESTROOM ID WALL SIGN | 14/A10.04
- 10.22 TACTILE "EXIT" SIGN | 8/A10.04
- 10.23 TACTILE "EXIT ROUTE" SIGN | 8/A10.04
- 10.43 MIRROR: 24X36 | 3/A10.03
- 10.46 SOAP DISPENSER | 3/A10.03
- 10.77 CORNER GUARD - STAINLESS STEEL CG2
- 22.01 (E) FLOOR DRAIN | SEE PLUMBING DWGS
- 22.02 LAVATORY, ACCESSIBLE | PLUMB
- 22.06 URINAL, ACCESSIBLE | PLUMB

NOTES

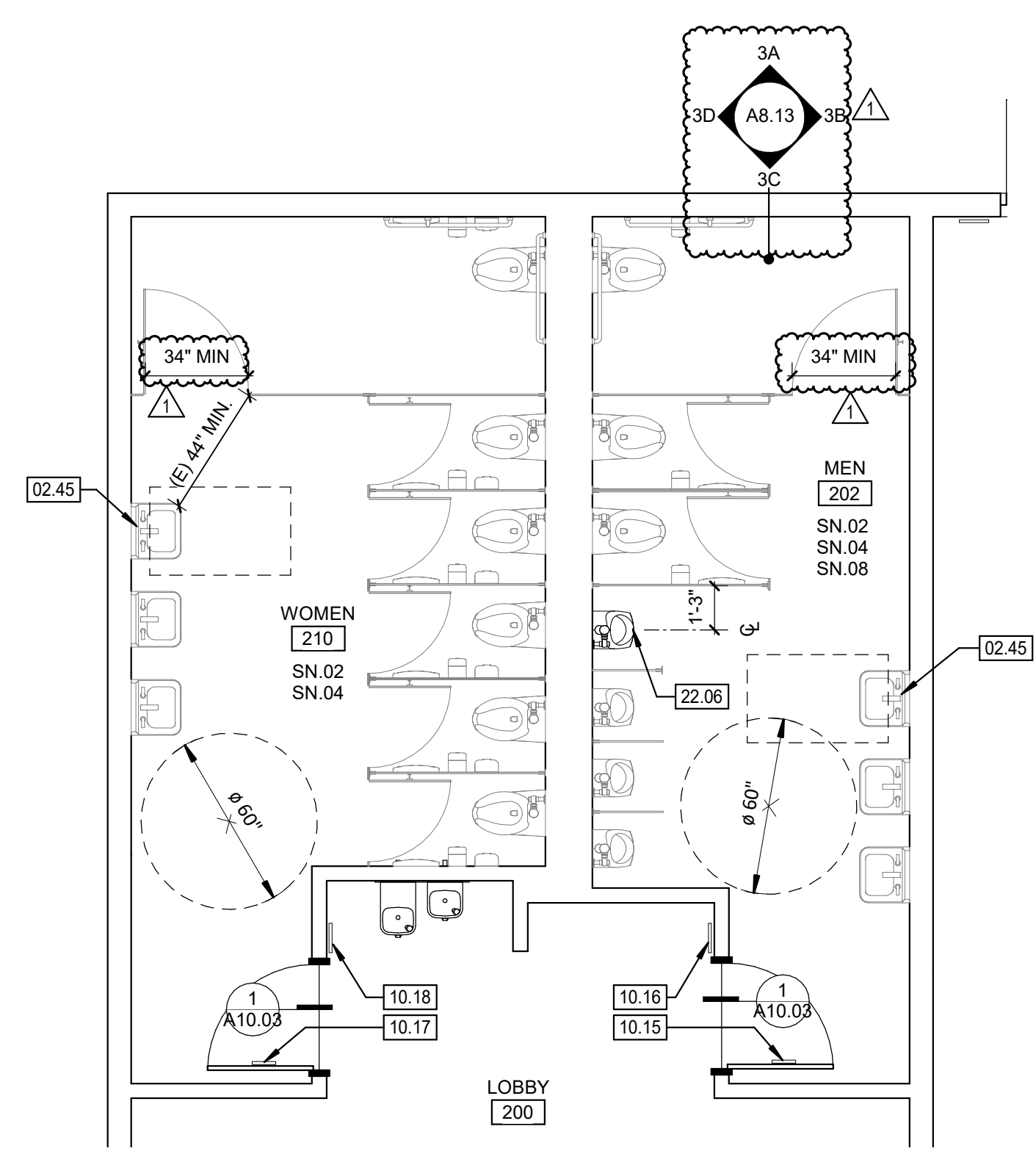
1. SLOPE FLOOR MAX 2% TO DRAIN FOR ROOMS WITH FLOOR DRAIN (FD)
2. CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS, SEE DETAIL 4/A10.03
3. EXISTING CONDITION SHOWN ARE FOR REFERENCE ONLY, VERIFY EXISTING CONDITION AND DIMENSIONS IN FIELD, UNLESS OTHERWISE NOTED
4. AFTER RELOCATING OR REPLACING (E) FIXTURES PATCH, REPAIR, AND APPLY TILE TO THE WALL OR FLOOR MATCHING (E) TILES

