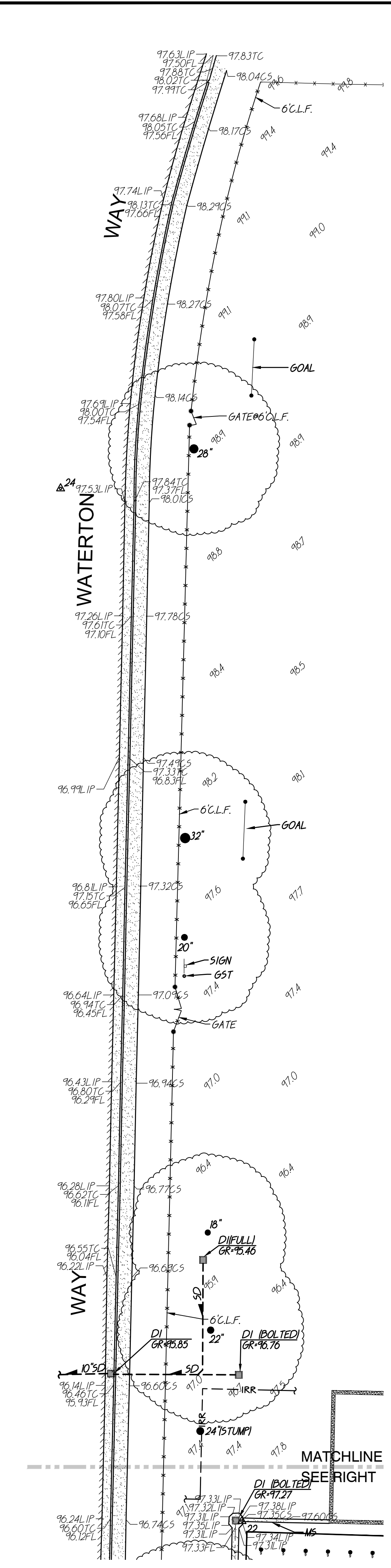
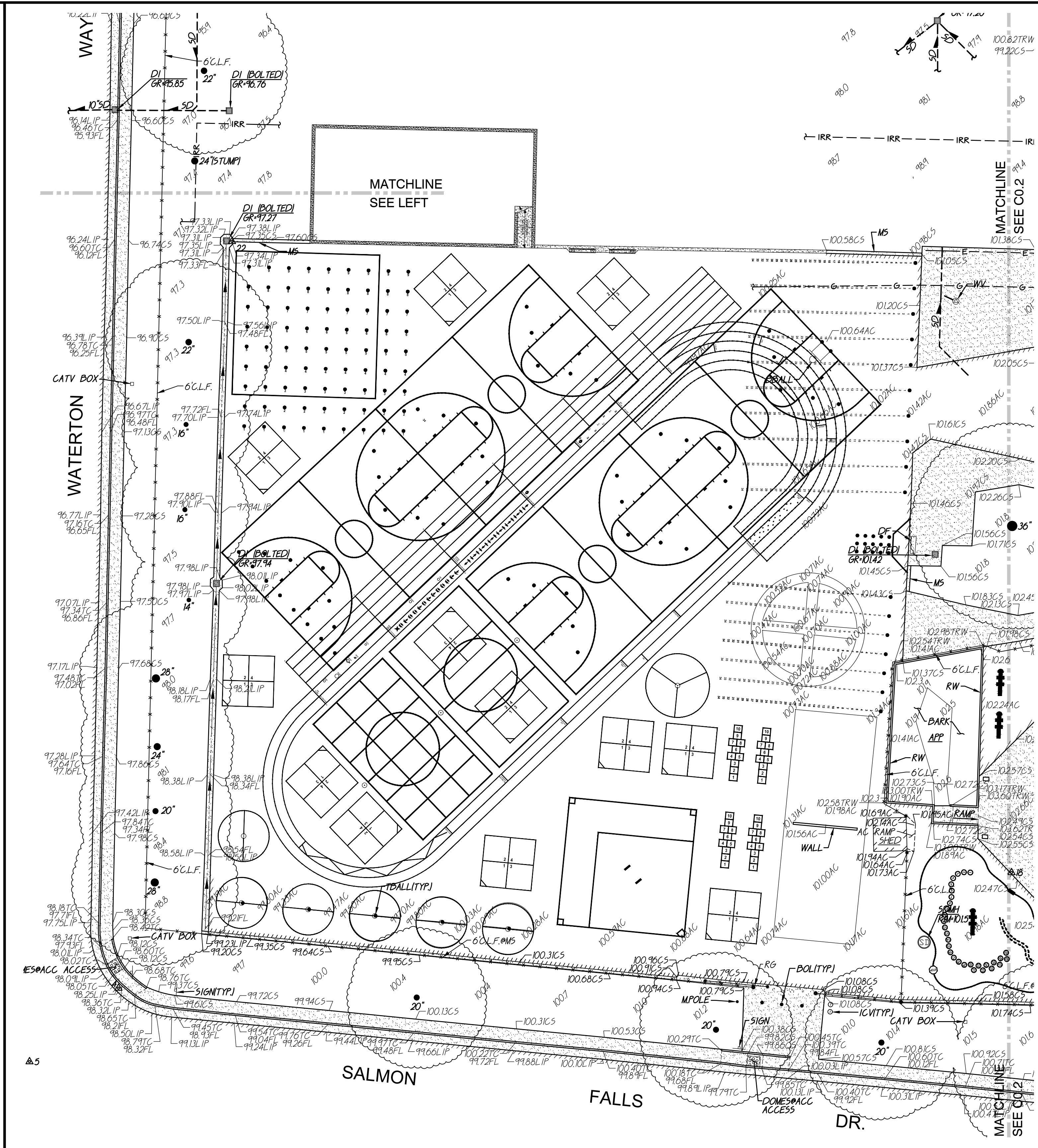




FILENAME: I:\25-050-Civil\DWG\25-050-C01.DWG PLOTTED: Wednesday, July 19, 2023



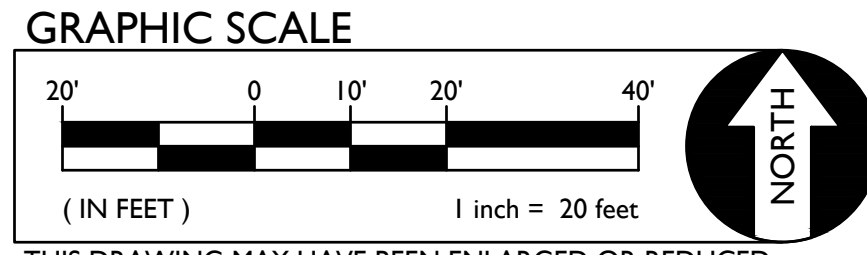
1 TOPOGRAPHIC SURVEY SCALE 1" = 20'-0"



2 TOPOGRAPHIC SURVEY SCALE 1" = 20'-0"

A.P.N.	075-0010-029
BENCHMARK NO.	ELEV. 23.226
*** ASSUMED ***	

TBM LIST				
NO.	DESCRIPTION	NORTH	EAST	ELEV
2	CPF MON IP+TAC	49838.14	10649.19	102.14
3	CPS CHISELED "+"	49876.17	10494.50	101.85
4	CPS CHISELED "+"	49942.54	9848.33	98.16
5	CPF MON IP	49919.48	9820.41	98.58
7	CPS CHISELED "+"	49902.25	10228.88	101.09
8	CPS CHISELED "+"	50074.73	10414.85	101.60
9	CPS CHISELED "+"	50168.87	10381.98	101.49
12	CPS CHISELED "+"	49934.50	10203.09	101.76
18	CPS CHISELED "+"	49978.78	10128.56	102.48
20	CPS CHISELED "+"	50075.93	10513.04	101.49
21	CPS CHISELED "+"	50278.21	10226.16	99.55
22	CPS CHISELED "+"	50176.76	9883.94	97.31
23	CPS CHISELED "+"	50209.85	10157.13	99.43
24	CPF CL MON	50466.07	9833.12	97.27
25	CPS CHISELED "+"	49874.13	10064.83	100.28



THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED.

BASIS OF BEARINGS:  
\*\*ASSUMED\*\*

NOTE:  
EXISTING UTILITIES BASED ON VISIBLE SURFACE STRUCTURES ONLY.

SCREENED PORTIONS OF THIS PLAN ARE FROM RECORD SURVEY INFORMATION AND ARE NOT PART OF THE FIELD SURVEY PERFORMED AS PART OF THIS PROJECT. ACTUAL SITE CONDITIONS MAY VARY IN THESE AREAS DUE TO AGE.

**ABBREVIATIONS**

- NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THESE PLANS.
- AC ASPHALTIC CONCRETE
  - ACC ACCESSIBLE
  - ACU AIR CONDITIONING UNIT
  - AD AREA DRAIN
  - APN ASSESSOR'S PARCEL NUMBER
  - ARV AIR RELEASE VALVE
  - BSM BASKETBALL POLE
  - BCM BRASS CAP MONUMENT
  - BFP BACK FLOW PREVENTER
  - BL BLOCK
  - BLDG BUILDING
  - BOLL BOLLARD
  - BOV BLOW-OFF VALVE
  - BR BRICK
  - B.W.F. BARBED WIRE FENCE
  - CP COMMUNICATION CENTERLINE
  - C/L CABLE TELEVISION
  - CATV CAPPED IRON PIPE
  - CP CHAIN LINK FENCE
  - C.M.P. CORRUGATED METAL PIPE
  - CO CLEANOUT
  - COL COLUMN
  - CONC. CONCRETE
  - COND. CONDENSATE
  - CPF CONTROL POINT FOUND
  - CPS CONTROL POINT SET
  - CS CONCRETE SURFACE
  - D DEPTH
  - DDC DOUBLE DETECTOR CHECK VALVE
  - DF DRINKING FOUNTAIN
  - DS DECOMPOSED GRANITE
  - DIA DIAMETER
  - DRWY DRIVEWAY
  - DS DOWNSPOUT
  - DWG DWG
  - E ELECTRIC
  - EP EDGE OF PAVEMENT
  - ESMT EASEMENT
  - EV ELECTRICAL VAULT
  - FA FIRE ALARM
  - FB FIRE BOX
  - FDC FIRE DEPARTMENT CONNECTION
  - FIE FIRE FLOOR ELEVATION
  - FH FIRE HYDRANT
  - FL FLOWLINE
  - FO FIBER OPTIC
  - FP FLAGPOLE
  - FS FIRE SERVICE
  - G GAS
  - GB GRADE BREAK
  - GR GROUND ROD
  - GRB GROUND ROD BOX
  - GRO GROUND ROD
  - GST GATE STOP
  - GV GAS VALVE
  - HB HOSE INLET
  - HBD HEADER BOARD
  - HP HIGH PRESSURE
  - HR HANDRAIL
  - HV HIGH VOLTAGE ELECTRIC
  - HWF HOG WIRE FENCE
  - IC IN CONCRETE
  - IRV IRRIGATION CONTROL VALVE
  - INV PIPE INVERT ELEVATION
  - IRR IRRIGATION
  - JT JOINT UTILITY POLE
  - JT TRENCH
  - LAND LANDING
  - LVE LOW VOLTAGE ELECTRIC
  - M METAL
  - MH MANHOLE
  - MOW MOW STRIP
  - MSC METAL STORAGE CONTAINER
  - NTS NOT TO SCALE
  - OH OVERHEAD
  - OVC OVERHANG
  - OIP OPEN IRON PIPE
  - OSP OLD STEEL POST HOLE
  - P/L PROPERTY LINE
  - PA PLANTER AREA
  - PB PARKING BUMPER
  - PH POSTHOLE
  - PV POST INDICATOR VALVE
  - PP POWER POLE
  - PRKG PARKING
  - PUE PUBLIC UTILITY EASEMENT
  - PV PAVERS
  - PVC POLYVINYL CHLORIDE
  - R RUBBER
  - RIM MANHOLE RIM ELEVATION
  - ROW RIGHT OF WAY
  - RP REDUCED PRESSURE BACKFLOW ASBLY.
  - RW RETAINING WALL
  - RWL RAIN WATER LEADER
  - SB SIGNAL BOX
  - SD STORM DRAIN
  - SMH STORM DRAIN MANHOLE
  - SIG SIGNAL
  - SL STREET LIGHT
  - SLB STREET LIGHT BOX
  - SS SANITARY SEWER
  - SSCO SANITARY SEWER CLEANOUT
  - SMH SANITARY SEWER MANHOLE
  - STL STEEL
  - T TELEPHONE
  - TBALL TETHER BALL POLE
  - TBM TEMPORARY BENCHMARK
  - TC TOP OF CURB
  - TOW TOP OF WALL
  - TP TELEPHONE POLE
  - TRW TOP OF RETAINING WALL
  - UG UNDERGROUND
  - UNK UNKNOWN
  - V VENT
  - W WATER
  - W/W WITH
  - W/O WITHOUT
  - WD WOOD
  - W.I.F. WROUGHT IRON FENCE
  - W.R.F. WOOD RAIL FENCE
  - XV TRANSFORMER CROSSWALK

**EXISTING TOPOGRAPHY**

- = PROPERTY LINE
- = CENTERLINE
- = easement
- ⊙ = PROPERTY CORNER FOUND AS NOTED
- ⊙ = PROPERTY CORNER (NOTHING FOUND OR SET)
- ⊙ = TEMPORARY BENCHMARK (SEE TBM LIST FOR INFO)
- ⊙ = SWALE OR DRAINAGE FLOW
- = DRAINAGE FLOW
- = FENCE (TYPE NOTED)
- ⊙ = TREE (SIZE/TYPE INDICATED)
- = SLOPE
- = CONTOUR
- = CONCRETE SURFACE
- = EDGE OF ASPHALT
- = EDGE OF BUILDING
- = SIGN
- ⊙ = POST OR BOLLARD
- = GROUND ELEVATION
- 99.99 = HARD SURFACE ELEVATION

**EXISTING UTILITIES**

- 12"SD --- = storm drain line (size & direction of flow)
- 12"SD --- = storm drain line (record information)
- 12"SD --- = storm drain line (UNDERGROUND LOCATING)
- ⊙ = storm drain manhole
- ⊙ = storm drain cleanout
- ⊙ = drop inlet
- ⊙ = AREA DRAIN
- ⊙ = RAIN WATER LEADER
- ⊙ = downspout
- 12"SS --- = sanitary sewer line (size & direction of flow)
- 12"SS --- = sanitary sewer line (record information)
- 12"SS --- = sanitary sewer line (UNDERGROUND LOCATING)
- ⊙ = sanitary sewer manhole
- ⊙ = sanitary sewer cleanout
- W --- = water line (size indicated)
- W --- = water line (record information)
- W --- = water line (UNDERGROUND LOCATING)
- ⊙ = water manhole
- ⊙ = water valve
- ⊙ = water meter
- ⊙ = water box
- ⊙ = IRRIGATION CONTROL VALVE
- ⊙ = FIRE HYDRANT
- ⊙ = backflow preventer
- ⊙ = SPRINKLER
- ⊙ = hose bibb
- OH-E --- = OVERHEAD ELECTRIC LINE
- E --- = UNDERGROUND ELECTRIC LINE
- E --- = UNDERGROUND ELECTRIC LINE (record information)
- E --- = UNDERGROUND ELECTRIC LINE (UNDERGROUND LOCATING)
- ⊙ = ELECTRIC MANHOLE
- ⊙ = UTILITY POLE (WITH GUY WIRE)
- ⊙ = ELECTRIC METER
- ⊙ = ELECTRIC BOX
- ⊙ = STREET LIGHTING BOX
- ⊙ OR ⊙ = LIGHT STANDARD
- ⊙ = FLOOD LIGHT
- ⊙ = ELECTRICAL OUTLET
- G --- = GAS LINE (SIZE INDICATED)
- G --- = GAS LINE (record information)
- G --- = GAS LINE (UNDERGROUND LOCATING)
- ⊙ = GAS MANHOLE
- ⊙ = GAS VALVE
- ⊙ = GAS METER
- T --- = telephone line
- T --- = telephone line (record information)
- T --- = telephone line (UNDERGROUND LOCATING)
- ⊙ = STORM DRAIN BOX
- ⊙ = TRAFFIC SIGNAL BOX

DSA



OWNER:  
  
 Sacramento City Unified School District  
 5735 47th Avenue  
 Sacramento, CA 95824-4528



Isador Cohen  
 Elementary School  
 2023 Fencing

9025 Salmon Falls Drive  
 Sacramento, CA 95826

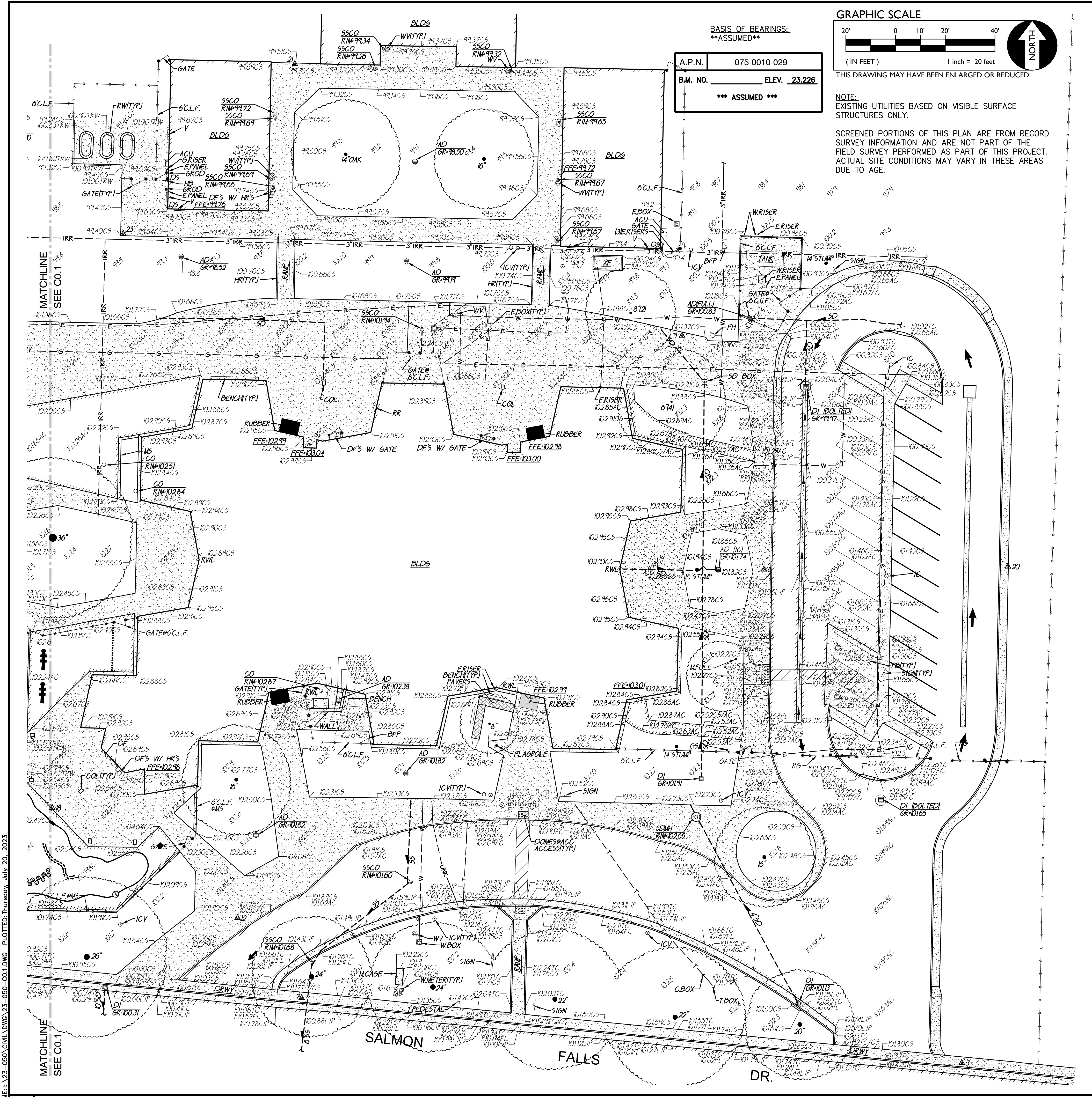
REVISIONS	
NO.	DESCRIPTION

DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023

ISSUANCE:

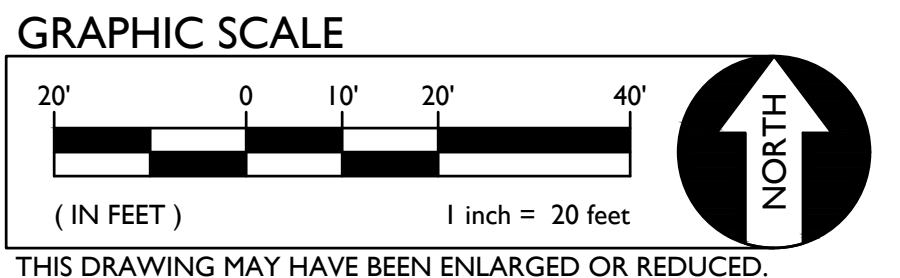
SHEET TITLE:  
**TOPOGRAPHIC SURVEY**

SHEET NO.  
**C0.1**



BASIS OF BEARINGS:  
 \*\*ASSUMED\*\*

A.P.N. 075-0010-029  
 B.M. NO. ELEV. 23.226  
 \*\*\* ASSUMED \*\*\*



THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED.

NOTE:  
 EXISTING UTILITIES BASED ON VISIBLE SURFACE STRUCTURES ONLY.

SCREENED PORTIONS OF THIS PLAN ARE FROM RECORD SURVEY INFORMATION AND ARE NOT PART OF THE FIELD SURVEY PERFORMED AS PART OF THIS PROJECT. ACTUAL SITE CONDITIONS MAY VARY IN THESE AREAS DUE TO AGE.

**ABBREVIATIONS**

- NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THESE PLANS.
- AC ASPHALTIC CONCRETE
  - ACC ACCESSIBLE
  - ACU AIR CONDITIONING UNIT
  - AD AREA DRAIN
  - APN ASSESSOR'S PARCEL NUMBER
  - ARM AIR RELEASE VALVE
  - BSM BASKETRY POLE
  - BCM BRASS CAP MONUMENT
  - BFP BACK FLOW PREVENTER
  - BLD BUILDING
  - BOL BOLLARD
  - BOV BLOW-OFF VALVE
  - BR BRICK
  - B.W.F. BARBED WIRE FENCE
  - COM COMMUNICATION
  - C/L CENTERLINE
  - CATV CABLE TELEVISION
  - CP CAPPED IRON PIPE
  - CFP CHAIN LINK FENCE
  - CMP CORRUGATED METAL PIPE
  - CO CLEANOUT
  - COL COLUMN
  - CONC. CONCRETE
  - COND. CONDENSATE
  - CPF CONTROL POINT FOUND
  - CPS CONTROL POINT SET
  - CS CONCRETE SURFACE
  - D DEPTH
  - DDC DOUBLE DETECTOR CHECK VALVE
  - DF DRINKING FOUNTAIN
  - DFE DECOMPOSED GRANITE
  - DI DIAPHRAGM
  - DIA DIAMETER
  - DRWY DRIVEWAY
  - DWS DOWNSPOUT
  - DWG DWG
  - E ELECTRIC
  - EP EDGE OF PAVEMENT
  - ESMT EASEMENT
  - EV ELASTIC VAULT
  - FA FIRE ALARM
  - FB FIRE BOX
  - FDC FIRE DEPARTMENT CONNECTION
  - FTE FIRE FLOOR ELEVATION
  - FH FIRE HYDRANT
  - FL FLOWLINE
  - FO FIBER OPTIC
  - FP FLAGPOLE
  - FS FIRE SERVICE
  - G GAS
  - GB GRADE BREAK
  - GRB GRATE
  - GROD GROUND ROD BOX
  - GROD GROUND ROD
  - GST GATE STOP
  - GV GAS VALVE
  - HB HOSE BIBB
  - HBD HEADER BOARD
  - HP HIGH PRESSURE
  - HR HANDRAIL
  - HVE HIGH VOLTAGE ELECTRIC
  - HWF HOG WIRE FENCE
  - IC IN CONCRETE
  - ICV IRRIGATION CONTROL VALVE
  - INV PIPE INVERT ELEVATION
  - IRR IRRIGATION
  - JP JOINT UTILITY POLE
  - JT JOINT TRENCH
  - LANDG LANDING
  - LVE LOW VOLTAGE ELECTRIC
  - M MANHOLE
  - MH MANHOLE
  - MS MOIST STRIP
  - MSC METAL STORAGE CONTAINER
  - NTS NOT TO SCALE
  - OH OVERHEAD
  - OHANG OVERHANG
  - OIP OPEN IRON PIPE
  - OSP OLD STEEL POST HOLE
  - P/L PROPERTY LINE
  - PA PLANTER AREA
  - PB PARKING BUMPER
  - PH POSTHOLE
  - PV POST INDICATOR VALVE
  - PP POWER POLE
  - PRKG PARKING
  - PUE PUBLIC UTILITY EASEMENT
  - PVC PAVERS
  - R RUBBER
  - RM MANHOLE RIM ELEVATION
  - ROW RIGHT OF WAY
  - RP REDUCED PRESSURE BACKFLOW ASBLY.
  - RW RETAINING WALL
  - RWL RAIN WATER LEADER
  - SB SIGNAL BOX
  - SD STORM DRAIN
  - SMH STORM DRAIN MANHOLE
  - SIG SIGN
  - SL STREET LIGHT
  - SLB STREET LIGHT BOX
  - SS SANITARY SEWER
  - SSCO SANITARY SEWER CLEANOUT
  - SMH SANITARY SEWER MANHOLE
  - STL STEEL
  - T TELEPHONE
  - TBALL TETHER BALL POLE
  - TBM TEMPORARY BENCHMARK
  - TC TOP OF CURB
  - TOW TOP OF WALL
  - TP TELEPHONE POLE
  - TRW TOP OF RETAINING WALL
  - UG UNDERGROUND
  - UNK UNKNOWN
  - V VENT
  - W WATER
  - W/O WITHOUT
  - WD WOOD
  - W.F. WROUGHT IRON FENCE
  - W.R.F. WOOD RAIL FENCE
  - XI TRANSFORMER
  - XWALK CROSSWALK