SHEET NOTES

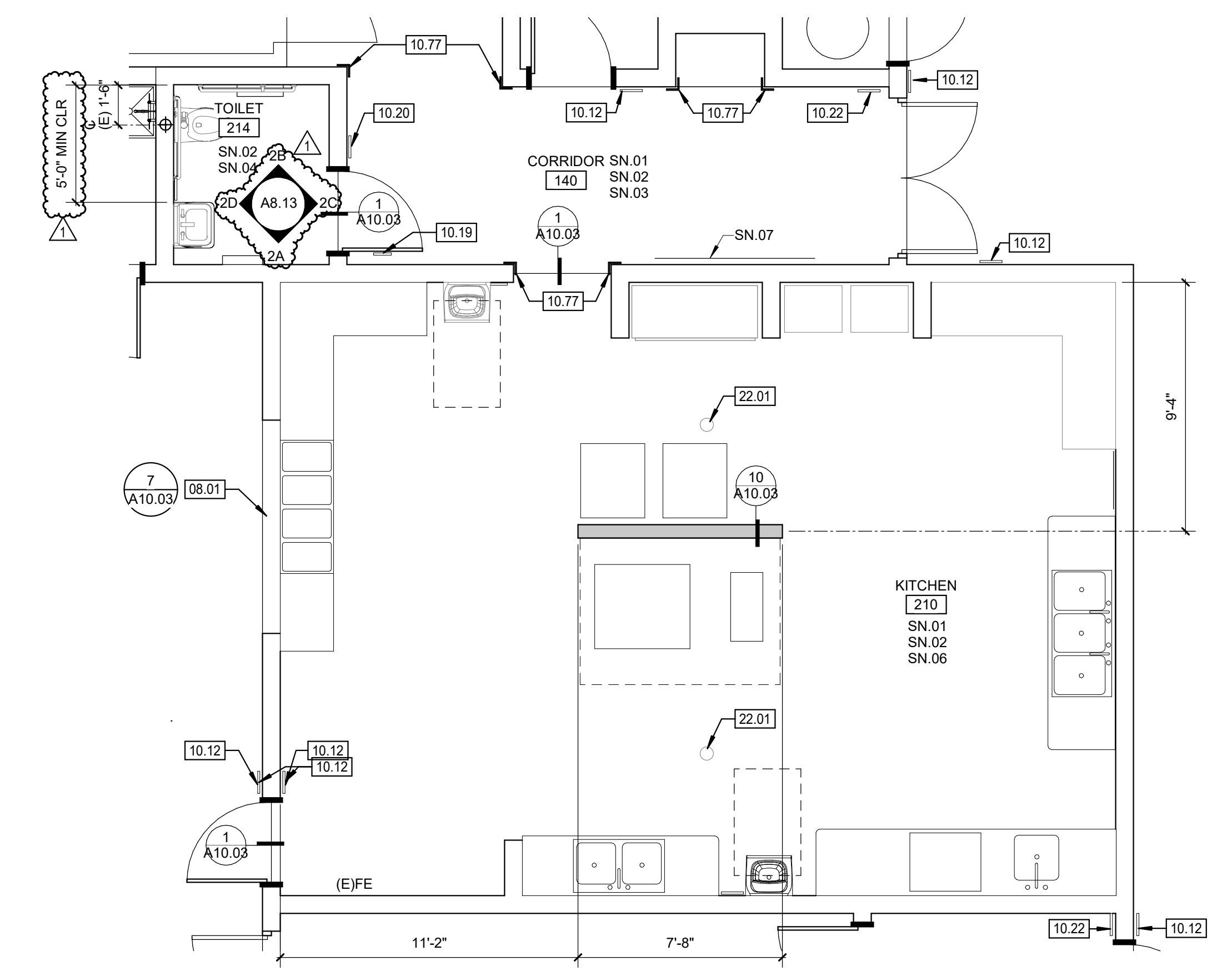
- SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
- SN.02 (E) GYPSUM WALLBOARD CEILING TO BE PAINTED (PNT1)
- SN.03 INSTALL RUBBER BASE
- SN.04 ALL (E) TILE TO REMAIN, DEEP CLEAN AND PATCH GROUT AS NEEDED
- SN.05 DEEP CLEAN FRP, DO NOT PAINT
- SN.06 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER PUMPS TO BE REINSTALLED THE SAME LOCATION
- SN.07 (E) MARKERBOARDS AND TACKBOARDS TO REMAIN, PROTECT DURING CONSTRUCTION
- SN.08 REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION



ENLARGED TOILET - UNISEX - BLDG 2 **3**
1/4" = 1'-0"



ENLARGED TOILET - BLDG 1 **2**
1/4" = 1'-0"



ENLARGED KITCHEN - BLDG 1 **1**
1/4" = 1'-0"