**EXISTING TOPOGRAPHY**

- = PROPERTY LINE
- = CENTERLINE
- - - = easement
- ⊕ = PROPERTY CORNER FOUND AS NOTED
- = PROPERTY CORNER (NOTING FOUND OR SET)
- ⊕123 = TEMPORARY BENCHMARK (SEE TBM LIST FOR INFO)
- = SWALE OR DRAINAGE FLOW
- = DRAINAGE FLOW
- = FENCE (TYPE NOTED)
- = TREE (SIZE/TYPE INDICATED)
- = SLOPE
- 100 = CONTOUR
- = CONCRETE SURFACE
- = EDGE OF ASPHALT
- = EDGE OF BUILDING
- = SIGN
- 99.9 = POST OR BOLLARD
- 99.99 = GROUND ELEVATION
- 99.99 = HARD SURFACE ELEVATION

**EXISTING UTILITIES**

- 12"SD = storm drain line (size & direction of flow)
- 12"SD = storm drain line (record information)
- 12"SD = storm drain line (UNDERGROUND LOCATING)
- ⊕ = storm drain manhole
- = storm drain cleanout
- ⊕ = drop inlet
- ⊕ = AREA DRAIN
- ⊕ = RAIN WATER LEADER
- ⊕ = downspout
- 12"SS = sanitary sewer line (size & direction of flow)
- 12"SS = sanitary sewer line (record information)
- 12"SS = sanitary sewer line (UNDERGROUND LOCATING)
- ⊕ = sanitary sewer manhole
- ⊕ = sanitary sewer cleanout
- W = water line (size indicated)
- W = water line (record information)
- W = water line (UNDERGROUND LOCATING)
- ⊕ = water manhole
- ⊕ = water valve
- ⊕ = water meter
- ⊕ = water box
- ⊕ = IRRIGATION CONTROL VALVE
- ⊕ = FIRE HYDRANT
- ⊕ = backflow preventer
- ⊕ = SPRINKLER
- ⊕ = hose bibb
- OH-E = OVERHEAD ELECTRIC LINE
- E = UNDERGROUND ELECTRIC LINE
- E--- = UNDERGROUND ELECTRIC LINE (record information)
- E--- = UNDERGROUND ELECTRIC LINE (UNDERGROUND LOCATING)
- ⊕ = ELECTRIC MANHOLE
- ⊕ = UTILITY POLE (WITH GUY WIRE)
- ⊕ = ELECTRIC METER
- ⊕ = ELECTRIC BOX
- ⊕ = STREET LIGHTING BOX
- ⊕ = LIGHT STANDARD
- ⊕ = FLOOD LIGHT
- ⊕ = ELECTRICAL OUTLET
- G--- = GAS LINE (SIZE INDICATED)
- G--- = GAS LINE (record information)
- G--- = GAS LINE (UNDERGROUND LOCATING)
- ⊕ = GAS MANHOLE
- ⊕ = GAS VALVE
- ⊕ = GAS METER
- T = telephone line
- T--- = telephone line (record information)
- T--- = telephone line (UNDERGROUND LOCATING)
- ⊕ = STORM DRAIN BOX
- ⊕ = TRAFFIC SIGNAL BOX

**TBM LIST**

NO.	DESCRIPTION	NORTH	EAST	ELEV.
2	CPF MON IP+TAC	49838.14	10649.19	102.14
3	CPS CHISELED "+"	49876.17	10494.50	101.85
4	CPS CHISELED "+"	49942.54	9848.33	98.16
5	CPF MON IP	49919.48	9820.41	98.58
7	CPS CHISELED "+"	49902.25	10228.88	101.09
8	CPS CHISELED "+"	50074.73	10414.85	101.60
9	CPS CHISELED "+"	50168.87	10381.98	101.49
12	CPS CHISELED "+"	49934.50	10203.09	101.76
18	CPS CHISELED "+"	49978.78	10128.56	102.48
20	CPS CHISELED "+"	50075.93	10513.04	101.49
21	CPS CHISELED "+"	50278.21	10226.16	99.55
22	CPS CHISELED "+"	50176.76	9883.94	97.31
23	CPS CHISELED "+"	50209.85	10157.13	99.43
24	CPF CL MON	50466.07	9833.12	97.27
25	CPS CHISELED "+"	49874.13	10064.83	100.28

DSA



OWNER:  
 Sacramento City Unified School District  
 5735 47th Avenue  
 Sacramento, CA 95824-4528



Isador Cohen Elementary School  
 2023 Fencing  
 9025 Salmon Falls Drive  
 Sacramento, CA 95826

**REVISIONS**

NO.	DESCRIPTION

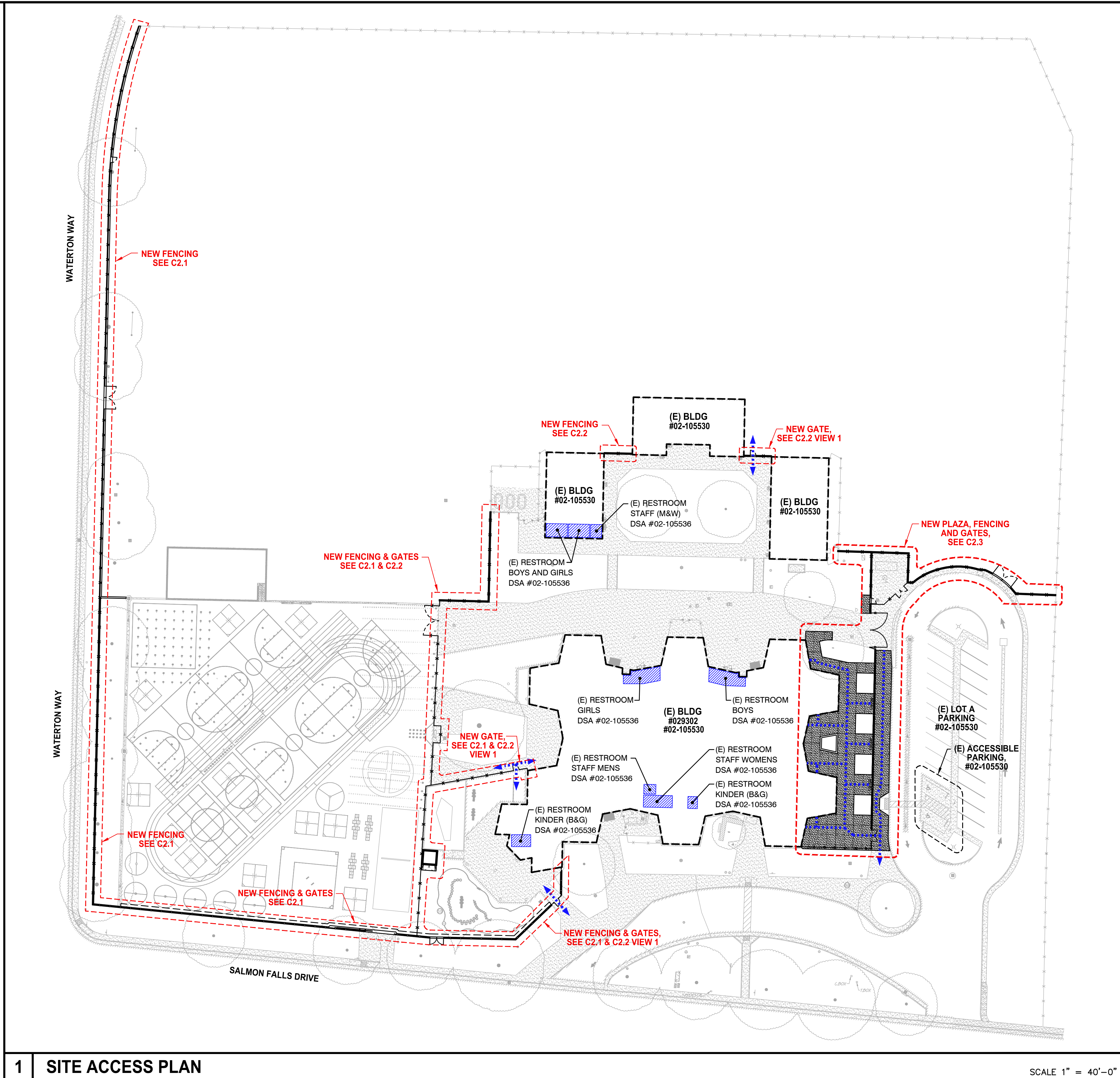
DRAWN: SMN SCALE: AS NOTED  
 CHECKED: AT PROJECT NO. 23-050  
 DESIGNED: SMN/AT DATE: 05/01/2023  
 ISSUANCE:

SHEET TITLE:  
**TOPOGRAPHIC SURVEY**

SHEET NO.  
**C0.2**

FILENAME: I:\25-050-C0.2\DWG\23-050-C0.1.DWG PLOTTED: Thursday, July 20, 2023

FILENAME: I:\23-050\Civil\DWG\23-050-C1.01.DWG PLOTTED: Thursday, July 20, 2023



1 | SITE ACCESS PLAN

SCALE 1" = 40'-0"

**PROJECT PARKING CALCULATION**

PARKING LOT A PARKING TOTALS		EXISTING	PROPOSED
STANDARD PARKING STALLS		23	23
ACCESSIBLE PARKING SPACES		2	2
OVERALL TOTAL PARKING SPACES		25	25

(E) ACCESSIBLE SPACE REQUIREMENTS		REQUIRED	PROVIDED
REQUIRED ACCESSIBLE SPACES (CAR)		0	1
REQUIRED ACCESSIBLE SPACES (VAN)		1	1
TOTAL REQUIRED ACCESSIBLE SPACES (PER 2019 CBC SECTION 11B-208.2)		1	2

**FENCING ONLY PROJECT ACCESSIBLE PATH OF TRAVEL**

IN ACCORDANCE WITH DSA IR A-22, ITEM NO. 12, KEYNOTE 4, THE ACCESSIBLE PATH OF TRAVEL REVIEW SHALL BE LIMITED TO WHERE NEW FENCES AND GATES AFFECT/CROSS AN ACCESSIBLE PATH OF TRAVEL.

**Design Professional in General Responsible Charge Statement:**

The POT identified in these construction documents meets the requirements of the current applicable California Building Code (CBC) accessibility provisions for path of travel requirements for alterations, additions and structural repairs. As part of the design of this project, the POT was examined and any elements, components or portions of the POT that were determined to be noncompliant with the CBC have been identified and the corrective work necessary to bring them into compliance has been included within the scope of this project's work through details, drawings and specifications incorporated into these construction documents. Any noncompliant elements, components or portions of the POT that will not be corrected by this project based on valuation threshold limitations or a finding of unreasonable hardship are indicated in these construction documents.

During construction, if POT items within the scope of the project represented as CBC compliant are found to be nonconforming beyond reasonable construction tolerances, the items shall be brought into compliance with the CBC as a part of this project by means of a construction change document."

**ACCESSIBLE PATH OF TRAVEL (P.O.T.)**

TO THE BEST OF THE KNOWLEDGE OF THE ARCHITECT AND/OR ENGINEER, OR THE DISTRICT, THE PATH OF TRAVEL (P.O.T.) AS INDICATED, IS A BARRIER FREE ACCESS ROUTE CONFORMING TO THE FOLLOWING:

- THERE ARE NO ABRUPT LEVEL CHANGES EXCEEDING 1/2" IF BEVELED AT 1V:2H MAX SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAX.
- THE MINIMUM WIDTH OF THE P.O.T. IS 48" AT ANY GIVEN POINT. (11B-403.5.1)
- THE SURFACE OF THE P.O.T. STABLE, FIRM, AND SLIP RESISTANT. (11B-403.2)
- THE MAXIMUM SLOPE IN THE DIRECTION OF TRAVEL IS 5.0% (11B-403.3), UNLESS OTHERWISE INDICATED, WITH THE FOLLOWING EXCEPTIONS:
  - THE SLOPED PORTION OF "RAMP" DOES NOT EXCEED 8.33% (1V:12H) IN THE DIRECTION OF TRAVEL (11B-405.2).
  - THE SLOPED PORTION OF A "CURB RAMP" DOES NOT EXCEED 8.33% (1V:12H) IN THE DIRECTION OF TRAVEL (11B-406.2.1 AND 11B-406.3.1).
- THE CROSS SLOPE OF THE ACCESSIBLE PATH OF TRAVEL DOES NOT EXCEED 2% AT ANY GIVEN POINT (11B-403.3).
- THE ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM (11B-307).
- THERE ARE NO PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM WALL AND ABOVE 27" AND LESS THAN 80" (11B-307).
- PASSING SPACES AT LEAST 60"x60" ARE LOCATED NOT MORE THAN 200' APART. (11B-403.5.3)
- PARTS OF P.O.T. WITH CONTINUOUS GRADIENTS HAVE 60" LEVEL AREAS NOT MORE THAN 400' APART. (11B-407.3)
- THERE IS NO DROP-OFF OVER 4" AT THE EDGE OF WALK OR LANDING. (11B-303.5)
- ARCHITECT AND CONTRACTOR SHALL VERIFY THAT ALL BARRIERS ON THE INDICATED PATH OF TRAVEL HAVE BEEN REMOVED.
- THERE ARE NO GRATINGS WITHIN THE PATH OF TRAVEL WITH GRATE OPENINGS EXCEEDING 1/2" IN THE DIRECTION OF TRAVEL (11B-302.3)

**LEGEND**

- EXISTING BUILDING NOT MODERNIZED BY THIS APPLICATION.
- STORAGE CONTAINER / SHED
- ACCESSIBLE PATH OF TRAVEL (P.O.T.)
- LIMIT/END OF PATH OF TRAVEL THIS PROJECT.
- PATH OF TRAVEL CONTINUATION INTO ACCESSIBLE AREA.
- NEW CONCRETE WALKWAY (SEE SHEET C2.1)
- EXISTING CONCRETE WALKWAY (SEE SHEET C0.1-C0.2 & C2.1)
- SCOPE OF PROJECT
- PROPERTY LINE
- ROAD CENTERLINE
- STORAGE, SHED/CONTAINER
- ACCESSIBLE RESTROOM (PROJECT COMPLIANCE)

DSA  
**WCE**  
 WARREN CONSULTING ENGINEERS, INC.  
 117 WINDFIELD WAY, SUITE 110  
 EL DORADO HILLS, CA 95762 | (916) 985-1870

OWNER:  
  
 Sacramento City Unified School District  
 5735 47th Avenue  
 Sacramento, CA 95824-4528

**Isador Cohen Elementary School 2023 Fencing**  
 9025 Salmon Falls Drive  
 Sacramento, CA 95826

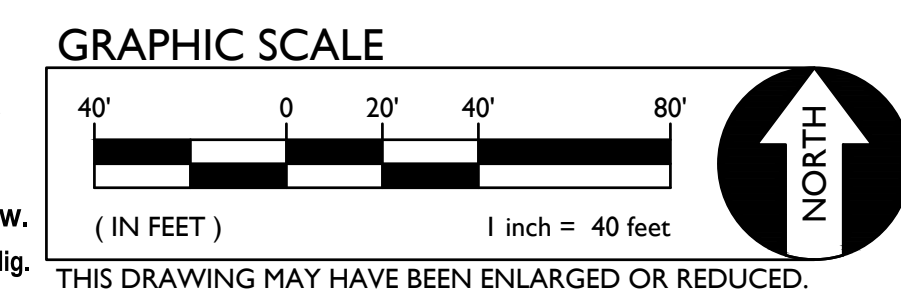
REVISIONS	
NO.	DESCRIPTION

DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023

ISSUANCE:

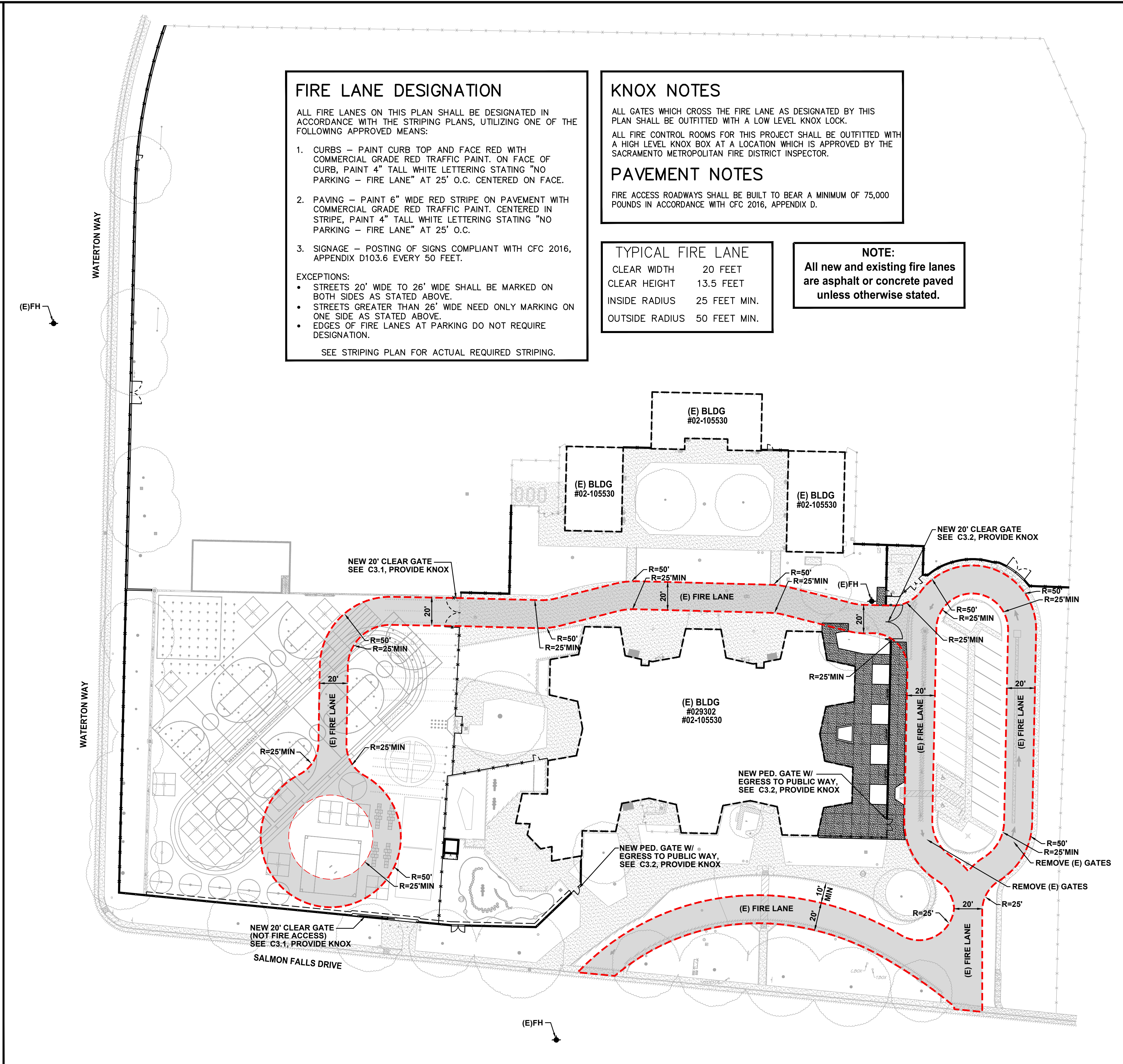
SHEET TITLE:  
**SITE ACCESS PLAN**

SHEET NO.  
**C1.0.1**



THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED.

FILENAME: I:\23-050\Civil\DWG\23-050-C1.0.2.DWG PLOTTED: Thursday, July 20, 2023



### FIRE LANE DESIGNATION

ALL FIRE LANES ON THIS PLAN SHALL BE DESIGNATED IN ACCORDANCE WITH THE STRIPING PLANS, UTILIZING ONE OF THE FOLLOWING APPROVED MEANS:

- CURBS - PAINT CURB TOP AND FACE RED WITH COMMERCIAL GRADE RED TRAFFIC PAINT. ON FACE OF CURB, PAINT 4" TALL WHITE LETTERING STATING "NO PARKING - FIRE LANE" AT 25' O.C. CENTERED ON FACE.
- PAVING - PAINT 6" WIDE RED STRIPE ON PAVEMENT WITH COMMERCIAL GRADE RED TRAFFIC PAINT. CENTERED IN STRIPE, PAINT 4" TALL WHITE LETTERING STATING "NO PARKING - FIRE LANE" AT 25' O.C.
- SIGNAGE - POSTING OF SIGNS COMPLIANT WITH CFC 2016, APPENDIX D103.6 EVERY 50 FEET.

EXCEPTIONS:

- STREETS 20' WIDE TO 26' WIDE SHALL BE MARKED ON BOTH SIDES AS STATED ABOVE.
- STREETS GREATER THAN 26' WIDE NEED ONLY MARKING ON ONE SIDE AS STATED ABOVE.
- EDGES OF FIRE LANES AT PARKING DO NOT REQUIRE DESIGNATION.

SEE STRIPING PLAN FOR ACTUAL REQUIRED STRIPING.

### KNOX NOTES

ALL GATES WHICH CROSS THE FIRE LANE AS DESIGNATED BY THIS PLAN SHALL BE OUTFITTED WITH A LOW LEVEL KNOX LOCK.

ALL FIRE CONTROL ROOMS FOR THIS PROJECT SHALL BE OUTFITTED WITH A HIGH LEVEL KNOX BOX AT A LOCATION WHICH IS APPROVED BY THE SACRAMENTO METROPOLITAN FIRE DISTRICT INSPECTOR.

### PAVEMENT NOTES

FIRE ACCESS ROADWAYS SHALL BE BUILT TO BEAR A MINIMUM OF 75,000 POUNDS IN ACCORDANCE WITH CFC 2016, APPENDIX D.

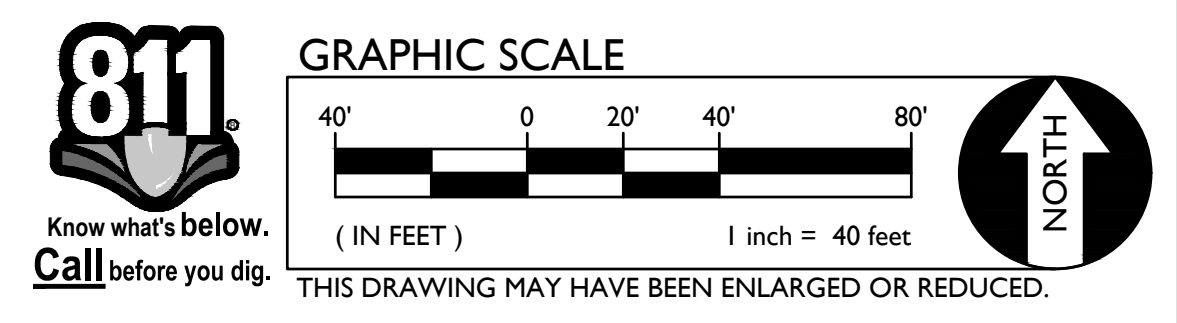
### TYPICAL FIRE LANE

CLEAR WIDTH 20 FEET  
 CLEAR HEIGHT 13.5 FEET  
 INSIDE RADIUS 25 FEET MIN.  
 OUTSIDE RADIUS 50 FEET MIN.

**NOTE:**  
 All new and existing fire lanes are asphalt or concrete paved unless otherwise stated.

**1 SITE ACCESS PLAN**

SCALE 1" = 40'-0"



**810**

**FIRE & LIFE SAFETY SITE CONDITIONS SUBMITTAL**

Division of the State Architect (DSA) documents referenced within this publication are available on the DSA Forms or DSA Publications webpages.

To facilitate the Division of the State Architect's (DSA) fire and life safety plan review of project site conditions, DSA requires the design professional to provide the following information at time of project submittal for projects consisting of construction of a new campus, construction of new building(s), additions to existing buildings, and for site alternate design means for fire department emergency vehicle access, and fire suppression water supply. Information associated with compliance items 1 through 3 below is to be provided for all project types indicated above. Information associated with items 4 through 7 is to be completed when an alternate means is utilized. Acknowledgement by the school district and signature from the Local Fire Authority (LFA) is only required when an alternate design means is being requested.

The Project Information and Fire & Life Safety Information sections are to be completed for all projects and imaged onto the fire access site plan. When an alternate design/means is proposed, all sections on pages 1 and 2 are to be completed and imaged on the fire access site plan.

For additional information refer to the instructions at the end of this form and DSA Policy PL 09-01: Fire Flow for Buildings.

PROJECT INFORMATION			
School District/Owner:	SACRAMENTO CITY UNIFIED SCHOOL DISTRICT		
Project Name/School:	ISADOR COHEN ELEMENTARY SCHOOL		
Project Address:	9025 SALMON FALLS ROAD, SACRAMENTO, CA 95826		
FIRE & LIFE SAFETY INFORMATION			
1. Has a fire hydrant flow test been performed within the past 12 months? (If yes, provide a copy of the test data.)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
2. Was the fire hydrant water flow test performed as part of this LFA review?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
3. Is the project located within a designated fire hazard severity zone (FHSZ) as established by Cal-Fire? (If yes, indicate FHSZ classification below.)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Refer to the following website for FHSZ locations: <a href="http://eqis.fire.ca.gov/FHSZ/">http://eqis.fire.ca.gov/FHSZ/</a>	Moderate <input type="checkbox"/>	High <input type="checkbox"/>	Very High <input type="checkbox"/>
Wildland Interface Area (WIFA) (If any designations are checked, project design must meet the requirements of CBC Chapter 7A.)			WIFA <input type="checkbox"/>

DSA 810  
**FIRE & LIFE SAFETY SITE CONDITIONS SUBMITTAL**

CONDITION MEANS AND METHODS RESOLUTION	ALTERNATE ACCEPTED			
	Yes	No	N/A	N/R
4. Emergency vehicle access roadways do not meet CFC requirements.			<input checked="" type="checkbox"/>	
4a. <b>Acceptable Alternate:</b> Emergency vehicle and personnel access as proposed by the project architect is acceptable for providing fire suppression and protection of life and property.	<input type="checkbox"/>	<input type="checkbox"/>		
5. Fire Hydrants: Number and spacing does not meet CFC requirements.			<input checked="" type="checkbox"/>	
5a. <b>Acceptable Alternate:</b> Number of fire hydrants and spacing as proposed by the project architect is acceptable for fire suppression and protection of life and property.	<input type="checkbox"/>	<input type="checkbox"/>		
6. Fire Hydrants: Water flow and pressure are less than CFC minimum.			<input checked="" type="checkbox"/>	
6a. <b>Acceptable Alternate:</b> The available flow and pressure is acceptable for providing fire suppression and protection of life and property.	<input type="checkbox"/>	<input type="checkbox"/>		
7. Location of fire department connection(s) serving fire sprinkler systems or standpipe systems does not meet CFC requirements.			<input checked="" type="checkbox"/>	
7a. <b>Acceptable Alternate:</b> The location of fire department connection serving the fire sprinkler system and/or standpipe system is acceptable for providing fire suppression and protection of life and property.	<input type="checkbox"/>	<input type="checkbox"/>		

**School District Acceptance of Acceptable Design Alternates**  
 By signing this form, the school district acknowledges and accepts the proposed design as an alternative to California Building Code (CBC) and California Fire Code (CFC) minimum requirements, as indicated by one or more of the conditions indicated at items 4a, 5a, 6a or 7a, for providing fire and life safety protection of life and property.

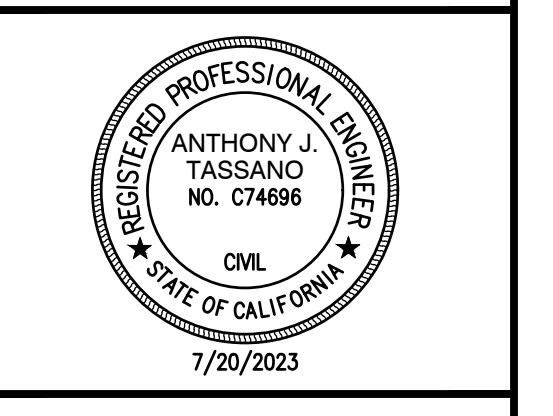
Accepted by: N/A - NO VARIANCE PROPOSED Title: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

LOCAL FIRE AUTHORITY (LFA) INFORMATION	
LFA Agency Name:	Sacramento Metro Fire
LFA Review Official:	Janea Smith
Title:	Code Enforcement Supervisor
Work Phone:	(916) 859-4319
Work Email:	smith.jenea@metrofire.ca.gov
LFA Reviewer's Signature:	_____
Date:	_____

WARREN CONSULTING ENGINEERS, INC.  
 1117 WINDFIELD WAY, SUITE 110  
 EL DORADO HILLS, CA 95762 | (916) 985-1870



Sacramento City Unified School District  
 5735 47th Avenue  
 Sacramento, CA 95824-4528



Isador Cohen Elementary School  
 2023 Fencing  
 9025 Salmon Falls Drive  
 Sacramento, CA 95826

REVISIONS	
NO.	DESCRIPTION

DRAWN: SMN SCALE: AS NOTED  
 CHECKED: AT PROJECT NO. 23-050  
 DESIGNED: SMN/AT DATE: 05/01/2023

SHEET TITLE:  
**FIRE ACCESS PLAN**

SHEET NO.  
**C1.0.2**

**CAL-GREEN - Waste Diversion:**

5.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3; or meet a local construction and demolition waste management ordinance, whichever is more stringent.

5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance that is more stringent, submit a construction waste management plan that:

1. Contractor shall identify the construction and demolition waste materials to be diverted from disposal, to comply with 65% criteria listed above, by efficient usage, recycling, reuse on the project or salvage for future use or sale.
2. Contractor shall determine if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream). Either method is the responsibility of the contractor.
3. Contractor shall identify diversion facilities where construction and demolition waste material collected will be taken. Transport to such facilities is contractor's responsibility.
4. Contractor shall record and provide record of the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

5.408.1.2 Waste management company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section.

Contractor shall make the determination if the construction and demolition waste material will be diverted by a waste management company. Contractor shall make any and all arrangements with waste management company for pickup of materials.

- Exceptions to Sections 5.408.1.1 and 5.408.1.2:**
1. Excavated soil and land-clearing debris.
  2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist.
  3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets.

5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65 percent minimum requirement as approved by the enforcing agency.

**CAL-GREEN - Waste Diversion Documentation Required:**

(Ref Calgreen 5.408.1.4)  
Contractor shall prepare and provide documentation to the enforcing agency which demonstrates compliance with Calgreen Sections 5.408.1.1 through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.

- Notes:**
1. Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" located at <http://www.bsc.ca.gov/Home/CALGreen.aspx> may be used to assist in documenting compliance with the waste management plan.
  2. Mixed construction and demolition debris (C&D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

**CAL-GREEN - Excavated Soil & Land Clearing:**

5.408.3 Excavated soil and land clearing debris. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.

**Exception:** Reuse, either on- or off-site, of vegetation or soil contaminated by disease or pest infestation.

- Notes:**
1. If contamination by disease or pest infestation is suspected, contact the County Agricultural Commissioner and follow its direction for recycling or disposal of the material. ([www.cdffa.ca.gov/extension/county\\_contacts.html](http://www.cdffa.ca.gov/extension/county_contacts.html))
  2. For a map of known pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. ([www.cdffa.ca.gov](http://www.cdffa.ca.gov))

**Concrete Sawcut Note:**

SAWCUTS AND SUBSEQUENT PATCH BACK OF CONCRETE WALKS, SHALL BE TO THE EXISTING CONCRETE JOINT BEYOND NEAREST THE LOCATION OF DEMOLITION AS SHOWN. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE, SHOW AND COORDINATE WITH EXISTING JOINTS, HOWEVER IF FIELD CONDITIONS ARE OTHERWISE, IT IS UNDERSTOOD TO REMOVE AND PATCH BACK TO THE NEAREST JOINTS BEYOND DEMOLITION.

**Dust Control:**

CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES AT ALL TIMES WHEN A SITE CONSTRUCTION ACTIVITY MAY GENERATE AIRBORNE DUST, INCLUDING BUT NOT LIMITED TO, APPLICATION OF WATER, HAUL TRUCK COVERS, STOCKPILE COVERS, STRAW/MULCH, APPROVED SOIL STABILIZATION CHEMICALS/STACKIFIERS, RETAINED VEGETATION, HYDROSEED, ETC. REFER TO CONTRACTORS SWPPP, PROJECT SPECIFICATION SECTION 31 10 00, 1.06.

**Utility Verification Note:**

PRIOR TO THE START OF CONSTRUCTION, VERIFY AND POTHOLE ALL UTILITY POINTS OF CONNECTION FOR LOCATION, DEPTH, AND SIZE. IF CONFLICT IS FOUND, CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION.

**DEMOLITION GENERAL NOTES**

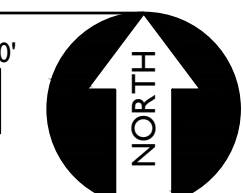
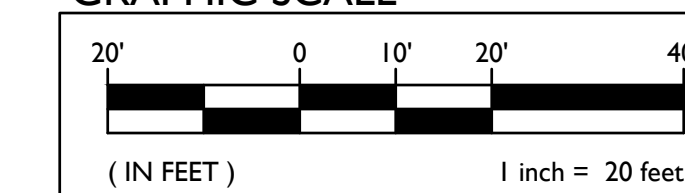
1. IN THE EVENT THAT ANY UNUSUAL CONDITIONS NOT COVERED BY THE GEOTECHNICAL INVESTIGATION REPORT OR ARE ENCOUNTERED DURING GRADING OPERATIONS THE GEOTECHNICAL ENGINEER AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTIONS.
2. NO BURNING OR BLASTING SHALL BE PERMITTED.
3. ADDITIONAL DEMOLITION INFORMATION MAY BE SHOWN ON THE GRADING, DRAINAGE, AND UTILITY PLANS, AND THOSE PLANS PREPARED BY OTHER DISCIPLINES FOR THIS PROJECT.
4. ALL DEMOLISHED ITEMS SHALL BE DISPOSED OF OFFSITE AT A SUITABLE, LEGAL, DUMP SITE OR OTHER FACILITY.
5. ALL DISPOSED OF MATERIALS SHALL BE RECYCLED IF POSSIBLE.
6. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN IN THESE PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, WARREN CONSULTING ENGINEERS CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR OR ANY SUBCONTRACTOR, FOR THIS CONTRACT SHALL NOTIFY THE DISTRICT TWO (2) WORKING DAYS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK IN ORDER TO VERIFY TO THE GREATEST EXTENT POSSIBLE THE EXISTING UTILITY LINES, CONFLICTS AND PROPOSED UTILITY CONNECTION POINTS.
7. THE SCHOOL DISTRICT SHALL HAVE SALVAGE RIGHTS TO ANY DEMOLISHED ITEMS SHOWN HEREON. THE CONTRACTOR SHALL GIVE THE DISTRICT NOTICE 7 DAYS PRIOR TO THE START OF DEMOLITION. THE DISTRICT SHALL MOVE ANY RETAINED ITEMS OUT OF THE CONTRACTORS WORK AREA, UNLESS ANOTHER ARRANGEMENT IS MADE WITH THE CONTRACTOR. ANY REMAINING ITEMS BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. ANY ITEMS NOT SHOWN FOR REMOVAL SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION TO A REASONABLE EXTENT. EXISTING UTILITY STRUCTURES IN AREAS OF NEW PAVING SHALL BE REMOVED AND REINSTALLED AT NEW GRADE UNLESS SPECIFICALLY NOTED OTHERWISE.
9. ITEMS OUTSIDE THE LIMITS OF DEMOLITION SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
10. CONTRACTOR SHALL COMPLY WITH CHAPTER 33 OF THE 2019 CFC, "FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION" AT ALL TIMES DURING CONSTRUCTION.
11. CONTRACTOR SHALL HIRE A UTILITY LOCATING COMPANY AND SHALL SCAN THE ENTIRE AREA WITHIN THE LIMITS OF NEW WORK. ALL UTILITIES LOCATED SHALL BE MARKED AND PROTECTED DURING THE LIVING OPERATIONS AS WELL AS ANY EXCAVATING TASKS. ANY LOCATED UTILITY DAMAGED WITHIN THE LIMITS OF WORK WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR.
12. ALL DEMOLITION SHALL BE APPROPRIATELY SUPPORTED AND REINFORCED DURING REMOVAL TO PREVENT INJURY FROM FALLING, PROJECTILE, OR OTHERWISE MOVING DEBRIS OR OTHER DELETERIOUS MATERIAL. ONSITE SAFETY WITHIN THE LIMITS OF WORK IS THE CONTRACTORS SOLE RESPONSIBILITY.

**DEMOLITION NOTES**

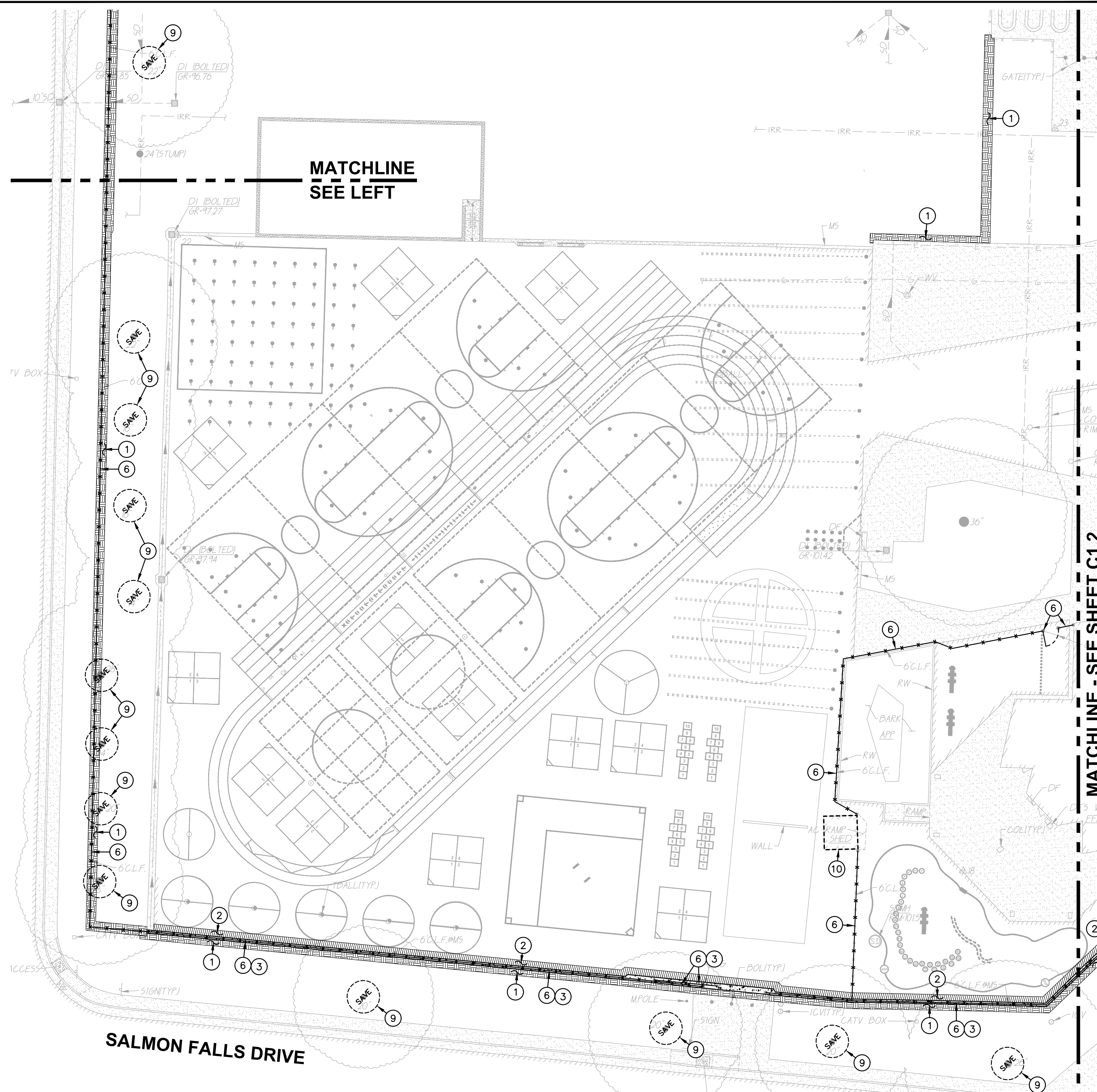
NOTE: NOT ALL NOTES MAY BE USED ON THIS SHEET.

- LEGEND**
- | AND/OR | DEMOLITION NOTES   |
|--------|--|
|        | 1. REMOVE ALL PLANTS, SHRUBS, EXISTING VEGETATION, AND IRRIGATION SYSTEMS. REFER TO EARTHWORK SPECIFICATIONS FOR ADDITIONAL SITE CLEARING REQUIREMENTS. SEE GENERAL IRRIGATION NOTE, THIS SHEET.   |
|        | 2. REMOVE EXISTING ASPHALT PAVING AND BASE TO ALLOW FOR NEW WORK. AC MAY BE GRINDED AND BLENDED WITH EXISTING BASE, EXCAVATED AND USED AS FILL, REFER TO EARTHWORK SPECIFICATIONS.   |
|        | 3. REMOVE EXISTING CONCRETE PAVING AND BASE ROCK. WHEN SAWCUTS ARE NECESSARY, THEY SHALL BE A NEAT STRAIGHT LINE. CUT SHALL BE MADE AT NEAREST EXISTING JOINT TO LOCATION SHOWN.   |
|        | 4. REMOVE EXISTING CONCRETE CURB, MOWBAND, APRON OR GUTTER AS SHOWN.   |
|        | 5. SAWCUT EXISTING GATE POST TO GRADE. GRIND FLUSH SO NO LIP IS PRESENT. FILL WITH MORTAR TO FLUSH WITH GRADE AND TOOL SMOOTH.   |
|        | 6. REMOVE EXISTING CHAIN LINK FENCING AND GATES AS SHOWN. REMOVE POST TO INCLUDE CONCRETE FOOTINGS. REPAIR FINISHED SURFACES. PATCH AC AND CONCRETE PER SPECS.   |
|        | 7. EXISTING DRAIN INLET TO REMAIN.   |
|        | 8. REMOVE EXISTING TREE AND ROOTS. IF SMALL ROOTS OR ROOT FRAGMENTS REMAIN (>1/2" IN DIA.), CONTRACTOR TO REMOVE BY HAND IF NECESSARY. BACKFILL VOID PER GRADING SPECIFICATIONS. IT IS HIGHLY RECOMMENDED WET AND DRY UTILITIES BE READY TO SHUTOFF SHOULD A ROOT DAMAGE A LINE DURING TREE REMOVAL. |
|        | 9. EXISTING TREE TO REMAIN AND BE PROTECTED FROM DAMAGE. PROVIDE PROTECTIVE FENCING IF NEEDED. WHEN IMMEDIATELY ADJACENT TO EQUIPMENT TRAFFIC, STRAP 2x4'S VERTICALLY AT 8" O.C. AROUND TRUNK, FROM 12" ABOVE GRADE TO 6' FEET ABOVE GRADE TO PROTECT TREE BARK FROM EQUIPMENT DAMAGE.               |
|        | 10. MOVE STORAGE SHED TO NEW LOCATION SHOWN, SEE GRADING AND CONSTRUCTION PLAN.  |
|        | 11. REMOVE EXISTING CHAIN LINK FENCING AND GATES AS SHOWN. CUT POST DOWN FLUSH WITH GRADE, GRINDING FLUSH IF NEEDED. SPRAY CUT SURFACES WITH GALVANIZING PAINT AND FILL POST HOLE TO GRADE WITH MORTAR.  |
|        | 12. REMOVE EXISTING DRAIN INLET/AREA DRAIN. SEE DRAINAGE PLAN.   |
|        | 13. USE CAUTION NOT TO DAMAGE EXISTING RAINWATER LEADER.   |
|        | 14. SAWCUT MONOLITHIC CURB AND WALK 6" BACK FROM TOP FACE OF CURB TO ALLOW CURB TO REMAIN BUT WALKWAY TO BE REMOVED.   |

**GRAPHIC SCALE**

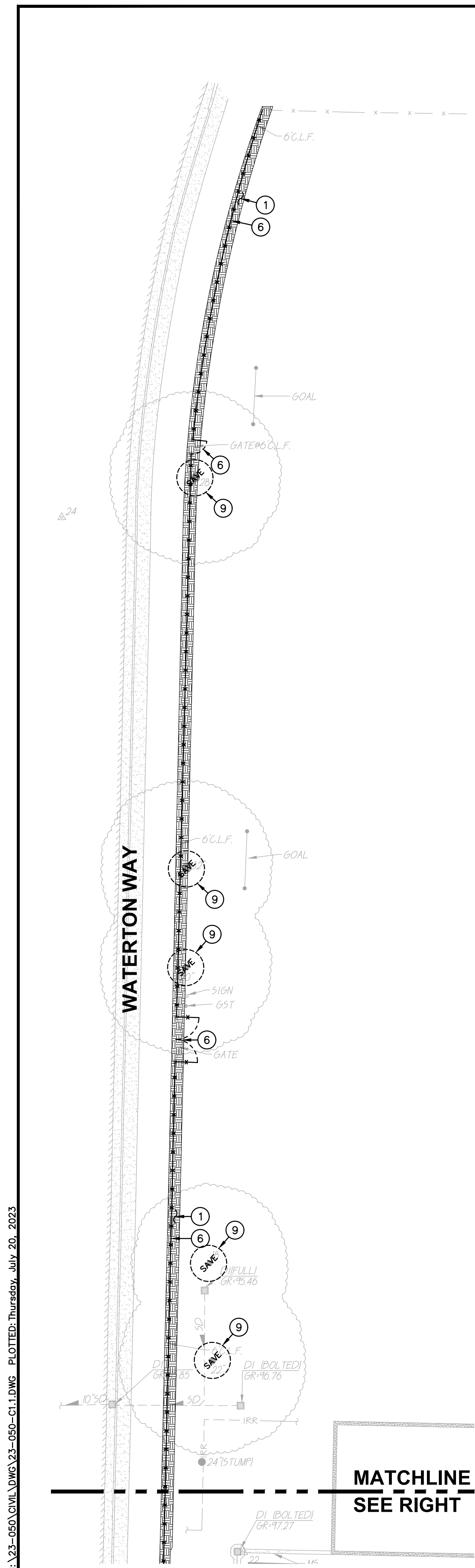


THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED.



**2 DEMOLITION PLAN**

SCALE 1" = 20'-0"



**1 DEMOLITION PLAN**

SCALE 1" = 20'-0"

FILENAME: I:\25-050-Civil\DWG\23-050-C1.1.DWG PLOTTED: Thursday, July 20, 2023

DSA



OWNER:  
**Sacramento City Unified School District**  
Sacramento City Unified School District  
5735 47th Avenue  
Sacramento, CA 95824-4528



**Isador Cohen Elementary School**  
2023 Fencing

9025 Salmon Falls Drive  
Sacramento, CA 95826

**REVISIONS**

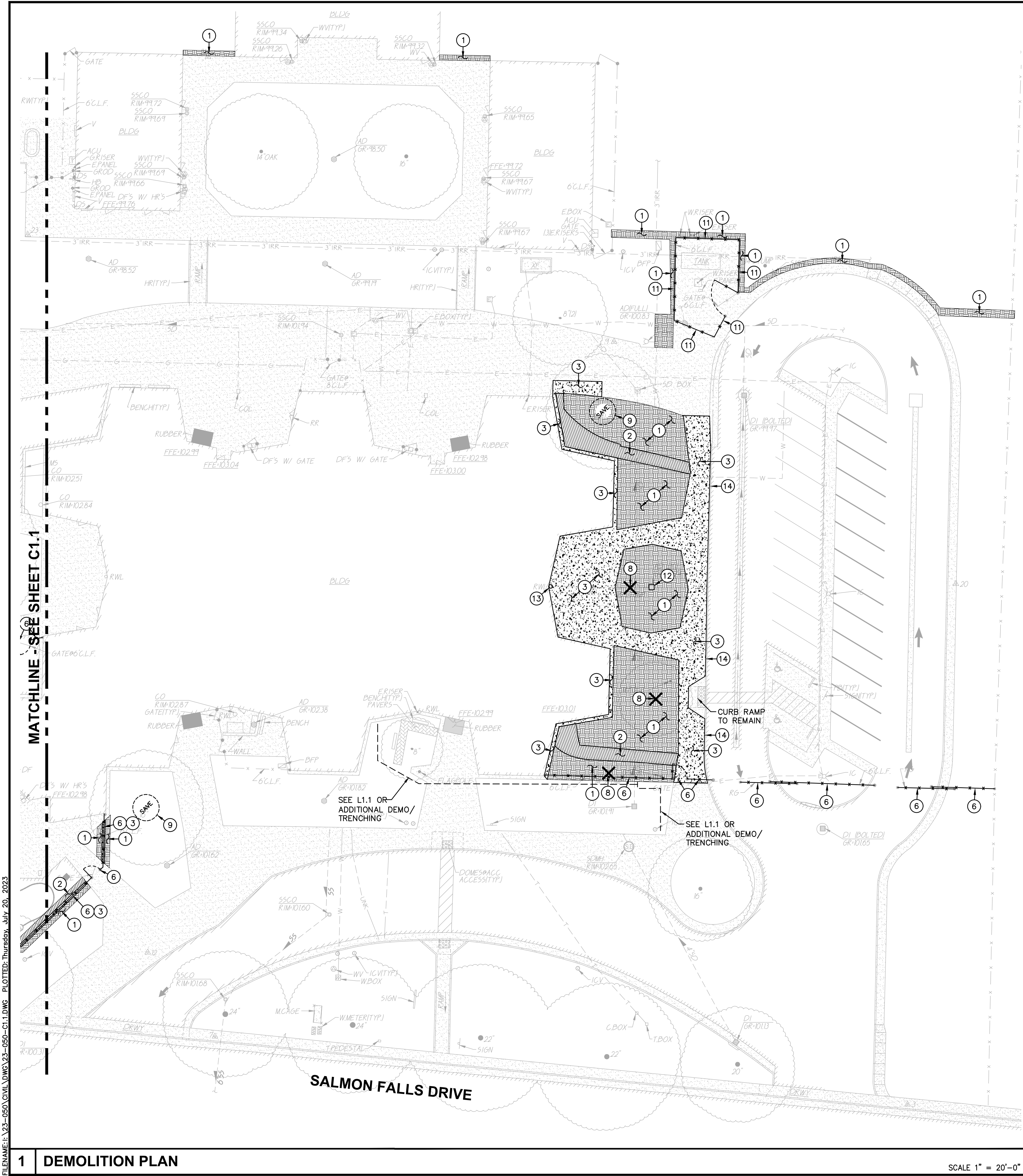
NO.	DESCRIPTION

DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023
ISSUANCE:	

**DEMOLITION PLAN**

SHEET NO.

**C1.1**



**CAL-GREEN - Waste Diversion:**

5.408.1 Construction waste management. Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with Section 5.408.1.1, 5.408.1.2 or 5.408.1.3, or meet a local construction and demolition waste management ordinance, whichever is more stringent.

5.408.1.1 Construction waste management plan. Where a local jurisdiction does not have a construction and demolition waste management ordinance that is more stringent, submit a construction waste management plan that:

1. Contractor shall identify the construction and demolition waste materials to be diverted from disposal, to comply with 65% criteria listed above, by efficient usage, recycling, reuse on the project or salvage for future use or sale.
2. Contractor shall determine if construction and demolition waste materials will be sorted on-site (source-separated) or bulk mixed (single stream). Either method is the responsibility of the contractor.
3. Contractor shall identify diversion facilities where construction and demolition waste material collected will be taken. Transport to such facilities is contractor's responsibility.
4. Contractor shall record and provide record of the amount of construction and demolition waste materials diverted shall be calculated by weight or volume, but not by both.