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
ENLARGED PLANS

DSA SUBMITTAL

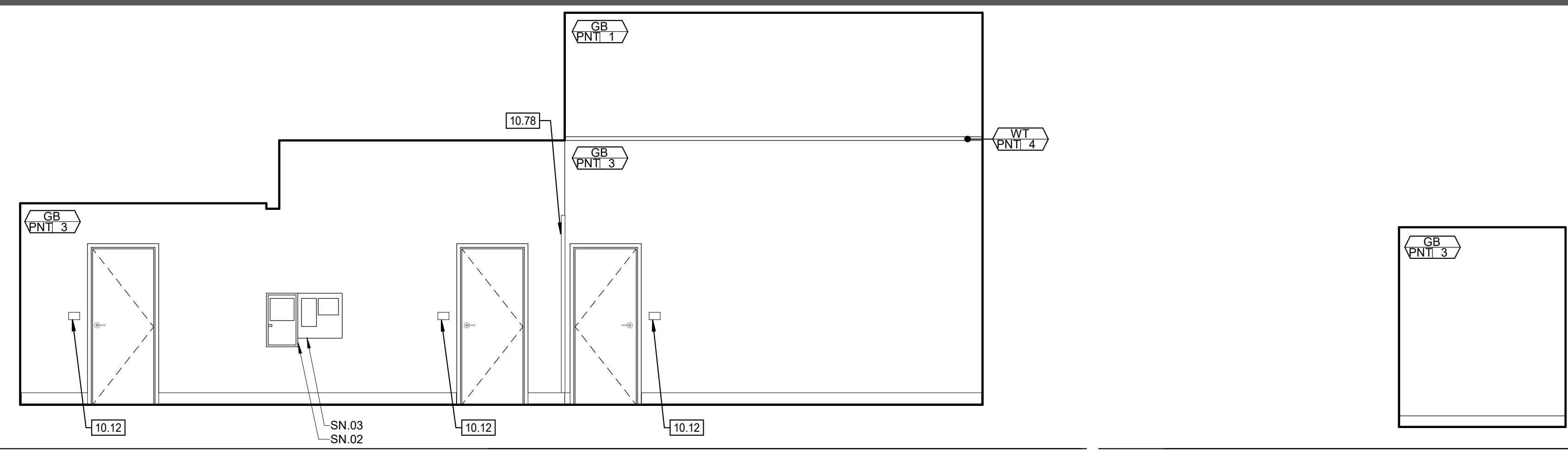
DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