5.408.1.2 Waste management company. Utilize a waste management company that can provide verifiable documentation that the percentage of construction and demolition waste material diverted from the landfill complies with this section.

Contractor shall make the determination if the construction and demolition waste material will be diverted by a waste management company. Contractor shall make any and all arrangements with waste management company for pickup of materials.

**Exceptions to Sections 5.408.1.1 and 5.408.1.2:**

1. Excavated soil and land-clearing debris.
2. Alternate waste reduction methods developed by working with local agencies if diversion or recycle facilities capable of compliance with this item do not exist.
3. Demolition waste meeting local ordinance or calculated in consideration of local recycling facilities and markets.

5.408.1.3 Waste stream reduction alternative. The combined weight of new construction disposal that does not exceed two pounds per square foot of building area may be deemed to meet the 65 percent minimum requirement as approved by the enforcing agency.

**CAL-GREEN - Waste Diversion Documentation Required:**

(Ref Calgreen 5.408.1.4)  
Contractor shall prepare and provide documentation to the enforcing agency which demonstrates compliance with Calgreen Sections 5.408.1.1 through 5.408.1.3. The waste management plan shall be updated as necessary and shall be accessible during construction for examination by the enforcing agency.

**Notes:**

1. Sample forms found in "A Guide to the California Green Building Standards Code (Nonresidential)" located at <http://www.bsc.ca.gov/Home/CALGreen.aspx> may be used to assist in documenting compliance with the waste management plan.
2. Mixed construction and demolition debris (C&D) processors can be located at the California Department of Resources Recycling and Recovery (CalRecycle).

**CAL-GREEN - Excavated Soil & Land Clearing:**

5.408.3 Excavated soil and land clearing debris. 100 percent of trees, stumps, rocks and associated vegetation and soils resulting primarily from land clearing shall be reused or recycled. For a phased project, such material may be stockpiled on site until the storage site is developed.

**Exception:** Reuse, either on- or off-site, of vegetation or soil contaminated by disease or pest infestation.

**Notes:**

1. If contamination by disease or pest infestation is suspected, contact the County Agricultural Commissioner and follow its direction for recycling or disposal of the material. ([www.cdffa.ca.gov/exe/co/county\\_contacts.html](http://www.cdffa.ca.gov/exe/co/county_contacts.html))
2. For a map of known pest and/or disease quarantine zones, consult with the California Department of Food and Agriculture. ([www.cdffa.ca.gov](http://www.cdffa.ca.gov))

**Concrete Sawcut Note:**

SAWCUTS AND SUBSEQUENT PATCH BACK OF CONCRETE WALKS, SHALL BE TO THE EXISTING CONCRETE JOINT BEYOND NEAREST THE LOCATION OF DEMOLITION AS SHOWN. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE, SHOW AND COORDINATE WITH EXISTING JOINTS, HOWEVER IF FIELD CONDITIONS ARE OTHERWISE, IT IS UNDERSTOOD TO REMOVE AND PATCH BACK TO THE NEAREST JOINTS BEYOND DEMOLITION.

**Dust Control:**

CONTRACTOR SHALL PROVIDE DUST CONTROL MEASURES AT ALL TIMES WHEN A SITE CONSTRUCTION ACTIVITY MAY GENERATE AIRBORNE DUST, INCLUDING BUT NOT LIMITED TO: APPLICATION OF WATER, HAUL TRUCK COVERS, STOCKPILE COVERS, STRAW/MULCH, APPROVED SOIL STABILIZATION CHEMICALS/TACKIFIERS, RETAINED VEGETATION, HYDROSEED, ETC. REFER TO CONTRACTORS SWPPP, PROJECT SPECIFICATION SECTION 31 10 00, 1.06.

**Utility Verification Note:**

PRIOR TO THE START OF CONSTRUCTION, VERIFY AND POTHOLE ALL UTILITY POINTS OF CONNECTION FOR LOCATION, DEPTH, AND SIZE. IF CONFLICT IS FOUND, CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION.

**DEMOLITION GENERAL NOTES**

1. IN THE EVENT THAT ANY UNUSUAL CONDITIONS NOT COVERED BY THE GEOTECHNICAL INVESTIGATION REPORT OR ARE ENCOUNTERED DURING GRADING OPERATIONS THE GEOTECHNICAL ENGINEER AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTIONS. NO BURNING OR BLASTING SHALL BE PERMITTED.
2. ADDITIONAL DEMOLITION INFORMATION MAY BE SHOWN ON THE GRADING, DRAINAGE, AND UTILITY PLANS, AND THOSE PLANS PREPARED BY OTHER DISCIPLINES FOR THIS PROJECT. ALL DEMOLISHED ITEMS SHALL BE DISPOSED OFFSITE AT A SUITABLE, LEGAL, DUMP SITE OR OTHER FACILITY.
3. ALL DISPOSED OF MATERIALS SHALL BE RECYCLED IF POSSIBLE.
4. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN IN THESE PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES, HOWEVER, WARREN CONSULTING ENGINEERS CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY THE DISTRICT TWO (2) WORKING DAYS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK IN ORDER TO VERIFY TO THE GREATEST EXTENT POSSIBLE THE EXISTING UTILITY LINES, CONFLICTS AND PROPOSED UTILITY CONNECTION POINTS.
5. THE SCHOOL DISTRICT SHALL HAVE SALVAGE RIGHTS TO ANY DEMOLISHED ITEMS SHOWN HEREON. THE CONTRACTOR SHALL GIVE THE DISTRICT NOTICE 7 DAYS PRIOR TO THE START OF DEMOLITION. THE DISTRICT SHALL MOVE ANY RETAINED ITEMS OUT OF THE CONTRACTORS WORK AREA, UNLESS ANOTHER ARRANGEMENT IS MADE WITH THE CONTRACTOR. ANY REMAINING ITEMS BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. ANY ITEMS NOT SHOWN FOR REMOVAL SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION TO A REASONABLE EXTENT.
6. EXISTING UTILITY STRUCTURES IN AREAS OF NEW PAVING SHALL BE REMOVED AND REINSTALLED AT NEW GRADE UNLESS SPECIFICALLY NOTED OTHERWISE.
7. ITEMS OUTSIDE THE LIMITS OF DEMOLITION SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
8. CONTRACTOR SHALL COMPLY WITH CHAPTER 33 OF THE 2019 CFC, "FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION" AT ALL TIMES DURING CONSTRUCTION.
9. CONTRACTOR SHALL HIRE A UTILITY LOCATING COMPANY AND SHALL SCAN THE ENTIRE AREA WITHIN THE LIMITS OF NEW WORK. ALL UTILITIES LOCATED SHALL BE MARKED AND PROTECTED DURING THE LIMITING OPERATIONS AS WELL AS ANY EXCAVATING TASKS. ANY LOCATED UTILITY DAMAGED WITHIN THE LIMITS OF WORK WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR.
10. ALL DEMOLITION SHALL BE APPROPRIATELY SUPPORTED AND REINFORCED DURING REMOVAL TO PREVENT INJURY FROM FALLING, PROJECTILE, OR OTHERWISE MOVING DEBRIS OR OTHER DELETERIOUS MATERIAL. ON-SITE SAFETY WITHIN THE LIMITS OF WORK IS THE CONTRACTORS SOLE RESPONSIBILITY.

**DEMOLITION NOTES**

NOTE: NOT ALL NOTES MAY BE USED ON THIS SHEET.

- | LEGEND | AND/OR DEMOLITION NOTES  |
|--------|--|
|        | 1. REMOVE ALL PLANTS, SHRUBS, EXISTING VEGETATION, AND IRRIGATION SYSTEMS. REFER TO EARTHWORK SPECIFICATIONS FOR ADDITIONAL SITE CLEARING REQUIREMENTS. SEE GENERAL IRRIGATION NOTE, THIS SHEET.   |
|        | 2. REMOVE EXISTING ASPHALT PAVING AND BASE TO ALLOW FOR NEW WORK. AC MAY BE GRINDED AND BLENDED WITH EXISTING BASE, EXCAVATED AND USED AS FILL, REFER TO EARTHWORK SPECIFICATIONS.   |
|        | 3. REMOVE EXISTING CONCRETE PAVING AND BASE ROCK, WHERE SAWCUTS ARE NECESSARY, THEY SHALL BE NEAT STRAIGHT LINE. CUT SHALL BE MADE AT NEAREST EXISTING JOINT TO LOCATION SHOWN.  |
|        | 4. REMOVE EXISTING CONCRETE CURB, MOWBAND, APRON OR GUTTER AS SHOWN.   |
|        | 5. SAWCUT EXISTING GATE POST TO GRADE. GRIND FLUSH SO NO LIP IS PRESENT. FILL WITH MORTAR TO FLUSH WITH GRADE AND TOOL SMOOTH.   |
|        | 6. REMOVE EXISTING CHAIN LINK FENCING AND GATES AS SHOWN. REMOVE POST TO INCLUDE CONCRETE FOOTINGS. REPAIR FINISHED SURFACES. PATCH AC AND CONCRETE PER SPECS.   |
|        | 7. EXISTING DRAIN INLET TO REMAIN.   |
|        | 8. REMOVE EXISTING TREE AND ROOTS. IF SMALL ROOTS OR ROOT FRAGMENTS REMAIN (>1/2" IN DIA.), CONTRACTOR TO REMOVE BY HAND IF NECESSARY. BACKFILL VOID PER GRADING SPECIFICATIONS. IT IS HIGHLY RECOMMENDED WET AND DRY UTILITIES BE READY TO SHUTOFF SHOULD A ROOT DAMAGE A LINE DURING TREE REMOVAL. |
|        | 9. EXISTING TREE TO REMAIN AND BE PROTECTED FROM DAMAGE. PROVIDE PROTECTIVE FENCING IF NEEDED, WHEN IMMEDIATELY ADJACENT TO EQUIPMENT TRAFFIC, STRAP 2x4'S VERTICALLY AT 8' O.C. AROUND TRUNK, FROM 12" ABOVE GRADE TO 6' FEET ABOVE GRADE TO PROTECT TREE BARK FROM EQUIPMENT DAMAGE.               |
|        | 10. MOVE STORAGE SHED TO NEW LOCATION SHOWN, SEE GRADING AND CONSTRUCTION PLAN.  |
|        | 11. REMOVE EXISTING CHAIN LINK FENCING AND GATES AS SHOWN. CUT POST DOWN FLUSH WITH GRADE, GRINDING FLUSH IF NEEDED. SPRAY CUT SURFACES WITH GALVANIZING PAINT AND FILL POST HOLE TO GRADE WITH MORTAR.  |
|        | 12. REMOVE EXISTING DRAIN INLET/AREA DRAIN. SEE DRAINAGE PLAN.   |
|        | 13. USE CAUTION NOT TO DAMAGE EXISTING RAINWATER LEADER.   |
|        | 14. SAWCUT MONOLITHIC CURB AND WALK 6" BACK FROM TOP FACE OF CURB TO ALLOW CURB TO REMAIN BUT WALKWAY TO BE REMOVED.   |

**GRAPHIC SCALE**

THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED.

**811**  
Know what's below.  
Call before you dig.

DSA



OWNER:  
**Sacramento City Unified School District**  
Sacramento City Unified School District  
5735 47th Avenue  
Sacramento, CA 95824-4528



**Isador Cohen Elementary School 2023 Fencing**  
9025 Salmon Falls Drive  
Sacramento, CA 95826

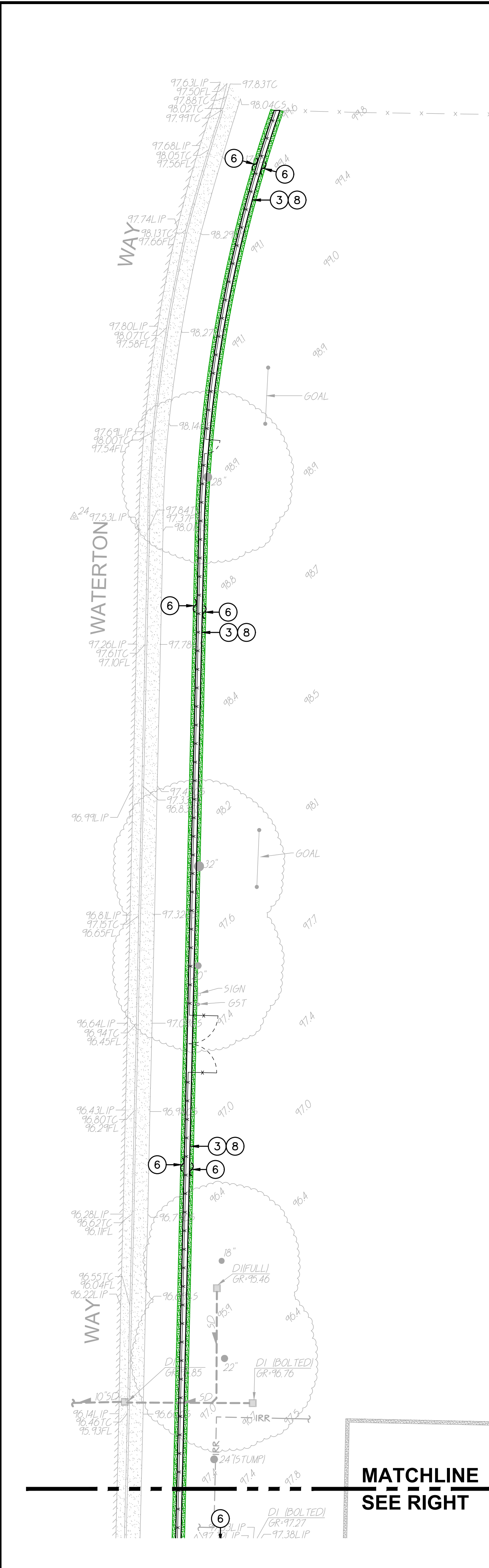
REVISIONS	
NO.	DESCRIPTION

DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023
ISSUANCE:	

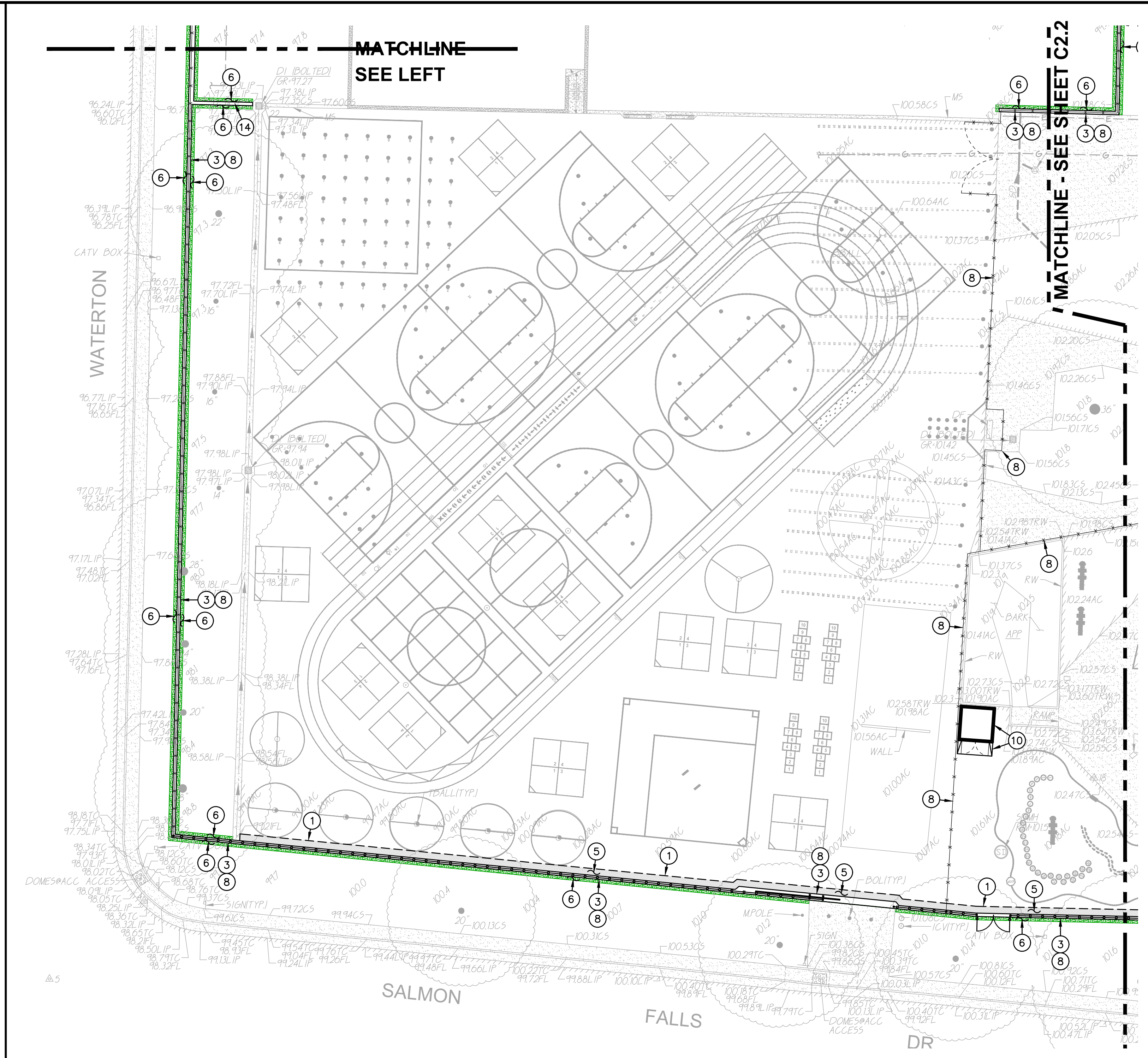
SHEET TITLE:  
**DEMOLITION PLAN**

SHEET NO.  
**C1.2**

FILENAME: I:\23-050\CIVIL\DWG\23-050-C2.1.DWG PLOTTED: Thursday, July 20, 2023



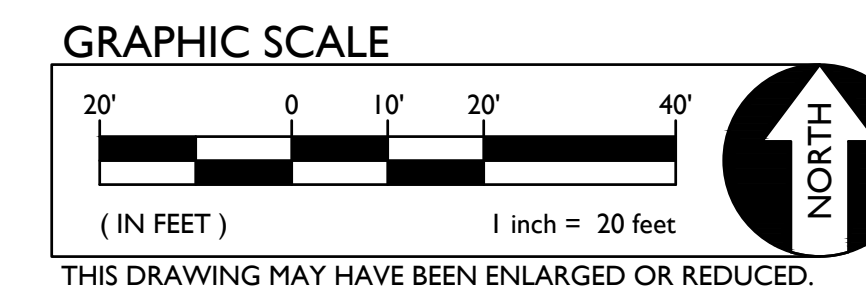
**1 CONSTRUCTION PLAN** SCALE 1" = 20'-0"



**2 CONSTRUCTION PLAN** SCALE 1" = 20'-0"

**LEGEND**

- CONSTRUCTION NOTES**  
NOT ALL NOTES MAY BE USED ON THIS SHEET
- MATCH EXISTING GRADE/ELEVATION. WHEN MATCHING NEW SLABS TO EXISTING, DOWEL SLABS PER THE DETAIL PROVIDED AT 24" O.C. (1) C4.1
  - PLACE 5" CONCRETE PAVING WITH #4 REBAR AT 24" O.C.E.W. OVER 6" CLASS II AB ON COMPACTED SUBGRADE PER THE TYPICAL DETAILS PROVIDED. REFER TO PAVING PLAN FOR SECTIONS. REFER TO SPECIFICATIONS SECTION 31 00 00 FOR SUBGRADE PREPARATION, SECTION 32 16 00 FOR CONCRETE PAVING. (2) C4.1
  - CONSTRUCT CONCRETE FENCE APRON PER THE DETAIL PROVIDED. (3) C4.1
  - CONSTRUCT 24" WIDE CONCRETE APRON AT NEW ROLLING GATE PER THE DETAIL PROVIDED. SEE FENCING PLAN FOR NEW GATE. (4) C4.1
  - PLACE 3" AC PAVING OVER 12" CLASS II AB ON COMPACTED SUBGRADE, OR MATCH EXISTING SECTION, WHICHEVER IS GREATER. REFER TO SPECIFICATIONS SECTION 32 16 00 FOR MATERIALS AND CONSTRUCTION. REFER TO SECTION 31 00 00 FOR SUBGRADE PREPARATION. (5) C4.1
  - PATCH AND REPAIR EXISTING LANDSCAPING AND IRRIGATION ALONG EDGE OF NEW WORK. RELOCATE AND ADJUST EXISTING HEADS AS NEEDED TO MAINTAIN COVERAGE. REPLACE ALL BROKEN HEADS RELOCATED. TAPER ALL GRADING AWAY FROM NEW CURBS AND APRONS AND SET GRADES BELOW APRONS, CURBS AND WALKS TO ALLOW FOR LAWN AND OTHER PLANTING PATCH BACK PER THE DETAILS PROVIDED. PROVIDE NEW SOD IN DISTURBED LAWN AREAS. (6) C4.1
  - CONSTRUCT 12" WIDE CONCRETE SEATWALL WITH CAST-IN SKATE DETERRENTS PER THE DETAILS PROVIDED. (7) C4.1
  - SEE FENCING PLAN FOR NEW FENCING AND GATES. (8) C4.1
  - MATCH NEW CONCRETE FLATWORK ELEVATION TO DOORWAY THRESHOLD PER THE ARCHITECTURAL THRESHOLD DETAILS. LANDING EACH SIDE OF DOOR SHALL BE LEVEL WITH THRESHOLD TRANSITION NOT EXCEEDING 1/4", OR 1/2" WITH APPROPRIATE TAPER PER 11B-303. SEE INCREMENT 2 ARCH. PLAN AD-302. (9) C4.1
  - RELOCATED SHED LOCATION. PAVE SURFACE APPLIED TOPEKA AC ACCESS TO MATCH EXISTING CONDITIONS. (10) C4.1
  - CONSTRUCT DEEP SLAB EDGE WITH FENCING PER THE DETAIL PROVIDED. (11) C4.1
  - SEE LANDSCAPE PLAN FOR NEW PLANTING. (12) C4.1
  - PROVIDE AND INSTALL 8' LONG BENCH PER THE DETAIL PROVIDED AND DISTRICT STANDARD SPECIFICATIONS. (13) C4.1
  - CONSTRUCT 12" WIDE CONCRETE APRON (NO FENCE) PER THE DETAIL PROVIDED. (14) C4.1



DSA



OWNER:  
**Sacramento City Unified School District**  
Sacramento City Unified School District  
5735 47th Avenue  
Sacramento, CA 95824-4528



**Isador Cohen Elementary School 2023 Fencing**  
9025 Salmon Falls Drive  
Sacramento, CA 95826

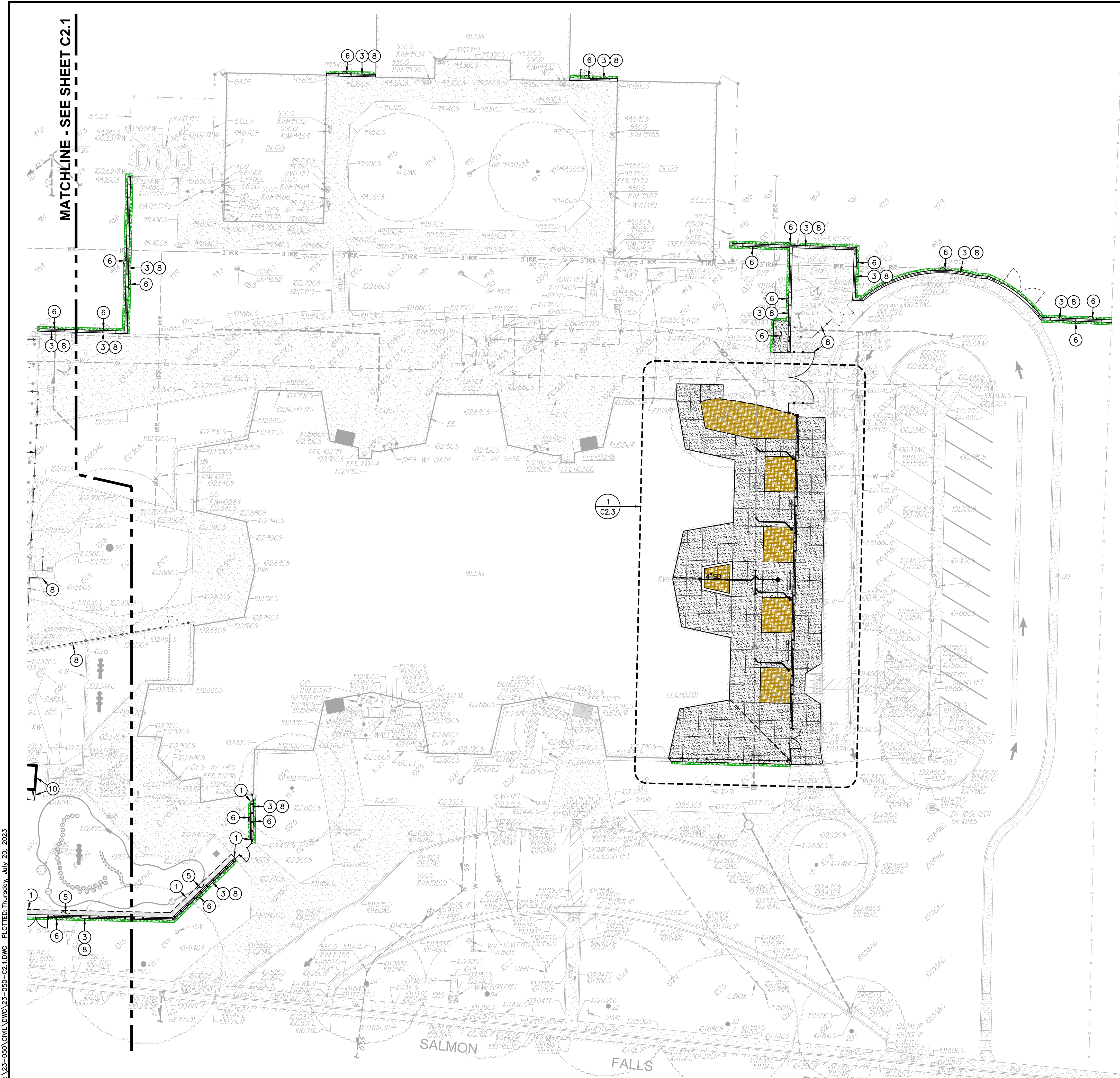
REVISIONS	
NO.	DESCRIPTION

DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023
ISSUANCE:	