A7.11

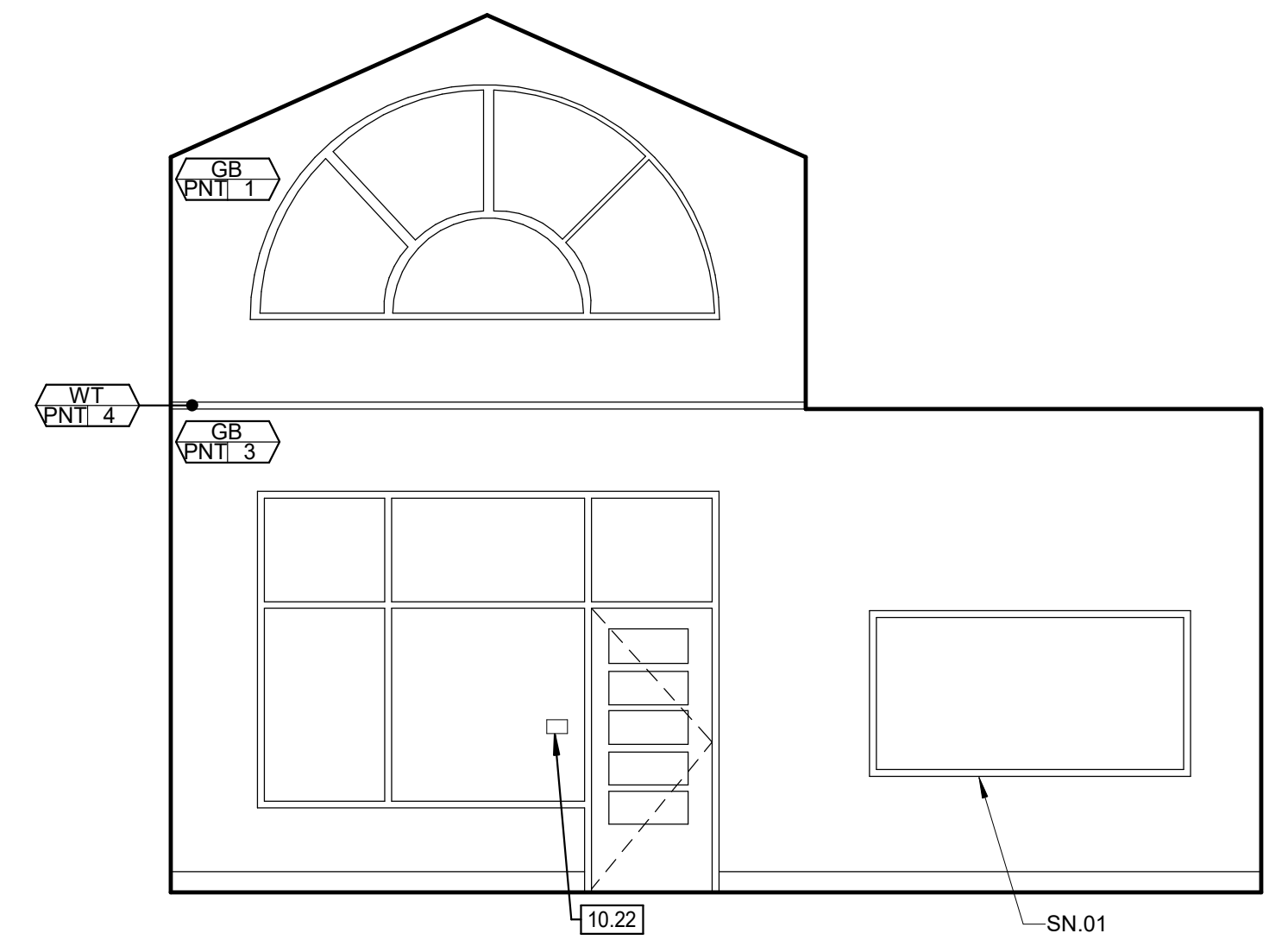
PLEASE RECYCLE ♻️

ALL LINE SHOWN AND/OR LINE DIMENSIONS SHALL BE IN ACCORDANCE WITH THE SHEET'S DIMENSIONAL PAGE SIZE

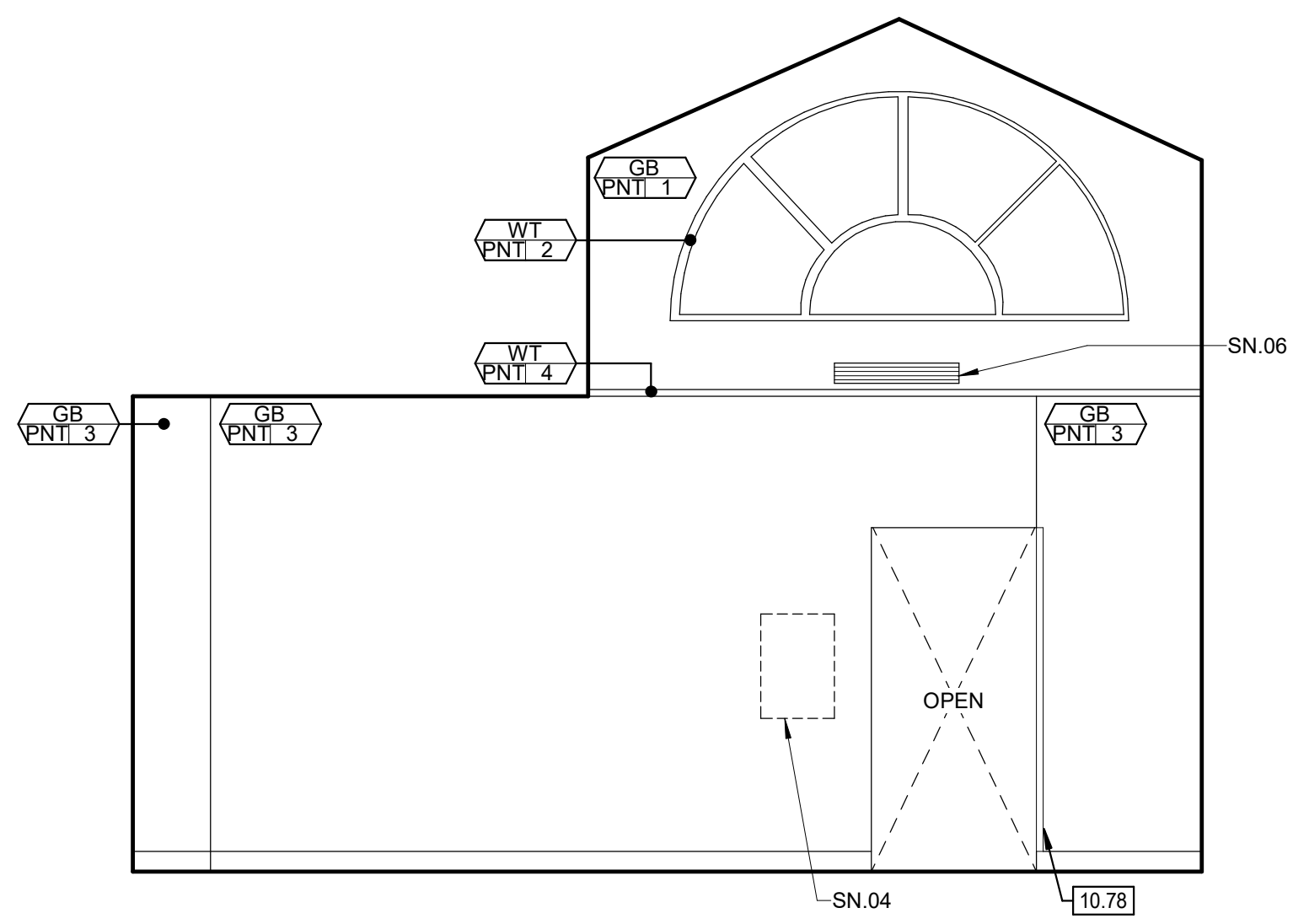


100 RECEPTION / 101 OFFICE **2A**

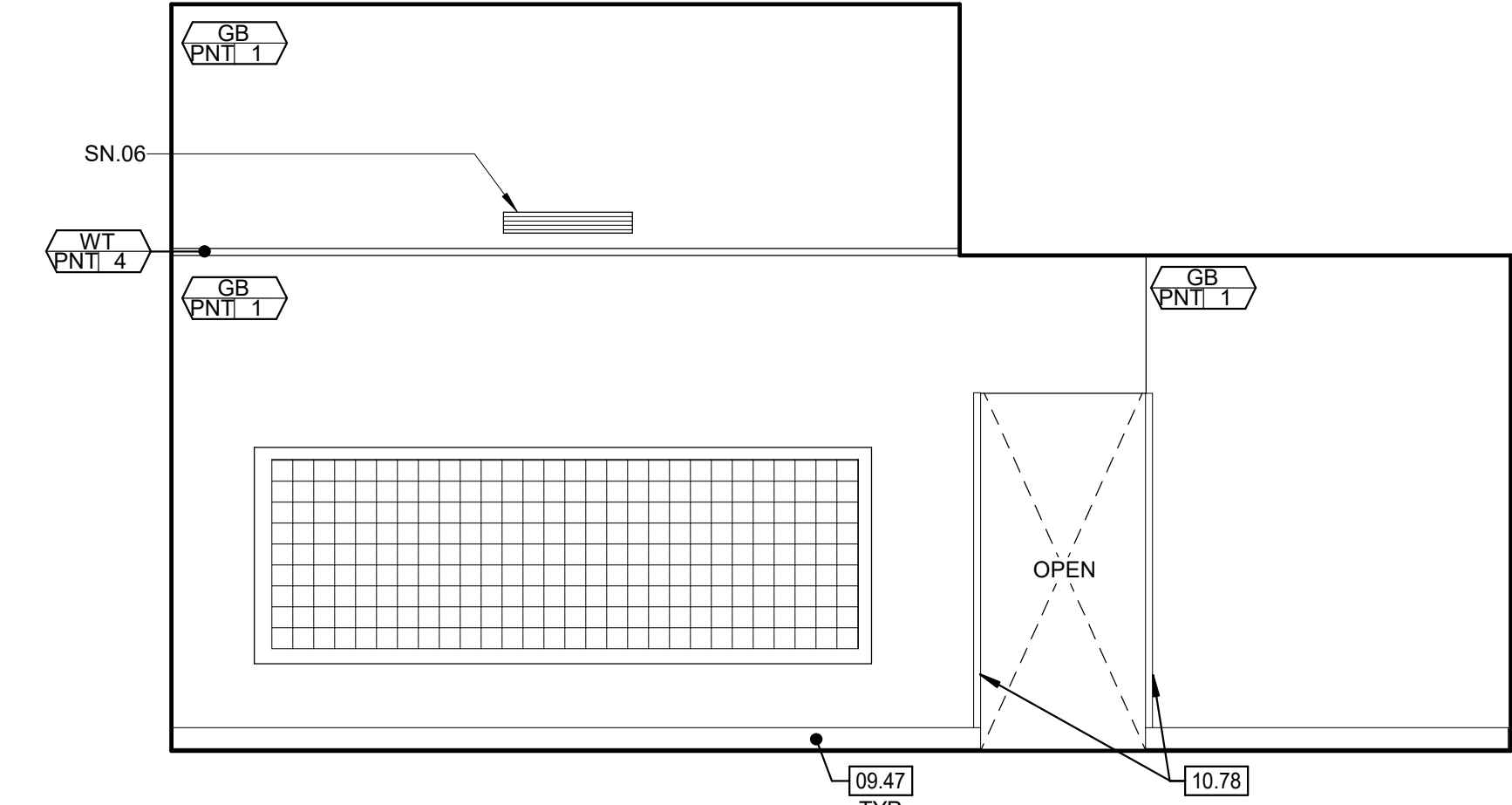
100 RECEPTION / 101 OFFICE **2B**



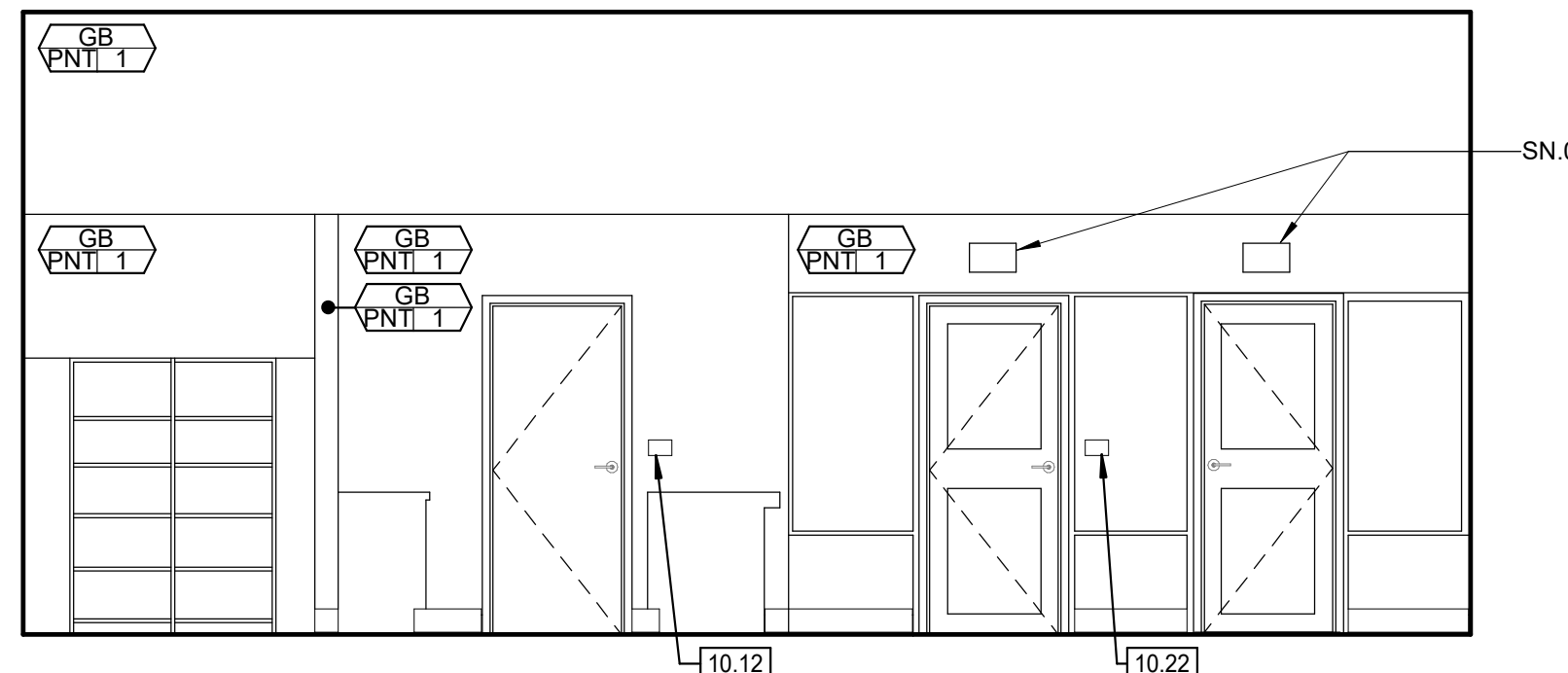
100 RECEPTION / 101 OFFICE **2C**



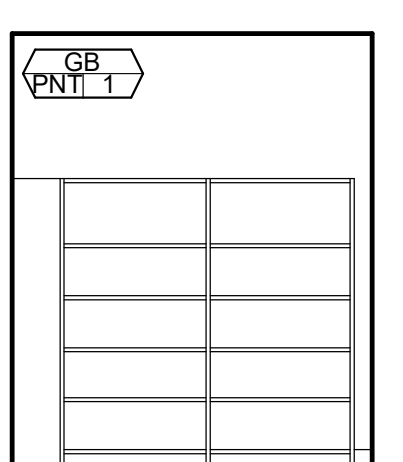
100 RECEPTION / 101 OFFICE **2D**



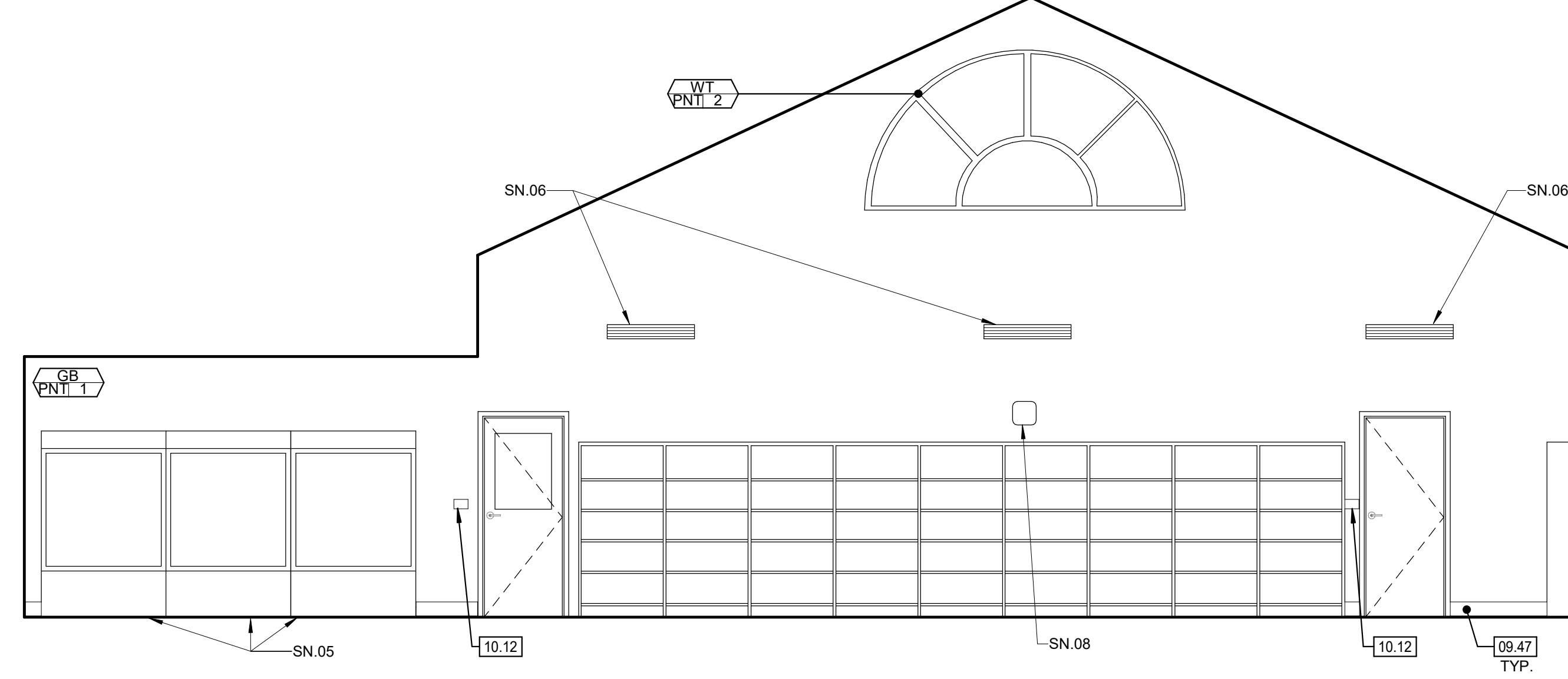