SHEET TITLE:  
**GRADING PLAN**

SHEET NO.  
**C2.1**





- LEGEND**
- ① CONSTRUCTION NOTES
  - NOT ALL NOTES MAY BE USED ON THIS SHEET
1. MATCH EXISTING GRADE/ELEVATION. WHEN MATCHING NEW SLABS TO EXISTING, DOWEL SLABS PER THE DETAIL PROVIDED AT 24" O.C. ①  
C4.1
  2. PLACE 5" CONCRETE PAVING WITH #4 REBAR AT 24" O.C.E.W. OVER 6" CLASS II AB ON COMPACTED SUBGRADE PER THE TYPICAL DETAILS PROVIDED. REFER TO PAVING PLAN FOR SECTIONS. REFER TO SPECIFICATIONS SECTION 31 00 00 FOR SUBGRADE PREPARATION, SECTION 32 16 00 FOR CONCRETE PAVING. ②  
C4.1  
⑤  
C4.1
  3. CONSTRUCT CONCRETE FENCE APRON PER THE DETAIL PROVIDED. ④  
C4.1
  4. CONSTRUCT 24" WIDE CONCRETE APRON AT NEW ROLLING GATE PER THE DETAIL PROVIDED. SEE FENCING PLAN FOR NEW GATE. ⑦  
C4.1
  5. PLACE 3" AC PAVING OVER 12" CLASS II AB ON COMPACTED SUBGRADE, OR MATCH EXISTING SECTION, WHICHEVER IS GREATER. REFER TO SPECIFICATIONS SECTION 32 12 16 FOR MATERIALS AND CONSTRUCTION. REFER TO SECTION 31 00 00 FOR SUBGRADE PREPARATION. ②  
C4.1
  6. PATCH AND REPAIR EXISTING LANDSCAPING AND IRRIGATION ALONG EDGE OF NEW WORK. RELOCATE AND ADJUST EXISTING HEADS AS NEEDED TO MAINTAIN COVERAGE. REPLACE ALL BROKEN HEADS RELOCATED. TAPER ALL GRADING AWAY FROM NEW CURBS AND APRONS AND SET GRADES BELOW APRONS, CURBS AND WALKS TO ALLOW FOR LAWN AND OTHER PLANTING PATCH BACK PER THE DETAILS PROVIDED. PROVIDE NEW SOD IN DISTURBED LAWN AREAS. ②  
C4.1
  7. CONSTRUCT 12" WIDE CONCRETE SEATWALL WITH CAST-IN SKATE DETERRENTS PER THE DETAILS PROVIDED. ⑧  
C4.1  
⑨  
C4.1
  8. SEE FENCING PLAN FOR NEW FENCING AND GATES.
  9. MATCH NEW CONCRETE FLATWORK ELEVATION TO DOORWAY THRESHOLD PER THE ARCHITECTURAL THRESHOLD DETAILS. LANDING EACH SIDE OF DOOR SHALL BE LEVEL WITH THRESHOLD NOT EXCEEDING 1/4", OR 1/2" WITH APPROPRIATE TAPER PER 11B-303. SEE INCREMENT 2 ARCH. PLAN AD-302.
  10. RELOCATED SHED LOCATION. PAVE SURFACE APPLIED TOPEKA AC ACCESS TO MATCH EXISTING CONDITIONS.
  11. CONSTRUCT DEEP SLAB EDGE WITH FENCING PER THE DETAIL PROVIDED. ⑩  
C4.1
  12. SEE LANDSCAPE PLAN FOR NEW PLANTING.
  13. PROVIDE AND INSTALL 8' LONG BENCH PER THE DETAIL PROVIDED AND DISTRICT STANDARD SPECIFICATIONS. ⑪  
C4.1
  14. CONSTRUCT 12" WIDE CONCRETE APRON (NO FENCE) PER THE DETAIL PROVIDED. ④  
C4.1 SIM

1 CONSTRUCTION PLAN

SCALE 1" = 20'-0"

**GRAPHIC SCALE**

THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED.

**811**  
Know what's below.  
Call before you dig.

DSA



OWNER:  
  
 Sacramento City Unified School District  
 5735 47th Avenue  
 Sacramento, CA 95824-4528



**Isador Cohen Elementary School 2023 Fencing**

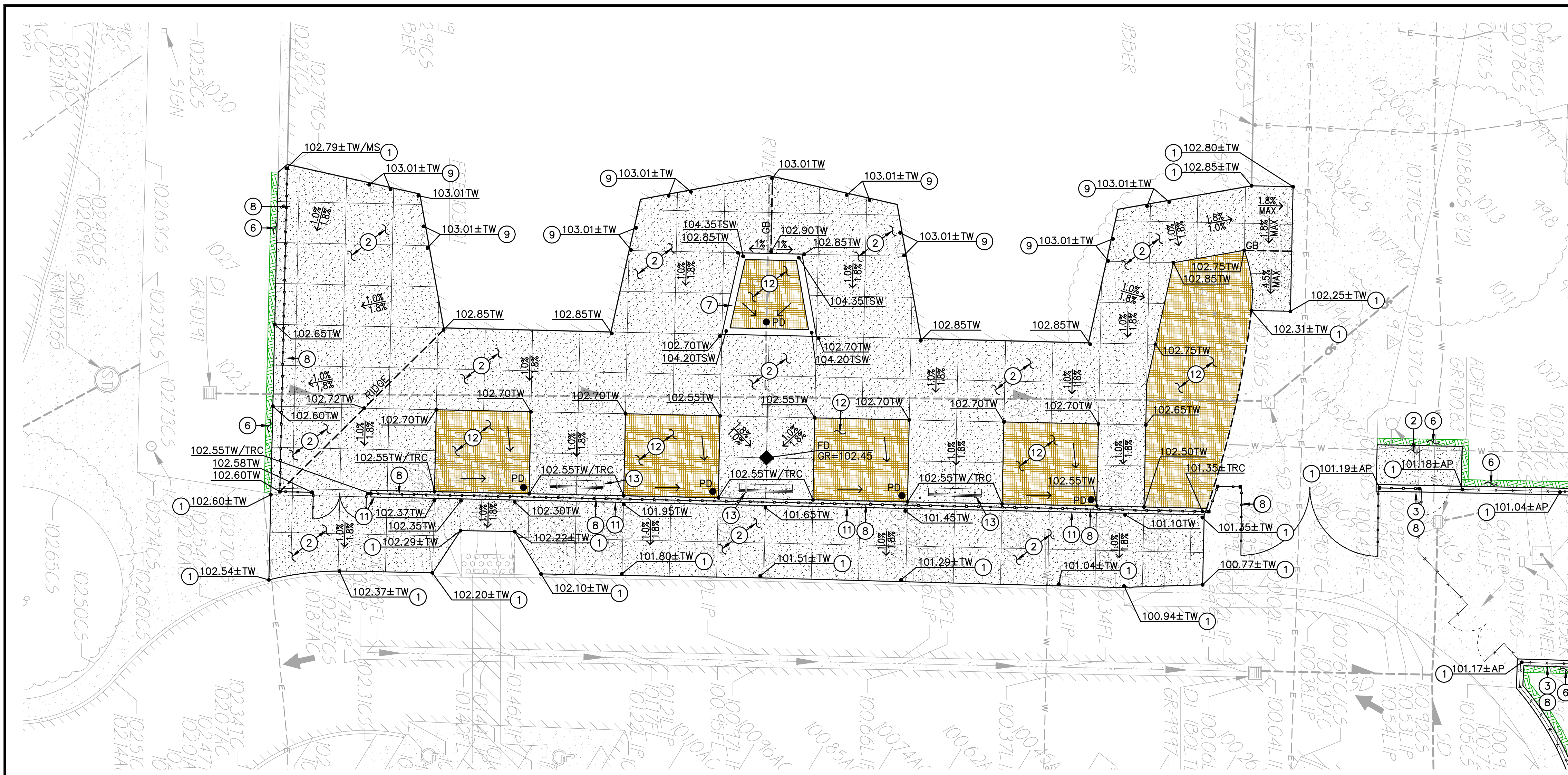
9025 Salmon Falls Drive  
 Sacramento, CA 95826

REVISIONS	
NO.	DESCRIPTION

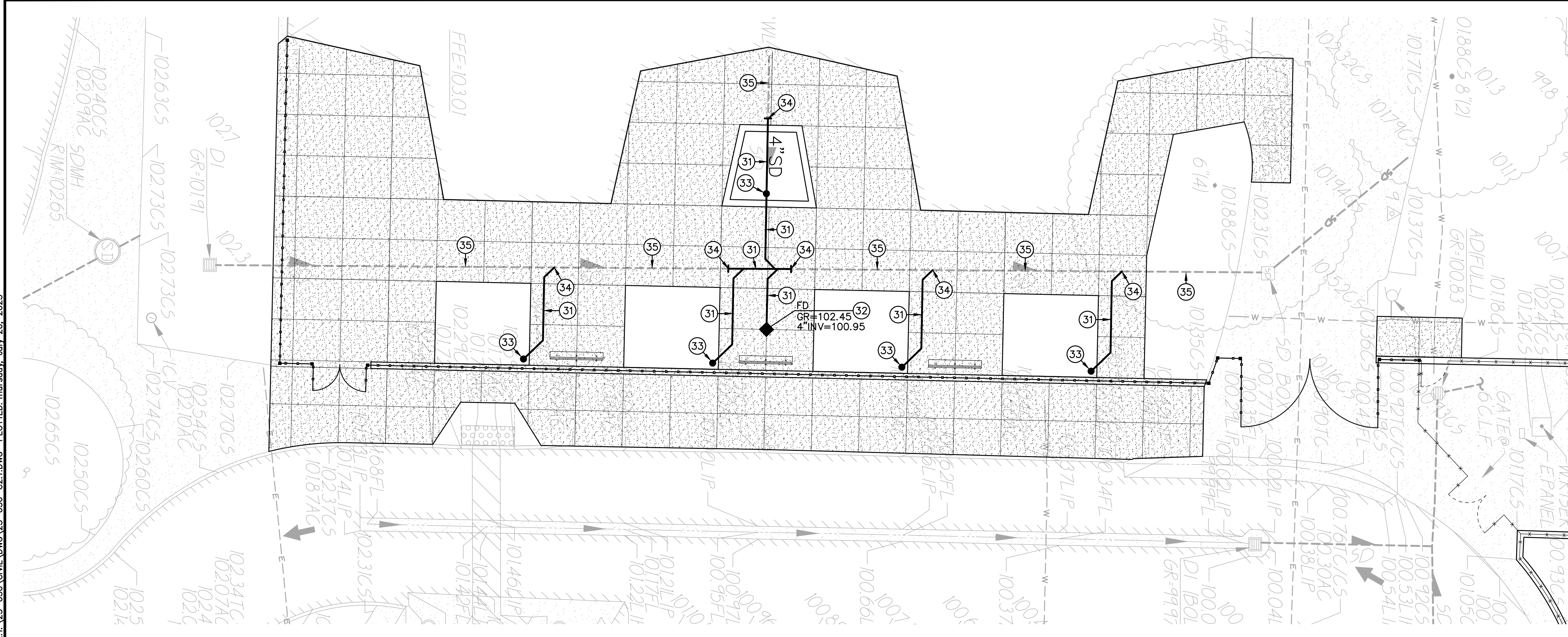
DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023
ISSUANCE:	

SHEET TITLE:  
**GRADING PLAN**

SHEET NO.  
**C2.2**



**1 CONSTRUCTION PLAN** SCALE 1" = 10'-0"

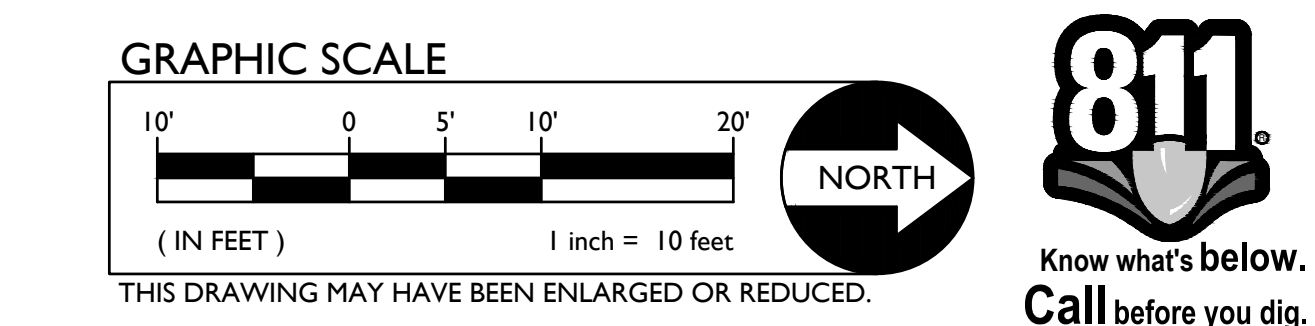


**1 DRAINAGE PLAN** SCALE 1" = 10'-0"

- LEGEND**
- ① CONSTRUCTION NOTES  
NOT ALL NOTES MAY BE USED ON THIS SHEET
  - 1. MATCH EXISTING GRADE/ELEVATION. WHEN MATCHING NEW SLABS TO EXISTING, DOWEL SLABS PER THE DETAIL PROVIDED AT 24" O.C. (1, C4.1)
  - 2. PLACE 5" CONCRETE PAVING WITH #4 REBAR AT 24" O.C.E.W. OVER 6" CLASS II AB ON COMPACTED SUBGRADE PER THE TYPICAL DETAILS PROVIDED. REFER TO PAVING PLAN FOR SECTIONS. REFER TO SPECIFICATIONS SECTION 31 00 00 FOR SUBGRADE PREPARATION, SECTION 32 16 00 FOR CONCRETE PAVING. (1, 2, C4.1, C4.1, 5, C4.1)
  - 3. CONSTRUCT CONCRETE FENCE APRON PER THE DETAIL PROVIDED. (4, C4.1)
  - 4. CONSTRUCT 24" WIDE CONCRETE APRON AT NEW ROLLING GATE PER THE DETAIL PROVIDED. SEE FENCING PLAN FOR NEW GATE. (7, C4.1)
  - 5. PLACE 3" AC PAVING OVER 12" CLASS II AB ON COMPACTED SUBGRADE, OR MATCH EXISTING SECTION, WHICHEVER IS GREATER. REFER TO SPECIFICATIONS SECTION 32 16 00 FOR MATERIALS AND CONSTRUCTION. REFER TO SECTION 31 00 00 FOR SUBGRADE PREPARATION. (2, C4.1)
  - 6. PATCH AND REPAIR EXISTING LANDSCAPING AND IRRIGATION ALONG EDGE OF NEW WORK. RELOCATE AND ADJUST EXISTING HEADS AS NEEDED TO MAINTAIN COVERAGE. REPLACE ALL BROKEN HEADS RELOCATED. TAPER ALL GRADING AWAY FROM NEW CURBS AND APRONS AND SET GRADES BELOW APRONS, CURBS AND WALKS TO ALLOW FOR LAWN AND OTHER PLANTING PATCH BACK PER THE DETAILS PROVIDED. PROVIDE NEW SOD IN DISTURBED LAWN AREAS. (2, 6, C4.1)
  - 7. CONSTRUCT 12" WIDE CONCRETE SEATWALL WITH CAST-IN SKATE DETERRENENTS PER THE DETAILS PROVIDED. (8, 9, C4.1, C4.1)
  - 8. SEE FENCING PLAN FOR NEW FENCING AND GATES. (10, C4.1)
  - 9. MATCH NEW CONCRETE FLATWORK ELEVATION TO DOORWAY THRESHOLD PER THE ARCHITECTURAL THRESHOLD DETAILS. LANDING EACH SIDE OF DOOR SHALL BE LEVEL WITH THRESHOLD TRANSITION NOT EXCEEDING 1/4", OR 1/2" WITH APPROPRIATE TAPER PER 11B-303. SEE INCREMENT 2 ARCH. PLAN AD-302. (11, C4.1)
  - 10. RELOCATED SHED LOCATION. PAVE SURFACE APPLIED AC ACCESS TO MATCH EXISTING CONDITIONS. (10, C4.1)
  - 11. CONSTRUCT DEEP SLAB EDGE WITH FENCING PER THE DETAIL PROVIDED. (10, C4.1)
  - 12. SEE LANDSCAPE PLAN FOR NEW PLANTING. (11, C4.1)
  - 13. PROVIDE AND INSTALL 8' LONG BENCH PER THE DETAIL PROVIDED AND DISTRICT STANDARD SPECIFICATIONS. (11, C4.1)

- ① DRAINAGE CONSTRUCTION NOTES**  
NOT ALL NOTES MAY BE USED ON THIS SHEET
- 31. PROVIDE AND INSTALL 4" STORM DRAIN, PVC SDR-26. SLOPE VARIES PER INVERTS SHOWN, BUT 0.0150 MIN. (1.50%) (12, 13, C4.1, C4.1)
  - 32. CONSTRUCT FLOOR DRAIN WITH ACCESSIBLE COVER PER THE DETAIL PROVIDED. (14, C4.1)
  - 33. CONSTRUCT PLANTER DRAIN PER THE DETAIL PROVIDED. (15, C4.1)
  - 34. CONNECT TO EXISTING STORM DRAIN PIPE OR INLET STRUCTURE AS SHOWN. POTHOLE TO VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION. IF CONFLICT FOUND CONTACT ARCHITECT FOR DIRECTION. PROVIDE ALL FITTINGS AND ADAPTORS TO MAKE CONNECTION. (14, C4.1)
  - 35. FLUSH AND CLEAR LINE OF ALL DEBRIS AND SILT. INSPECT EXISTING STORM DRAIN LINE. IF LINE BROKEN OR NEGATIVE SLOPE, CONTACT ENGINEER FOR DIRECTION. (14, C4.1)

**UTILITY VERIFICATION**  
PRIOR TO THE START OF CONSTRUCTION, POTHOLE AND VERIFY ALL UTILITY POINTS OF CONNECTION TO EXISTING UTILITIES FOR LOCATION, DEPTH, AND SIZE. IF CONFLICT IS FOUND, CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION.



DSA



OWNER:  
**Sacramento City Unified School District**  
Sacramento City Unified School District  
5735 47th Avenue  
Sacramento, CA 95824-4528



**Isador Cohen Elementary School 2023 Fencing**  
9025 Salmon Falls Drive  
Sacramento, CA 95826

REVISIONS	
NO.	DESCRIPTION

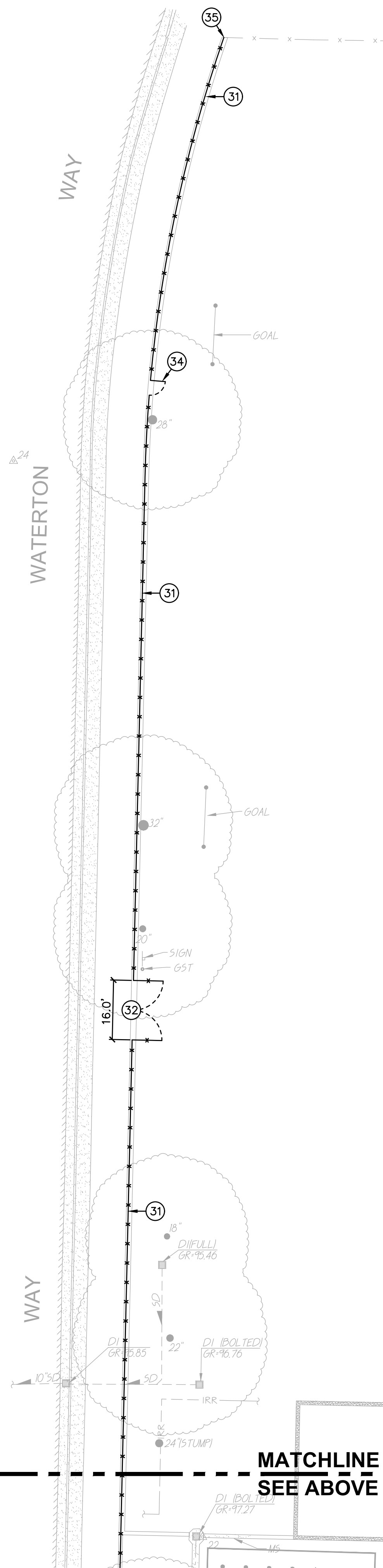
DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023
ISSUANCE:	

SHEET TITLE:  
**GRADING AND DRAINAGE PLAN**

SHEET NO.  
**C2.3**

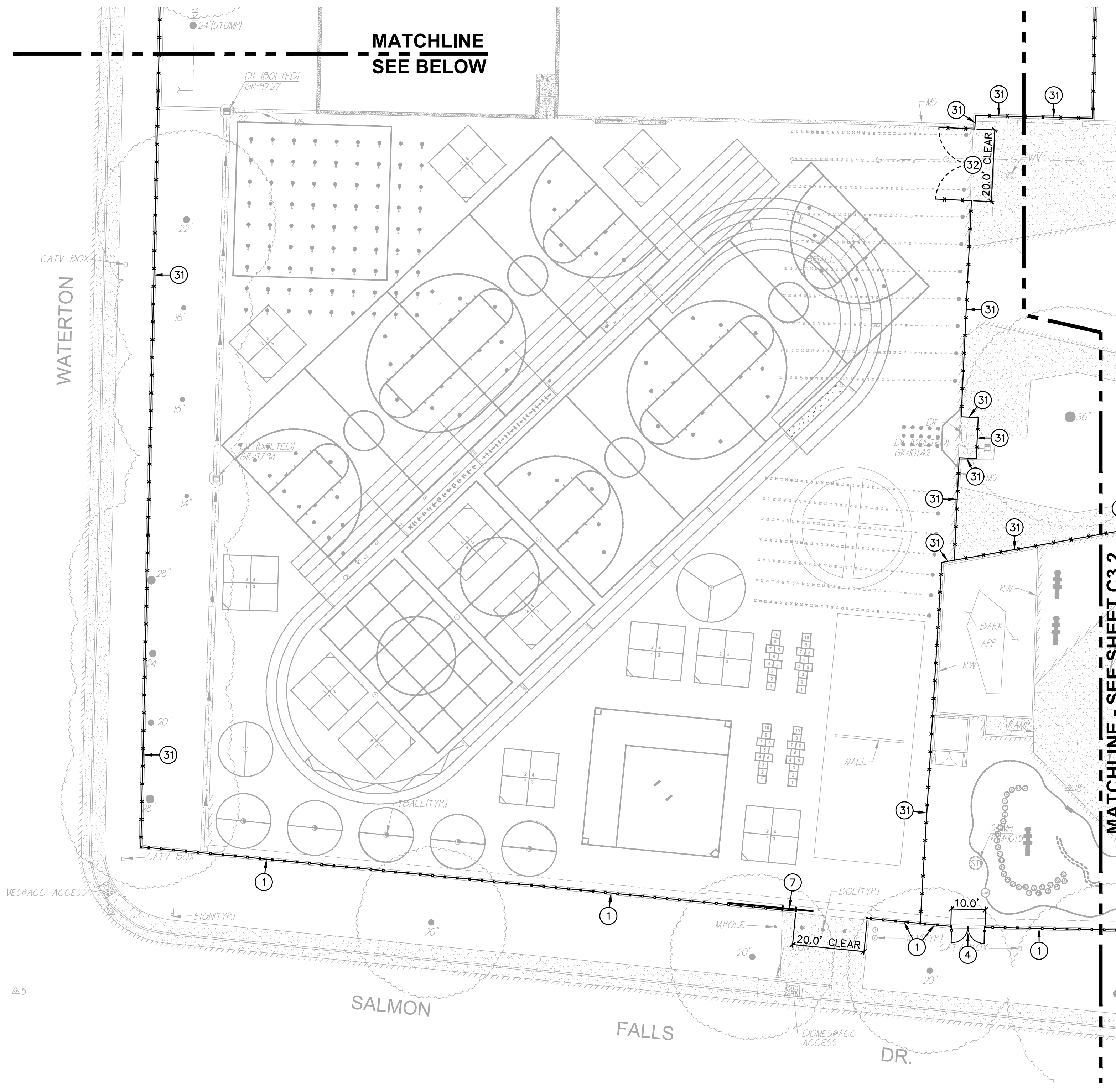
FILENAME: I:\23-050\CIVIL\DWG\23-050-C2.1.DWG PLOTTED: Thursday, July 20, 2023

FILENAME: I:\23-050\CIVIL\DWG\23-050-C3.1.DWG PLOTTED: Thursday, July 20, 2023



**A FENCING PLAN**

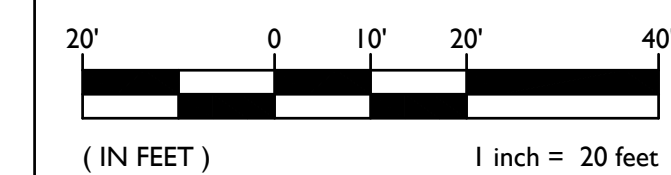
SCALE 1" = 20'-0"



**B FENCING PLAN**

SCALE 1" = 20'-0"

**GRAPHIC SCALE**



THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED.



Know what's below.  
**Call** before you dig.