100 RECEPTION / 101 OFFICE **2E**



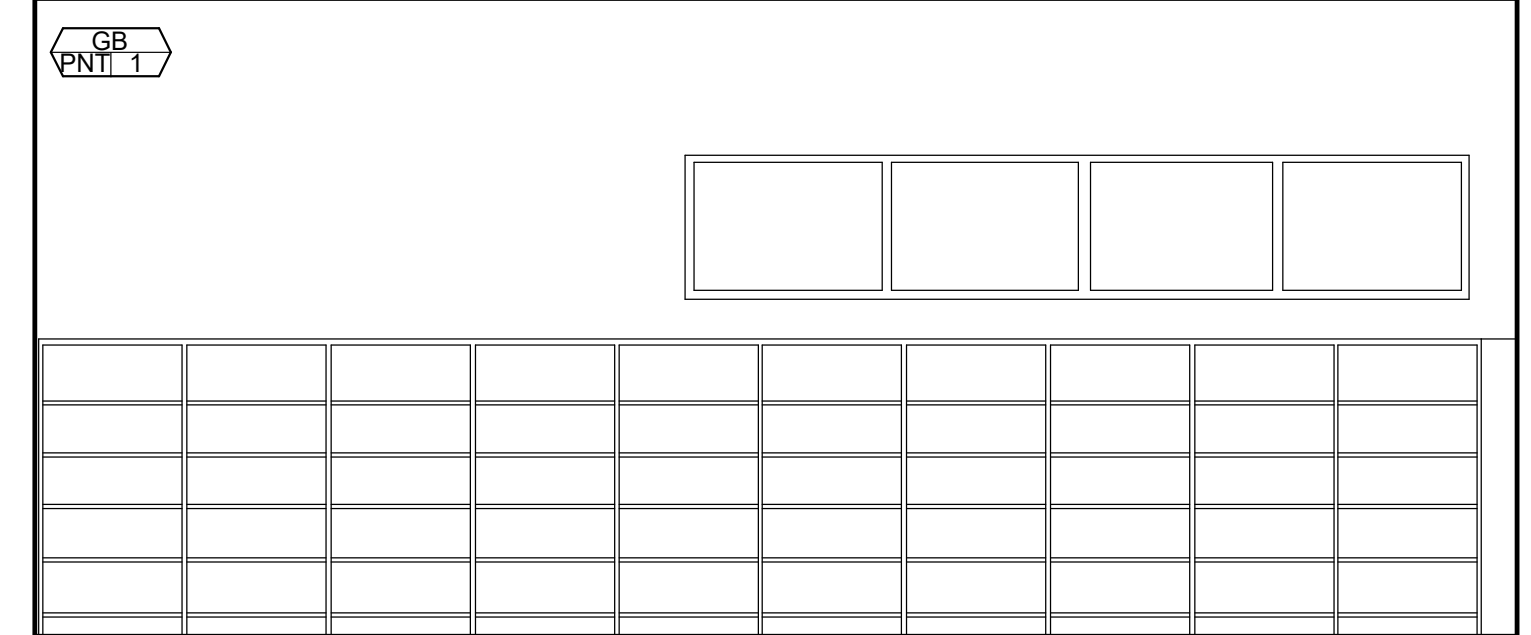
117 MEDIA CENTER **1A**



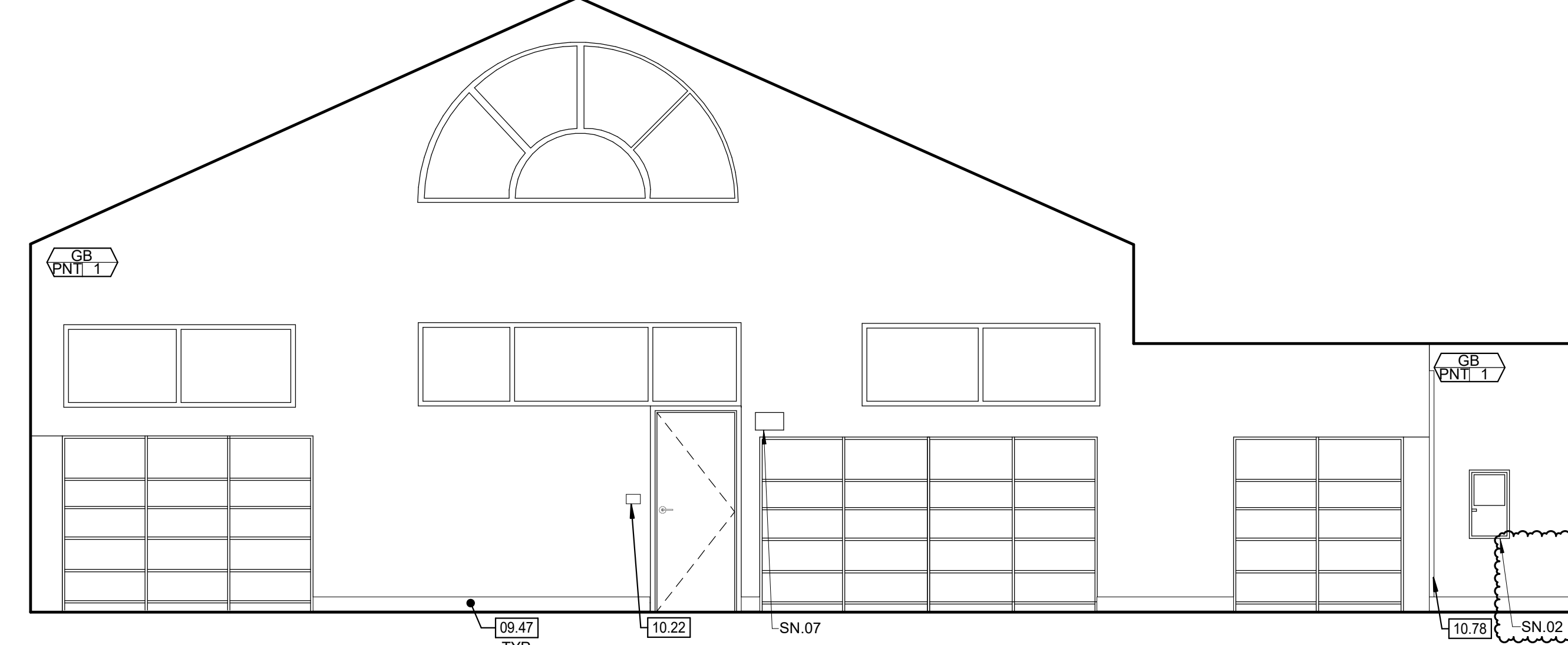
117 MEDIA CENTER **1B**



117 MEDIA CENTER **1C**



117 MEDIA CENTER **1D**



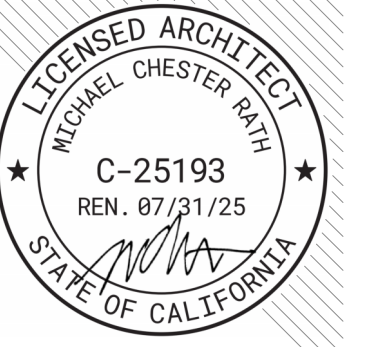
117 MEDIA CENTER **1E**



HMC Architects

3186-070-000

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916 368 7990 / www.hmcarchitects.com



ISSUE		DATE
1	DESCRIPTION	03/01/2024
1	ADDENDUM #1	

KEYNOTES

09.47	RESILIENT BASE
10.12	ROOM ID SIGN 9/A10.04