**ORNAMENTAL FENCING NOTES**

1. PLACE 6' TALL 3-RAIL ORNAMENTAL FENCING. REFER TO SPECIFICATIONS SECTION 32 31 19. REFER TO GRADING/CONSTRUCTION PLAN FOR FOUNDATION CONDITION, I.E. SLAB EDGE, CONCRETE APRON, ETC. SEE ALSO TYPICAL FENCING DETAILS PROVIDED. 1  
C4.2
2. CONSTRUCT 6' TALL BLACK 3-RAIL ORNAMENTAL 96" WIDE (NOMINAL) DOUBLE SWING PEDESTRIAN GATE WITH PANIC HARDWARE AND CLOSERS. REFER TO SPECIFICATIONS SECTION 32 31 13. AND DETAILS PROVIDED. 4  
C4.2
3. CONSTRUCT 6' TALL BLACK 3-RAIL ORNAMENTAL 48" WIDE (NOMINAL) SINGLE SWING PEDESTRIAN GATE WITH PANIC HARDWARE AND CLOSERS. REFER TO SPECIFICATIONS SECTION 32 31 19. AND DETAILS PROVIDED. 5  
C4.2
4. CONSTRUCT 6' TALL BLACK 3-RAIL ORNAMENTAL DOUBLE SWING MAINT. ACCESS GATE, CLEAR WIDTH AS NOTED, REFER TO SPECIFICATIONS SECTION 32 31 19. 2  
C4.2
5. CONNECT TO EXISTING FENCING/POST. IF NO EXISTING POST, SET NEW POST AND CONNECT BOTH NEW AND EXISTING FENCING TO NEW POST.
6. SET NEW POST SO THAT THERE IS NO MORE THAN 4" GAP BUT NO LESS THAN 2" GAP BETWEEN EXISTING WALL OR OTHER OBSTRUCTION AND EDGE OF NEW POST. AT CONTRACTORS OPTION, POST MAY BE SET AT 12" FROM OBSTRUCTION AND A WELDED CLOSURE PANEL INSTALLED TO REDUCE GAP TO THE ABOVE STATED. CLOSURE PANEL SHALL MATCH THAT OF ADJOINING FENCING AND MAY BE ATTACHED TO WALL OR OBSTRUCTION. IF PLANNED TO ATTACH, CONTRACTOR TO PROVIDE METHOD OF ATTACHMENT FOR APPROVAL.
7. CONSTRUCT 6' TALL BLACK 3-RAIL ORNAMENTAL ROLLING GATE. REFER TO SPECIFICATIONS SECTION 32 31 13. AND DETAILS PROVIDED. 7  
C4.3

**CHAIN LINK FENCING NOTES**

31. PLACE 6' TALL BLACK VINYL COATED CHAIN LINK FENCING. REFER TO SPECIFICATIONS SECTION 32 31 13. REFER TO GRADING/CONSTRUCTION PLAN FOR FOUNDATION CONDITION, I.E. SLAB EDGE, CONCRETE APRON, ETC. SEE ALSO TYPICAL FENCING DETAILS PROVIDED. 1  
C4.3
32. CONSTRUCT 6' TALL BLACK VINYL COATED CHAIN LINK DOUBLE SWING MAINT. ACCESS GATE, CLEAR WIDTH AS NOTED, REFER TO SPECIFICATIONS SECTION 32 31 13. 5  
C4.3
33. CONSTRUCT 6' TALL BLACK VINYL COATED CHAIN LINK FENCING 48" WIDE (NOMINAL) SINGLE SWING PEDESTRIAN GATE WITH PANIC HARDWARE AND CLOSERS. REFER TO SPECIFICATIONS SECTION 32 31 13. AND DETAILS PROVIDED. 6  
C4.3
34. CONSTRUCT 6' TALL BLACK VINYL COATED CHAIN LINK SINGLE SWING MAINT. ACCESS GATE, 48" MIN. CLEAR OPENING, REFER TO SPECIFICATIONS SECTION 32 31 13. 5  
C4.3 SIM.
35. CONNECT TO EXISTING FENCING/POST. IF NO EXISTING POST, SET NEW POST AND CONNECT BOTH NEW AND EXISTING FENCING TO NEW POST.
36. SET NEW POST SO THAT THERE IS NO MORE THAN 4" GAP BUT NO LESS THAN 2" GAP BETWEEN EXISTING WALL OR OTHER OBSTRUCTION AND EDGE OF NEW POST. AT CONTRACTORS OPTION, POST MAY BE SET AT 12" FROM OBSTRUCTION AND A WELDED CLOSURE PANEL INSTALLED TO REDUCE GAP TO THE ABOVE STATED. CLOSURE PANEL SHALL MATCH THAT OF ADJOINING FENCING AND MAY BE ATTACHED TO WALL OR OBSTRUCTION. IF PLANNED TO ATTACH, CONTRACTOR TO PROVIDE METHOD OF ATTACHMENT FOR APPROVAL.

DSA



WARREN CONSULTING ENGINEERS, INC.  
1117 WINDFIELD WAY, SUITE 110  
EL DORADO HILLS, CA 95762 | (916) 985-1870

OWNER:



Sacramento City  
Unified School District  
5735 47th Avenue  
Sacramento, CA 95824-4528



Isador Cohen  
Elementary School  
2023 Fencing

9025 Salmon Falls Drive  
Sacramento, CA 95826

**REVISIONS**

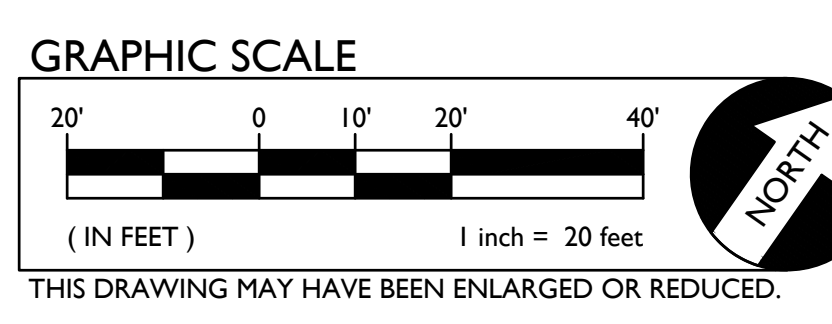
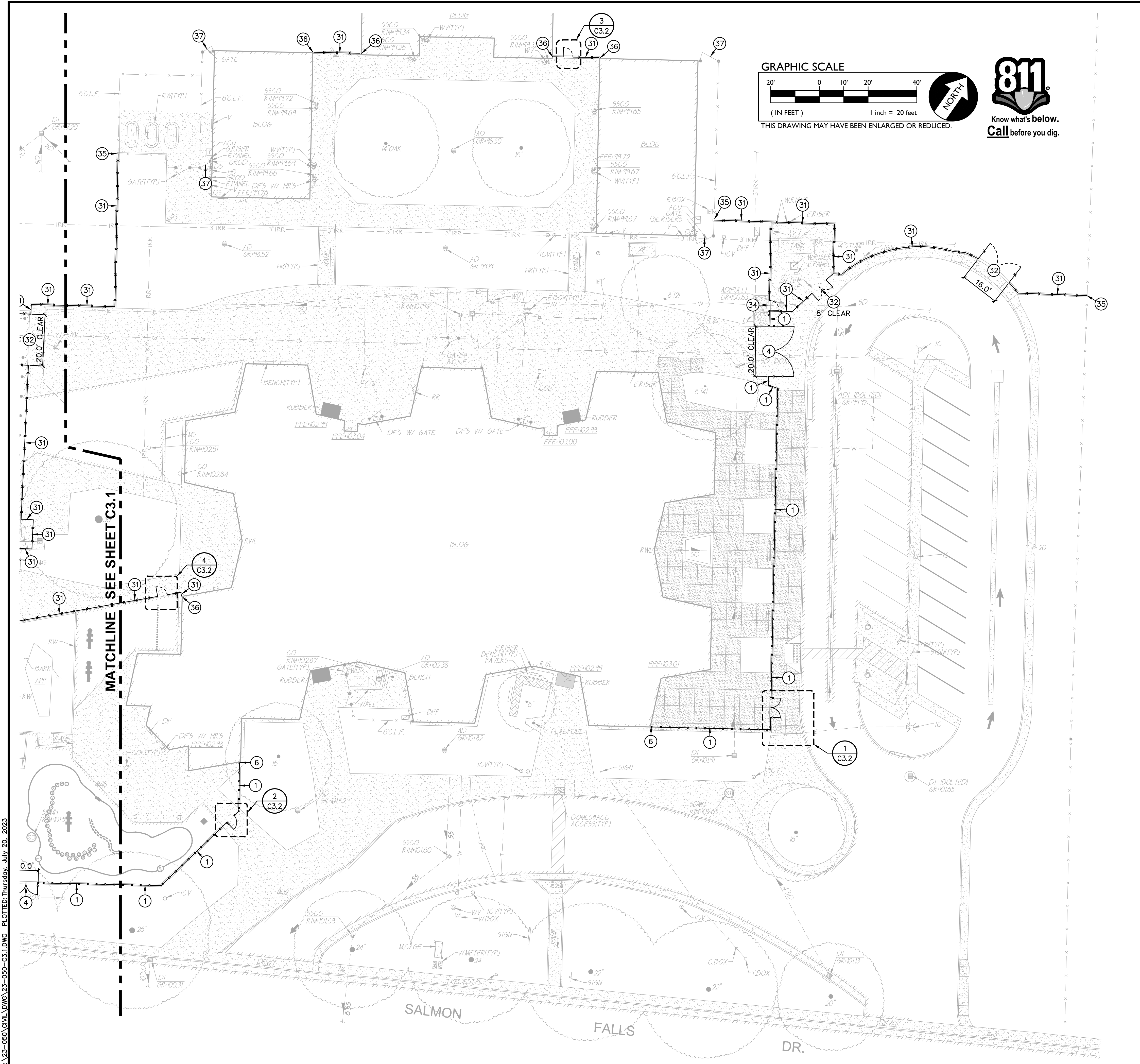
NO.	DESCRIPTION

DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023

ISSUANCE:

SHEET TITLE:  
**GRADING PLAN**

SHEET NO.  
**C3.1**

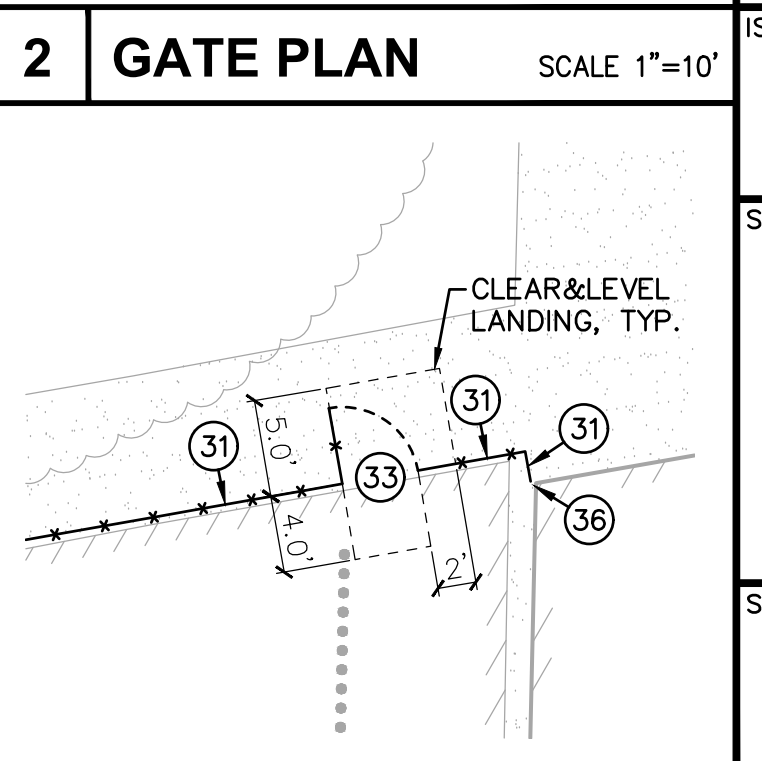
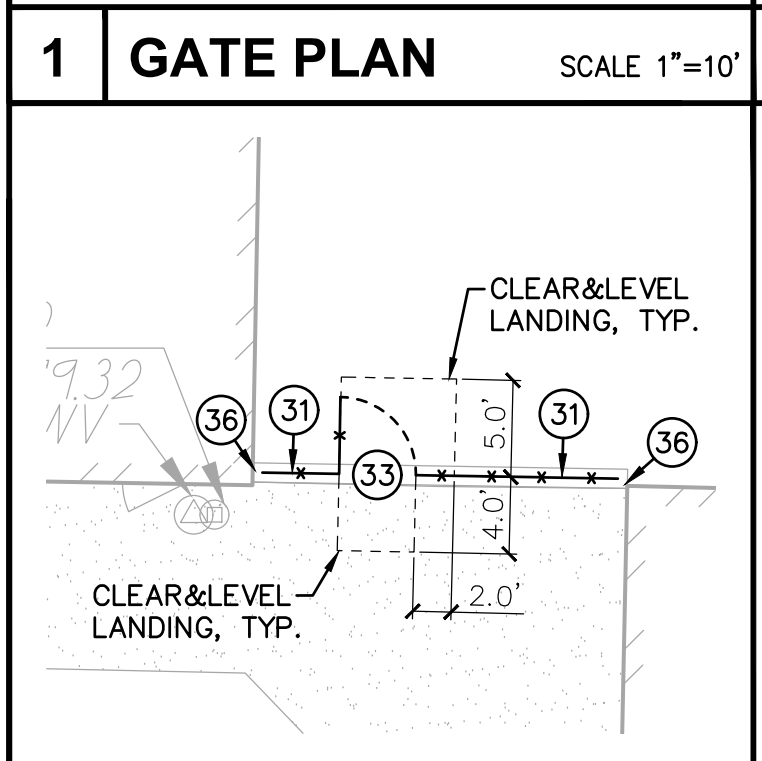
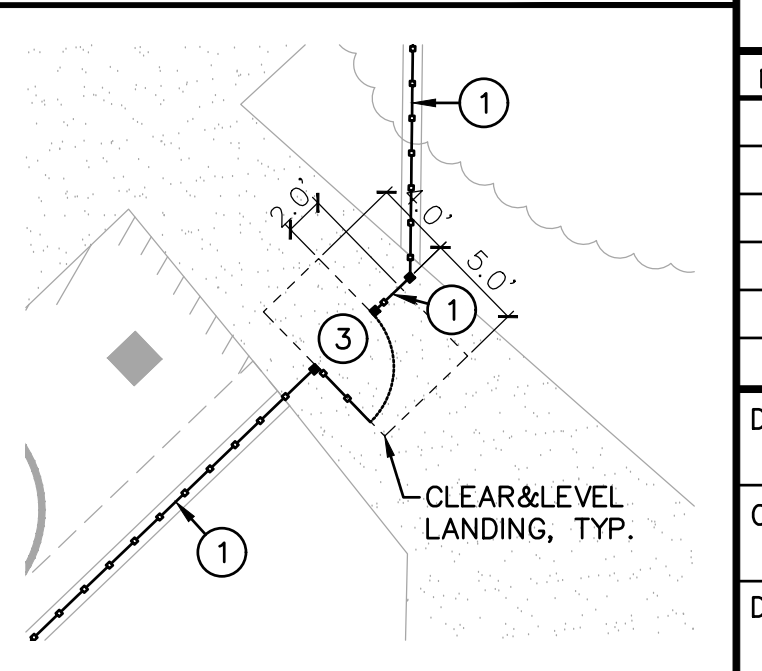
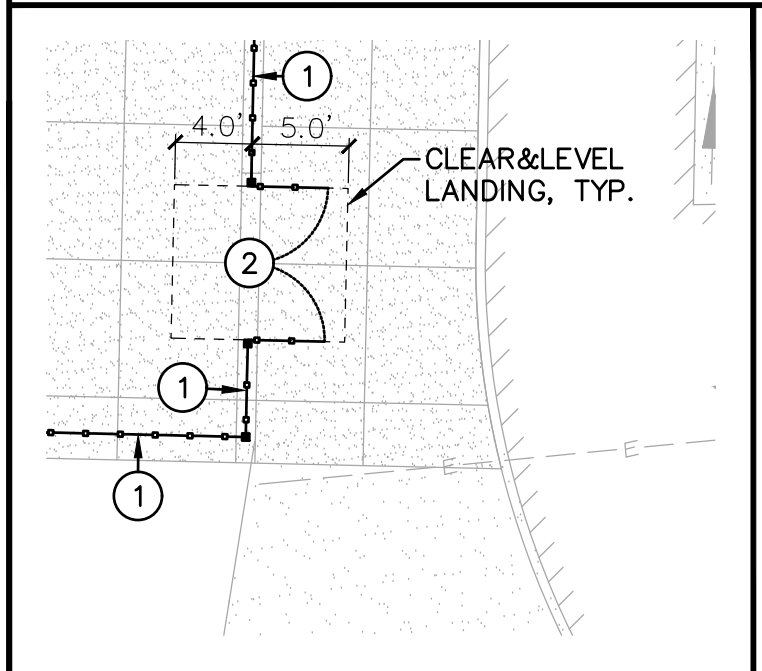


**ORNAMENTAL FENCING NOTES**

1. PLACE 6' TALL 3-RAIL ORNAMENTAL FENCING. REFER TO SPECIFICATIONS SECTION 32 31 19. REFER TO GRADING/CONSTRUCTION PLAN FOR FOUNDATION CONDITION, I.E. SLAB EDGE, CONCRETE APRON, ETC. SEE ALSO TYPICAL FENCING DETAILS PROVIDED. 1  
C4.2
2. CONSTRUCT 6' TALL BLACK 3-RAIL ORNAMENTAL 96" WIDE (NOMINAL) DOUBLE SWING PEDESTRIAN GATE WITH PANIC HARDWARE AND CLOSERS. REFER TO SPECIFICATIONS SECTION 32 31 13. AND DETAILS PROVIDED. 2  
C4.2
3. CONSTRUCT 6' TALL BLACK 3-RAIL ORNAMENTAL 48" WIDE (NOMINAL) SINGLE SWING PEDESTRIAN GATE WITH PANIC HARDWARE AND CLOSERS. REFER TO SPECIFICATIONS SECTION 32 31 13. AND DETAILS PROVIDED. 4  
C4.2
4. CONSTRUCT 6' TALL BLACK 3-RAIL ORNAMENTAL DOUBLE SWING MAINT. ACCESS GATE, CLEAR WIDTH AS NOTED, REFER TO SPECIFICATIONS SECTION 32 31 19. 2  
C4.2
5. CONNECT TO EXISTING FENCING/POST. IF NO EXISTING POST, SET NEW POST AND CONNECT BOTH NEW AND EXISTING FENCING TO NEW POST.
6. SET NEW POST SO THAT THERE IS NO MORE THAN 4" GAP BUT NO LESS THAN 2" GAP BETWEEN EXISTING WALL OR OTHER OBSTRUCTION AND EDGE OF NEW POST. AT CONTRACTOR'S OPTION, POST MAY BE SET AT 12" FROM OBSTRUCTION AND A WELDED CLOSURE PANEL INSTALLED TO REDUCE GAP TO THE ABOVE STATED. CLOSURE PANEL SHALL MATCH THAT OF ADJOINING FENCING AND MAY BE ATTACHED TO WALL OR OBSTRUCTION. IF PLANNED TO ATTACH, CONTRACTOR TO PROVIDE METHOD OF ATTACHMENT FOR APPROVAL.
7. CONSTRUCT 6' TALL BLACK 3-RAIL ORNAMENTAL ROLLING GATE. REFER TO SPECIFICATIONS SECTION 32 31 13. AND DETAILS PROVIDED. 7  
C4.3

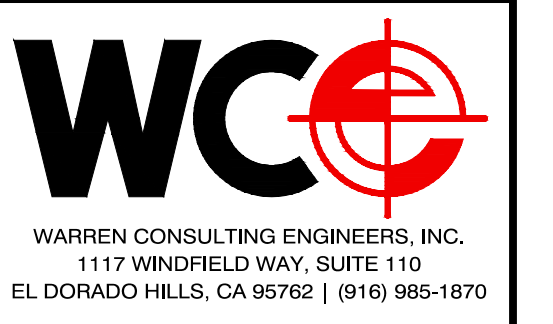
**CHAIN LINK FENCING NOTES**


31. PLACE 6' TALL BLACK VINYL COATED CHAIN LINK FENCING. REFER TO SPECIFICATIONS SECTION 32 31 13. REFER TO GRADING/CONSTRUCTION PLAN FOR FOUNDATION CONDITION, I.E. SLAB EDGE, CONCRETE APRON, ETC. SEE ALSO TYPICAL FENCING DETAILS PROVIDED. 1  
C4.3
32. CONSTRUCT 6' TALL BLACK VINYL COATED CHAIN LINK DOUBLE SWING MAINT. ACCESS GATE, CLEAR WIDTH AS NOTED, REFER TO SPECIFICATIONS SECTION 32 31 13. 5  
C4.3
33. CONSTRUCT 6' TALL BLACK VINYL COATED CHAIN LINK FENCING 48" WIDE (NOMINAL) SINGLE SWING PEDESTRIAN GATE WITH PANIC HARDWARE AND CLOSERS. REFER TO SPECIFICATIONS SECTION 32 31 13. AND DETAILS PROVIDED. 6  
C4.3
34. CONSTRUCT 6' TALL BLACK VINYL COATED CHAIN LINK SINGLE SWING MAINT. ACCESS GATE, 48" MIN. CLEAR OPENING. REFER TO SPECIFICATIONS SECTION 32 31 13. 5  
C4.3 SIM.
35. CONNECT TO EXISTING FENCING/POST. IF NO EXISTING POST, SET NEW POST AND CONNECT BOTH NEW AND EXISTING FENCING TO NEW POST.
36. SET NEW POST SO THAT THERE IS NO MORE THAN 4" GAP BUT NO LESS THAN 2" GAP BETWEEN EXISTING WALL OR OTHER OBSTRUCTION AND EDGE OF NEW POST. AT CONTRACTOR'S OPTION, POST MAY BE SET AT 12" FROM OBSTRUCTION AND A WELDED CLOSURE PANEL INSTALLED TO REDUCE GAP TO THE ABOVE STATED. CLOSURE PANEL SHALL MATCH THAT OF ADJOINING FENCING AND MAY BE ATTACHED TO WALL OR OBSTRUCTION. IF PLANNED TO ATTACH, CONTRACTOR TO PROVIDE METHOD OF ATTACHMENT FOR APPROVAL.
37. CONTRACTOR TO REPAIR EXISTING CHAIN LINK GATE TO SWING AND PROPERLY LATCH. STRAIGHTEN ANY POSTS AND RAISE GATES AS NEEDED TO CLEAR CONCRETE AS NEEDED. ALL POSTS TO REMAIN.



**A FENCING PLAN** SCALE 1" = 20'-0"

DSA



OWNER:  
  
 Sacramento City Unified School District  
 5735 47th Avenue  
 Sacramento, CA 95824-4528



**Isador Cohen Elementary School 2023 Fencing**  
 9025 Salmon Falls Drive  
 Sacramento, CA 95826

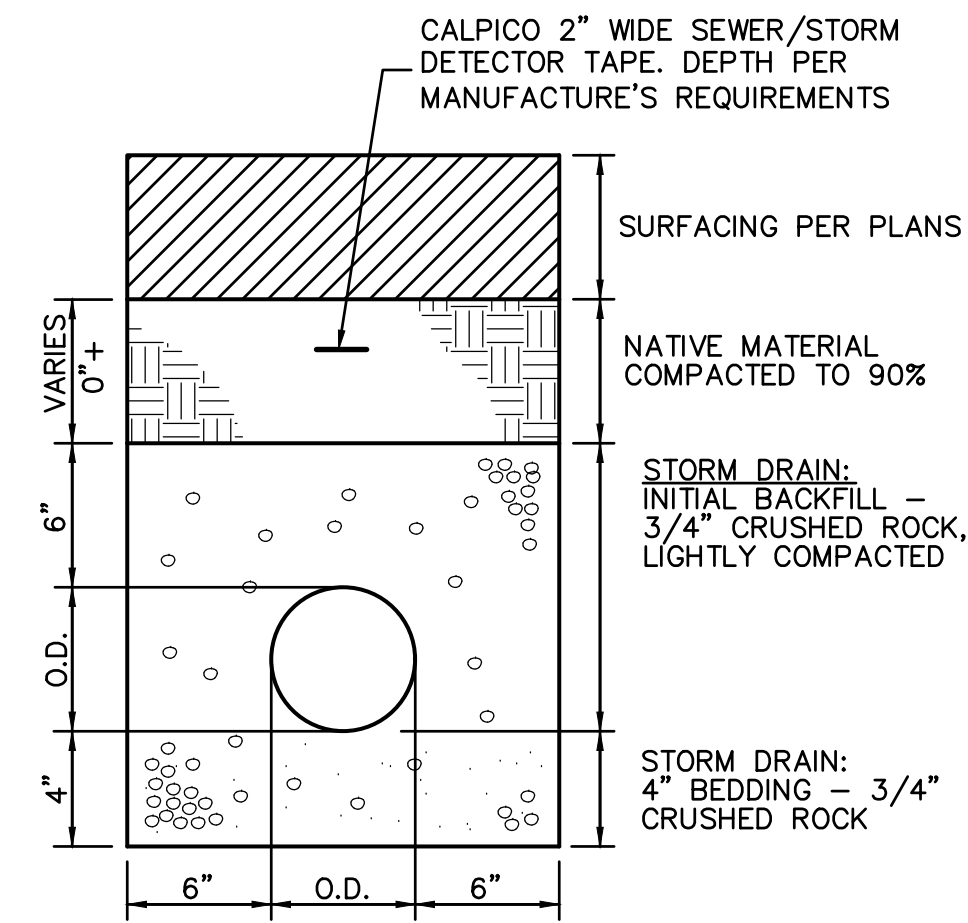
REVISIONS	
NO.	DESCRIPTION

DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023

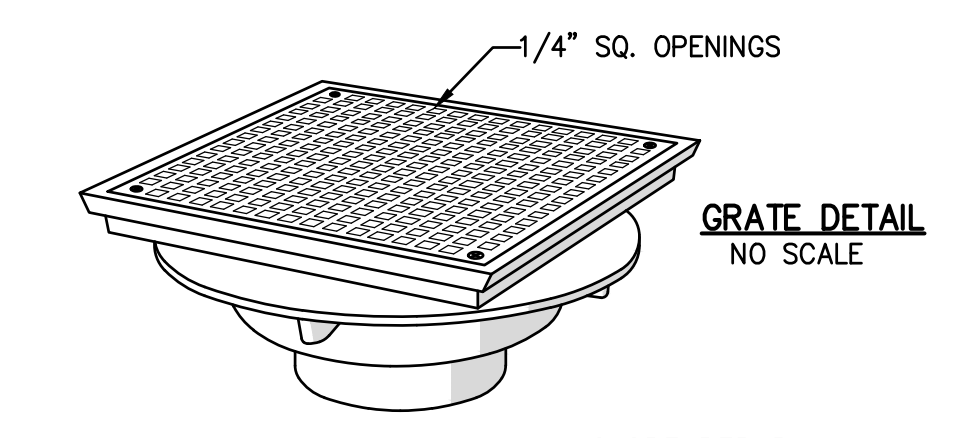
ISSUANCE:

SHEET TITLE:  
**GRADING PLAN**

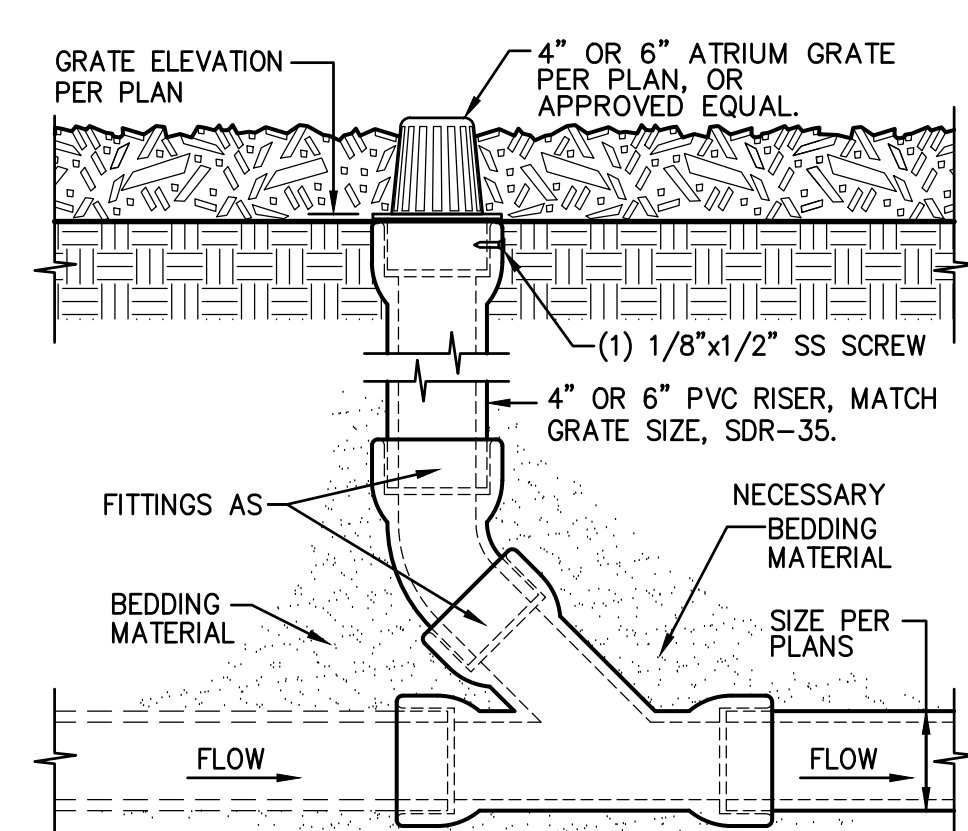
SHEET NO.  
**C3.2**



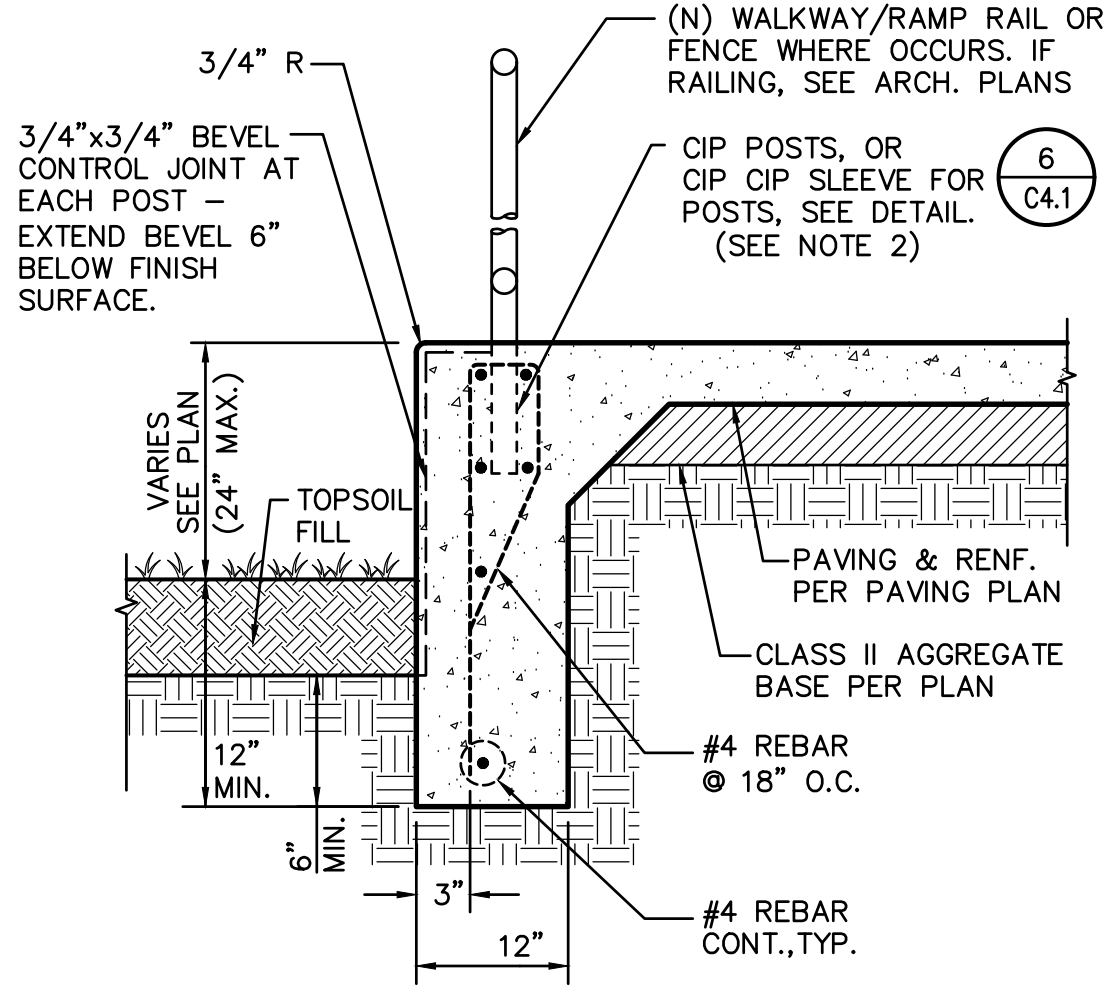
**13**  
C4.1 **STORM/SEWER TRENCH**  
NO SCALE



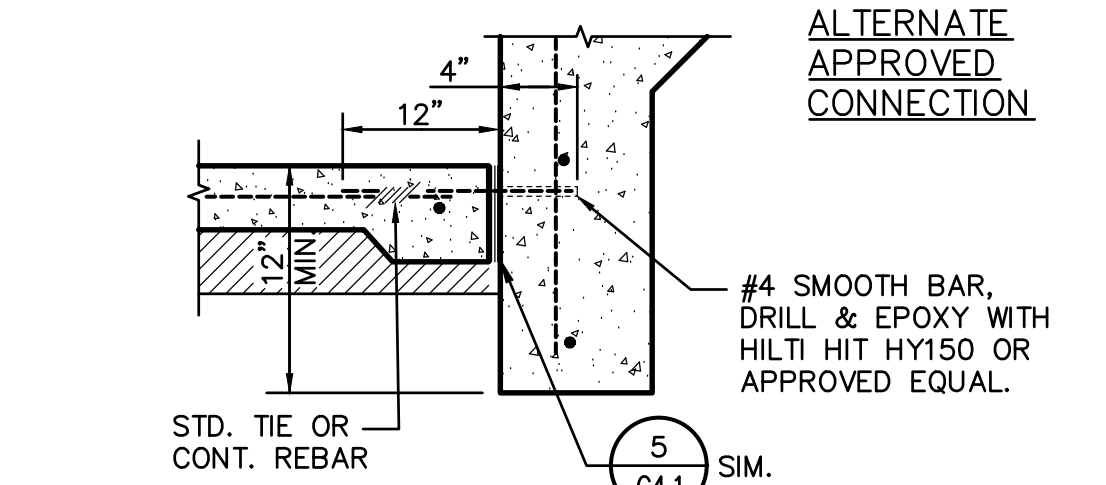
**14**  
C4.1 **FLOOR DRAIN**  
NO SCALE



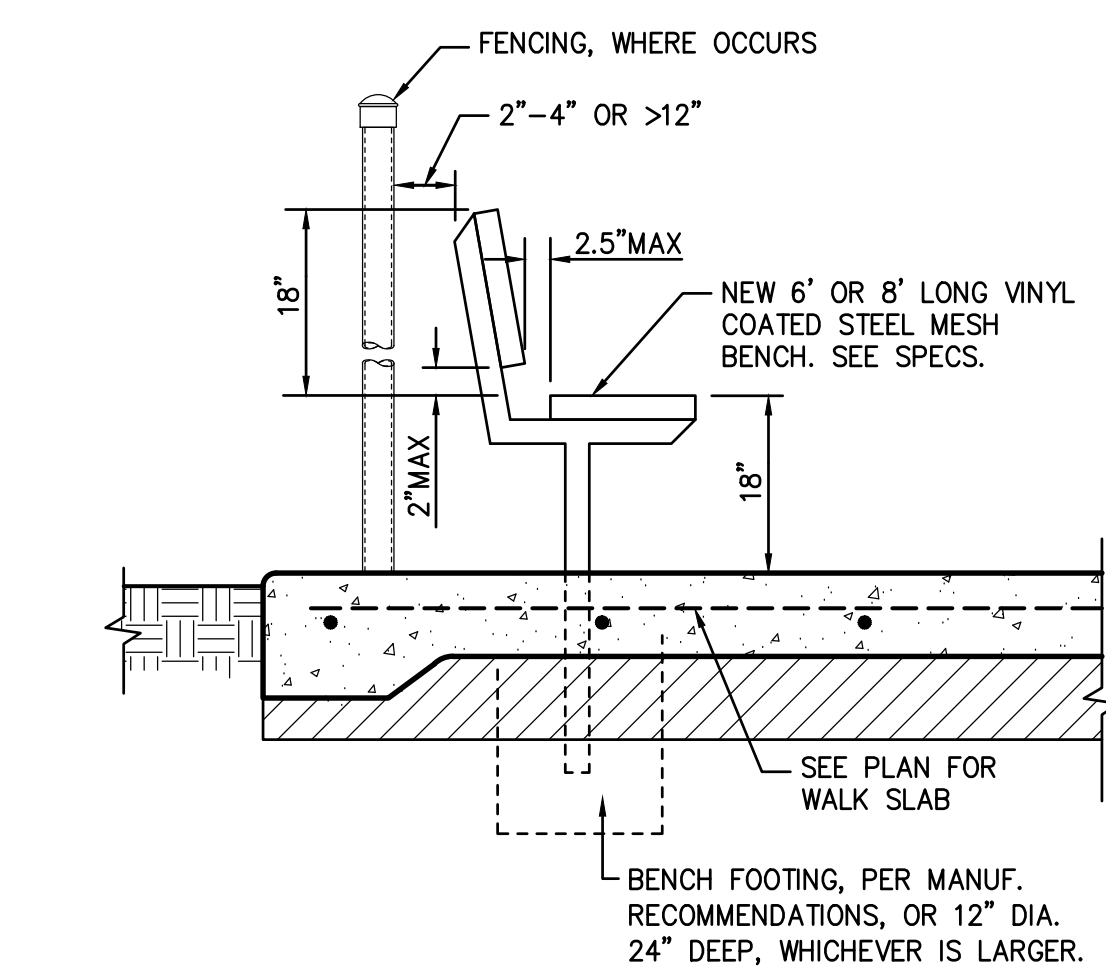
**15**  
C4.1 **PLANTER DRAIN**  
4\"/>



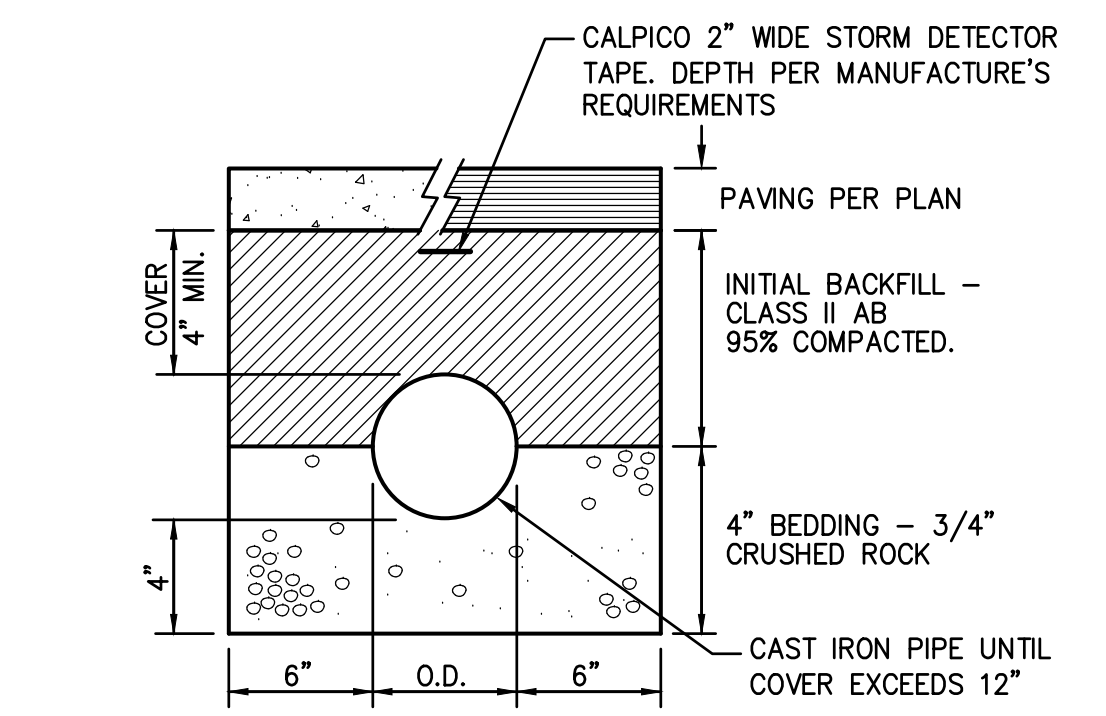
**7**  
C4.1 **NOT USED**  
NO SCALE



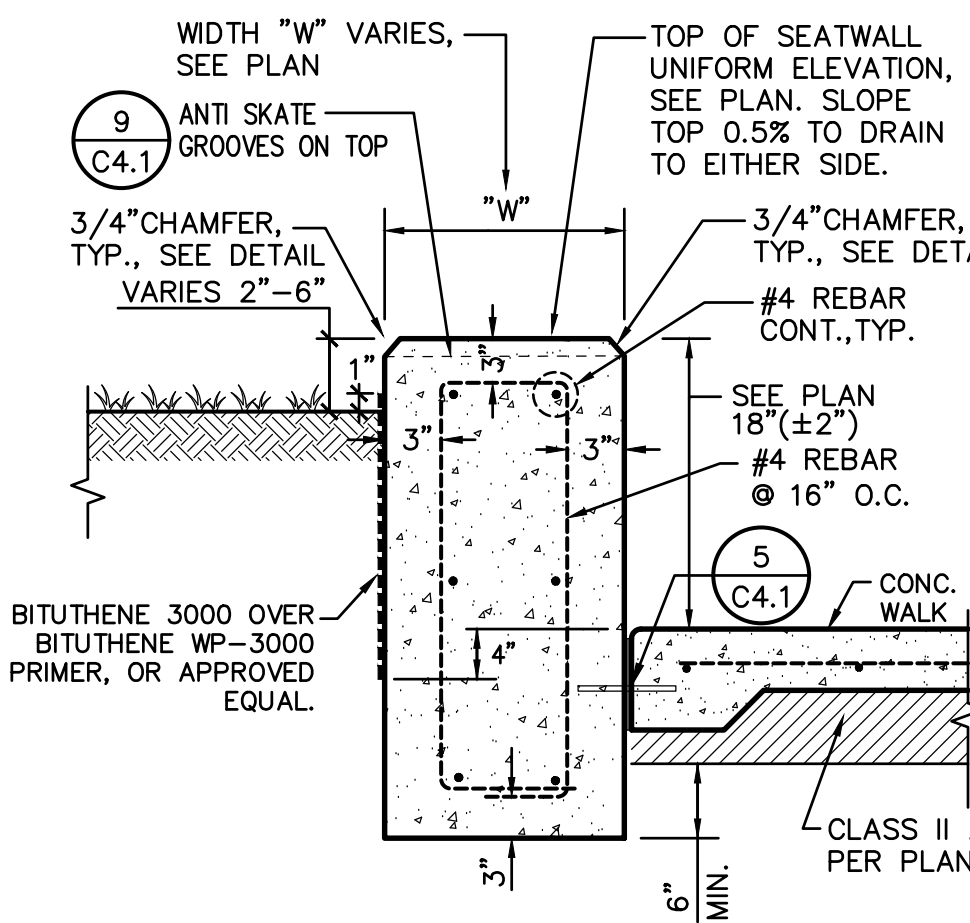
**10**  
C4.1 **RETAINING CURB EDGE WITH FENCE/RAILING**  
NO SCALE



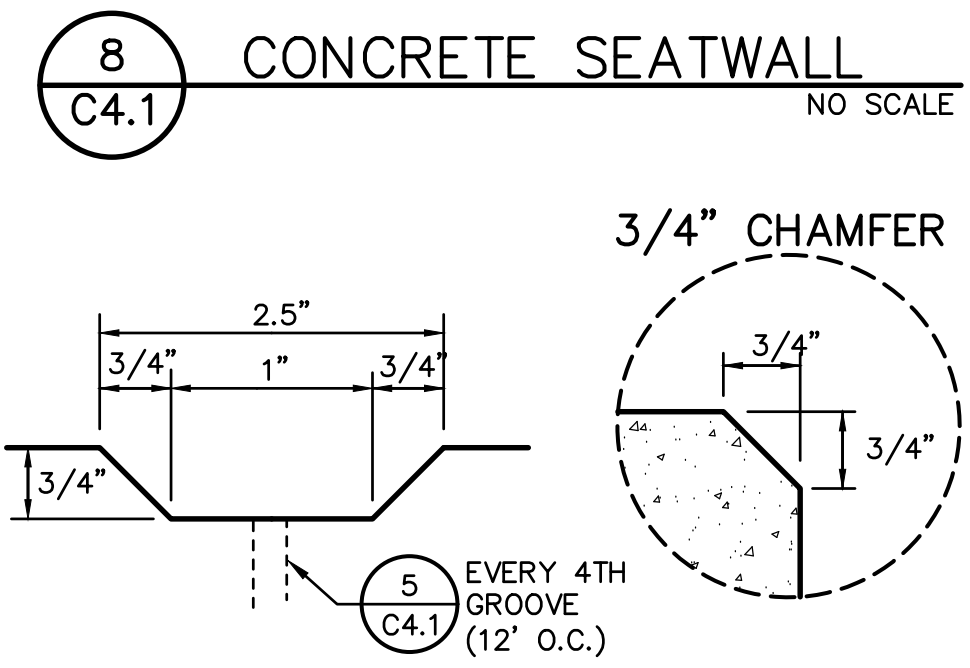
**11**  
C4.1 **BENCH**  
NO SCALE



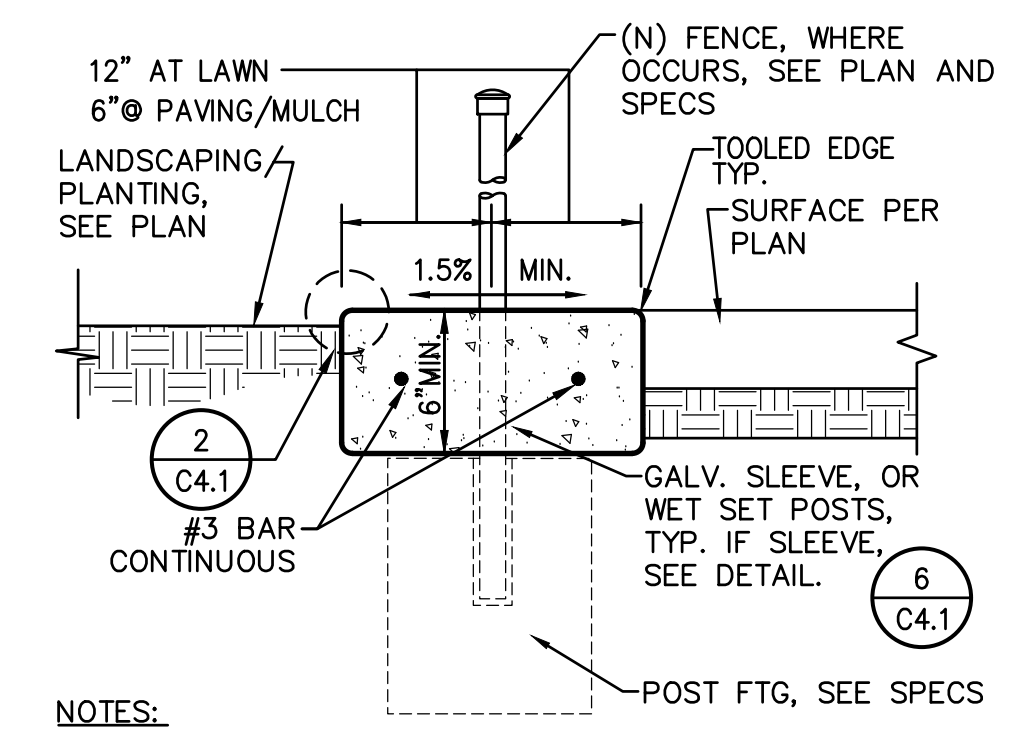
**12**  
C4.1 **SHALLOW STORM TRENCH**  
4\"/>



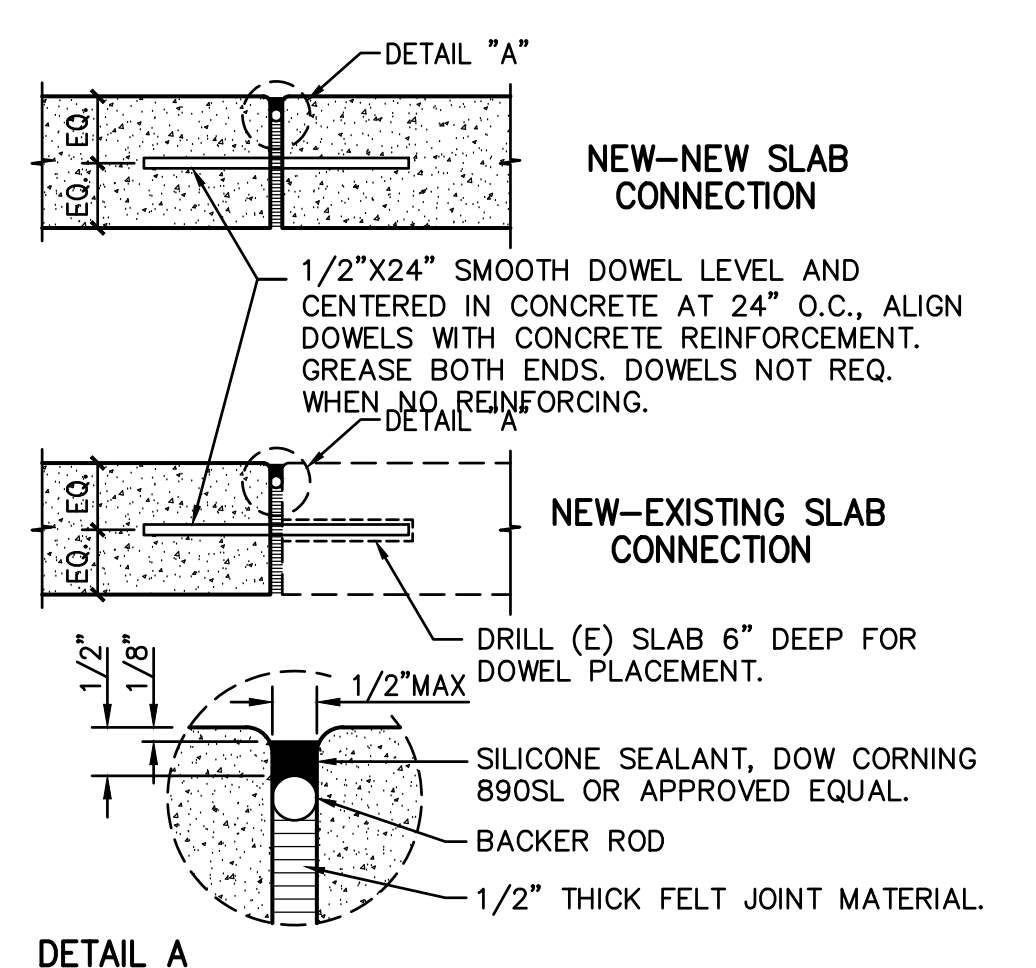
**8**  
C4.1 **CONCRETE SEATWALL**  
NO SCALE