10.22	TACTILE EXIT SIGN 6/A10.04
10.78	CORNER GUARD - PLASTIC CG1 6/A10.03

GENERAL NOTES

- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING
- PATCH AND REGLUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
- ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
- REMOVE ALL (E) ABANDONED WIRE MOLD
- PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
- PAINT ALL INTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
- DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
- ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION
- ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION

SHEET NOTES

- SN.01 (E) MARKERBOARDS TO REMAIN. PROTECT DURING CONSTRUCTION
- SN.02 (E) FIRE EXTINGUISHER. PROTECT DURING CONSTRUCTION
- SN.03 (E) FIRE ALARM PANEL. PROTECT DURING CONSTRUCTION
- SN.04 (E) ELECTRICAL PANEL. PROTECT DURING CONSTRUCTION
- SN.05 (E) DISPLAY CASES TO BE REMOVED, STORED & REINSTALLED IN THE SAME LOCATION AND TO MEET ADA CLEARANCE TO RM 121 DOOR
- SN.06 (E) DIFFUSERS TO BE PAINTED TO MATCH THE WALL
- SN.07 (E) EXIT SIGN. PROTECT DURING CONSTRUCTION
- SN.08 (E) CLOCK TO BE REMOVED, STORED AND REINSTALLED IN SAME LOCATION AFTER CONSTRUCTION

FACILITY:
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PROJECT:
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SHEET NAME:
INTERIOR ELEVATIONS

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

Autodesk Docs:0186070000 - SCUSD Matsuyama ES Modernization0186070000-A-MATSUYAMA-MOD-01
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