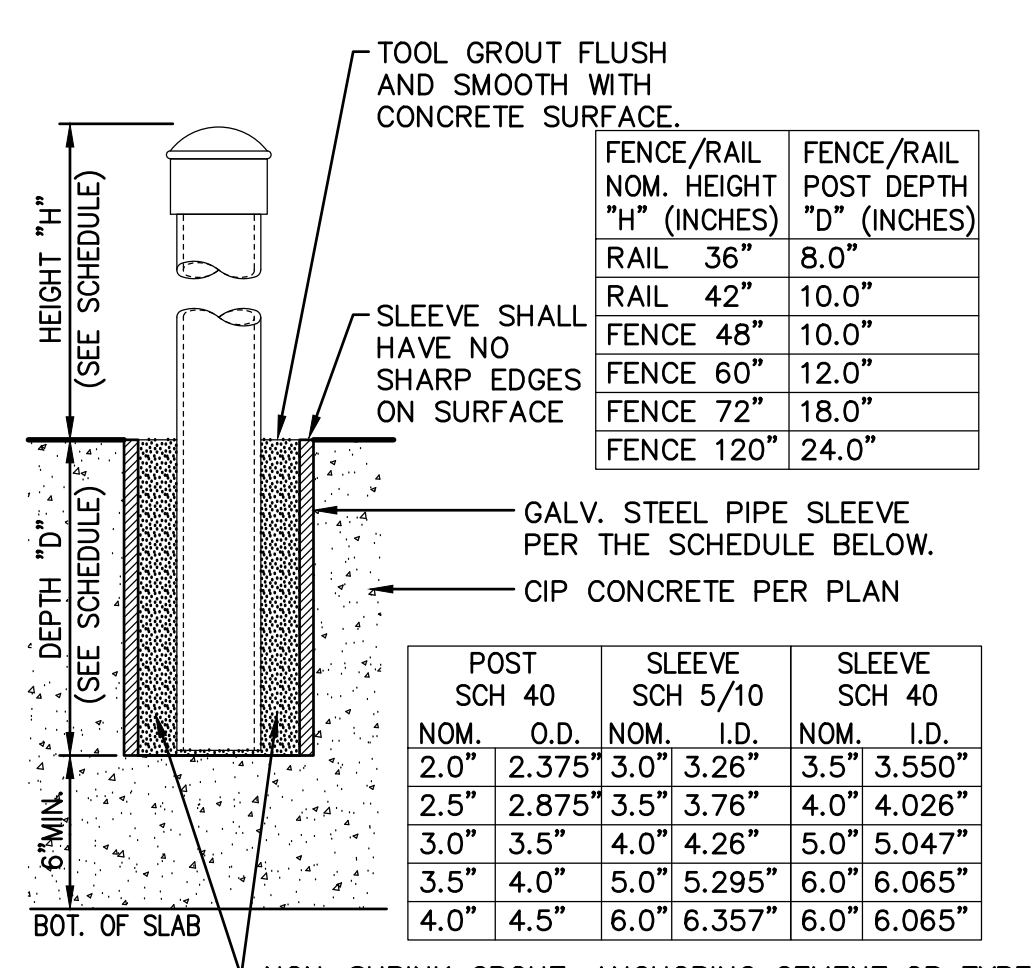
**9**  
C4.1 **ANTI SKATE GROOVES**  
NO SCALE



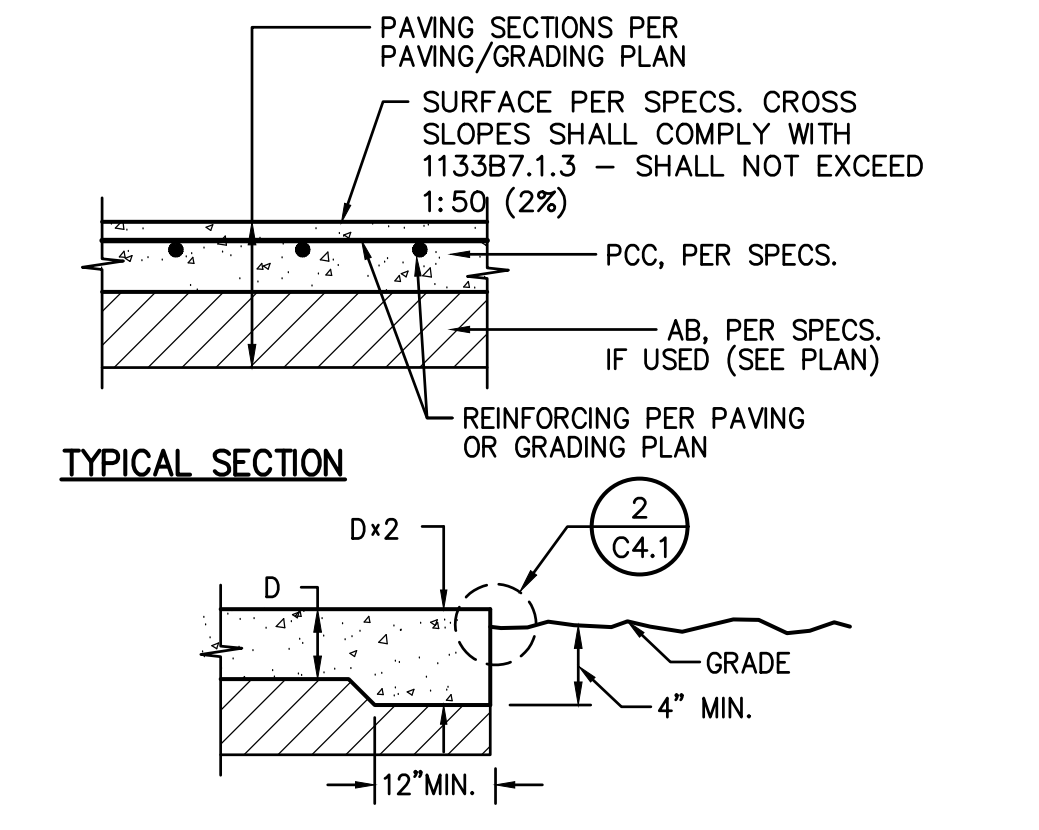
**4**  
C4.1 **CONCRETE APRON**  
NO SCALE



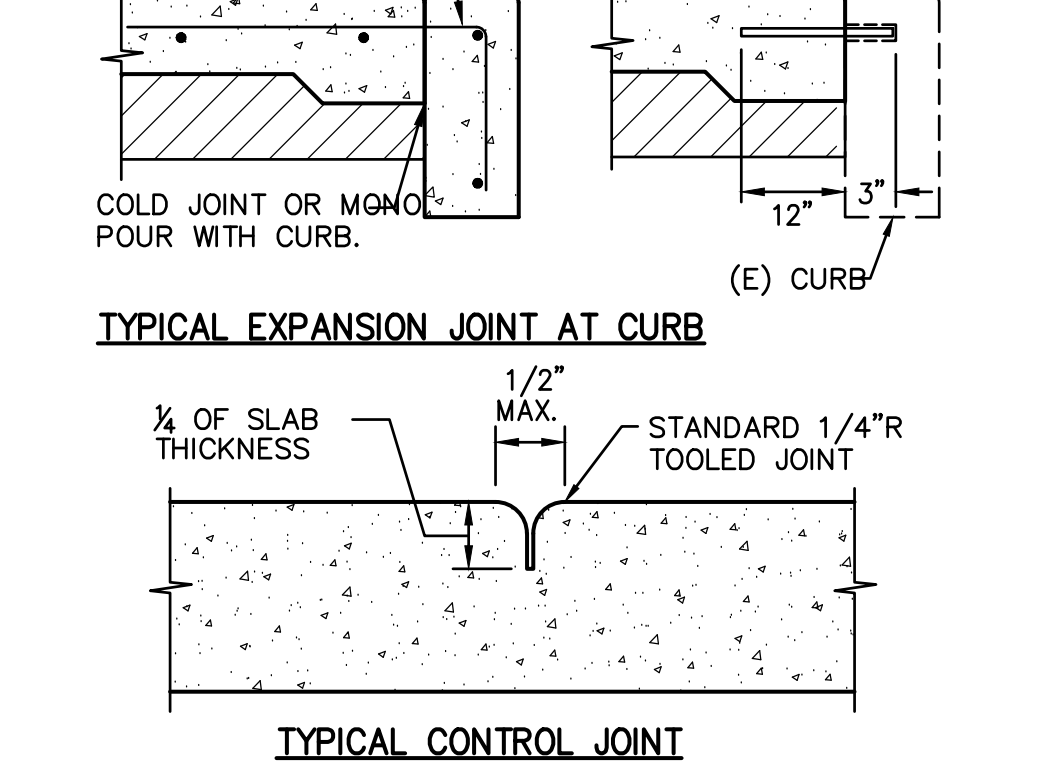
**5**  
C4.1 **EXPANSION JOINT**  
NO SCALE



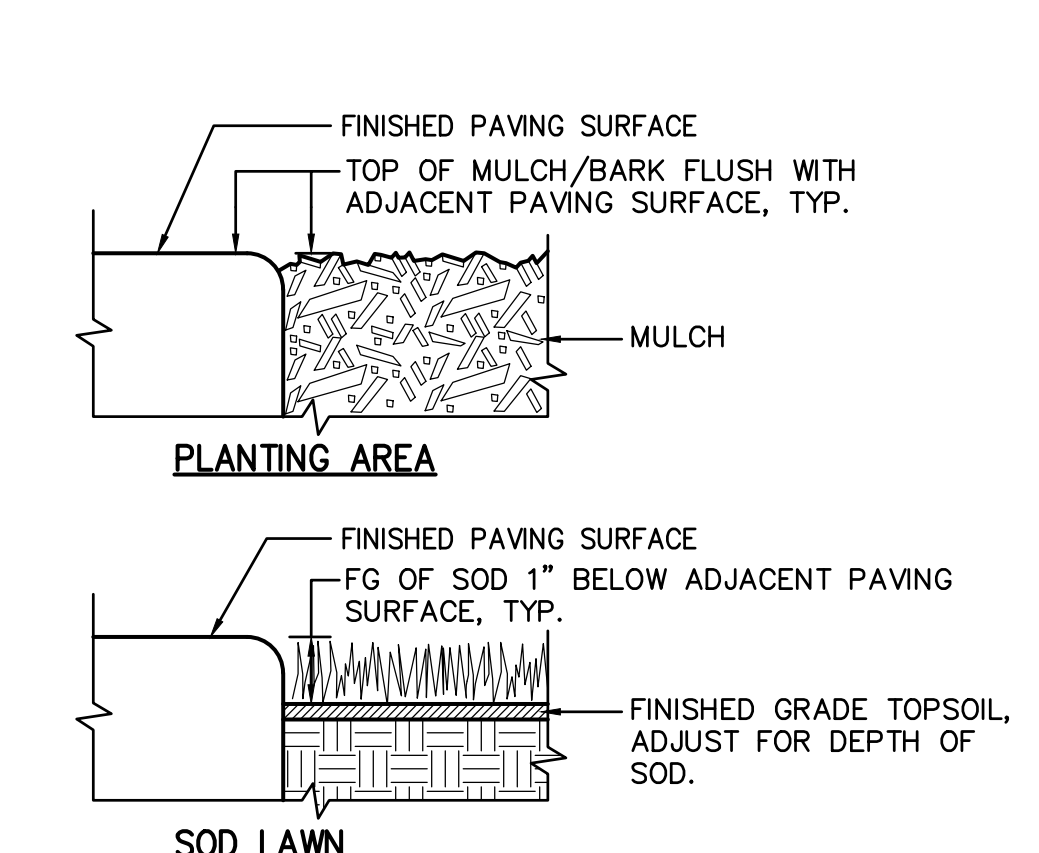
**6**  
C4.1 **POST SLEEVE DETAIL**  
NO SCALE



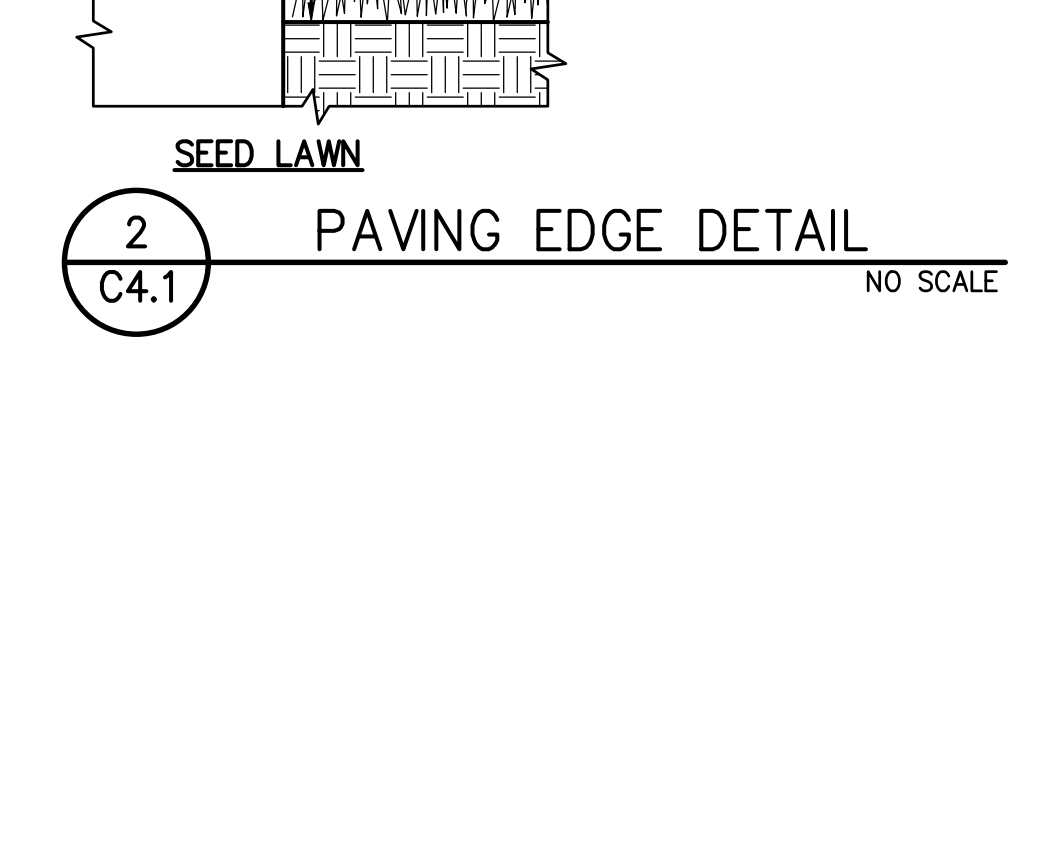
**1**  
C4.1 **CONCRETE SIDEWALK**  
NO SCALE



**2**  
C4.1 **PAVING EDGE DETAIL**  
NO SCALE



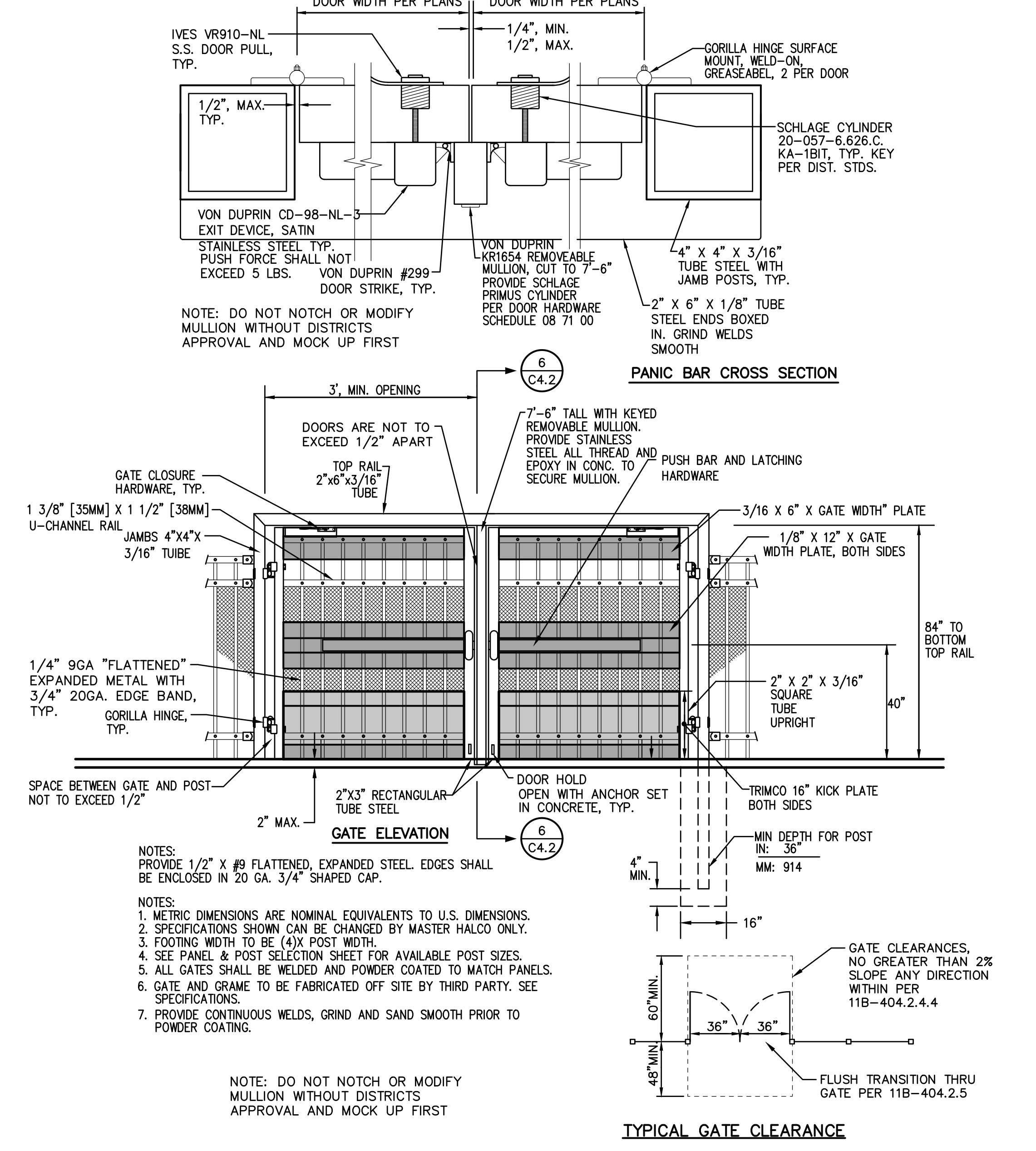
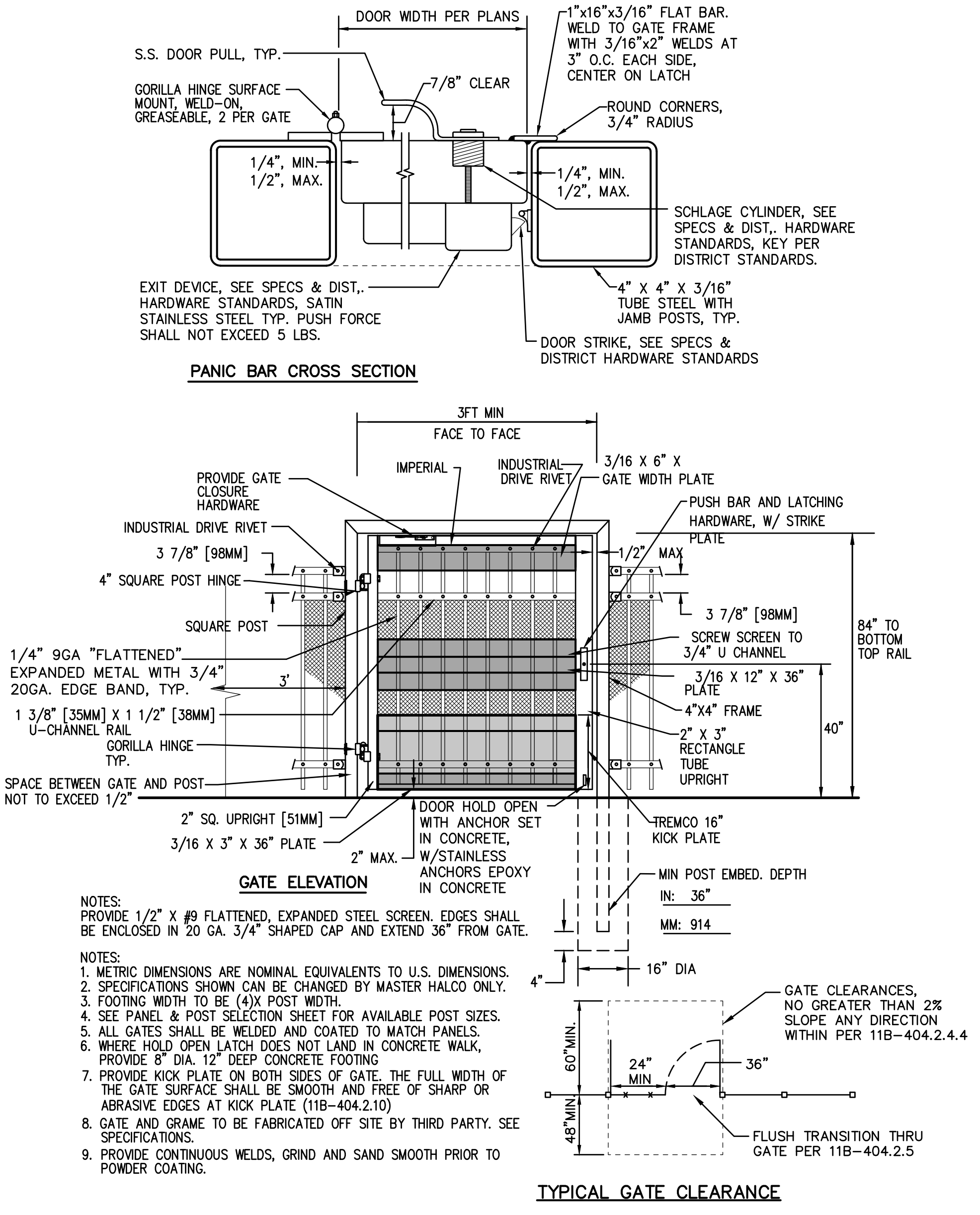
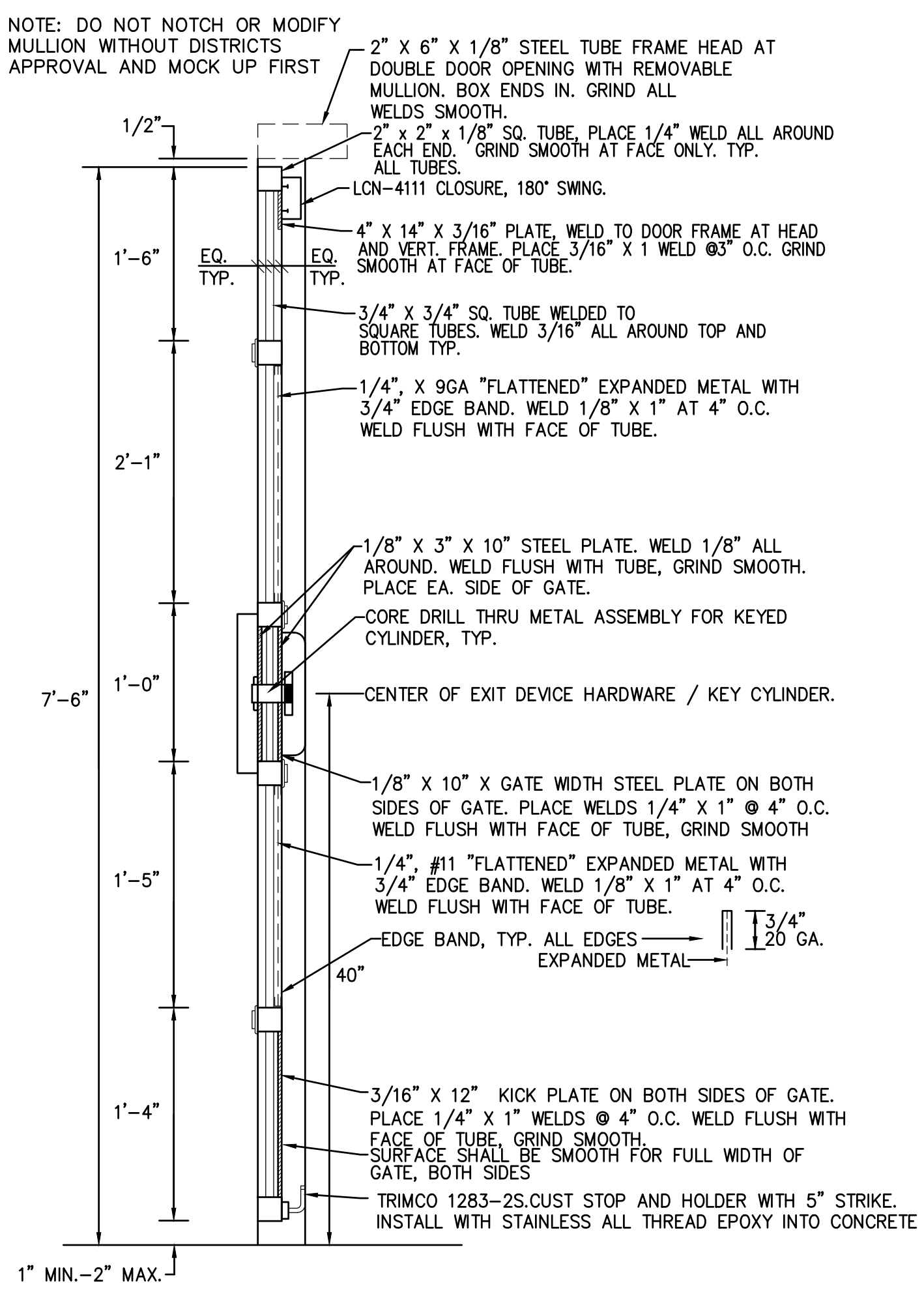
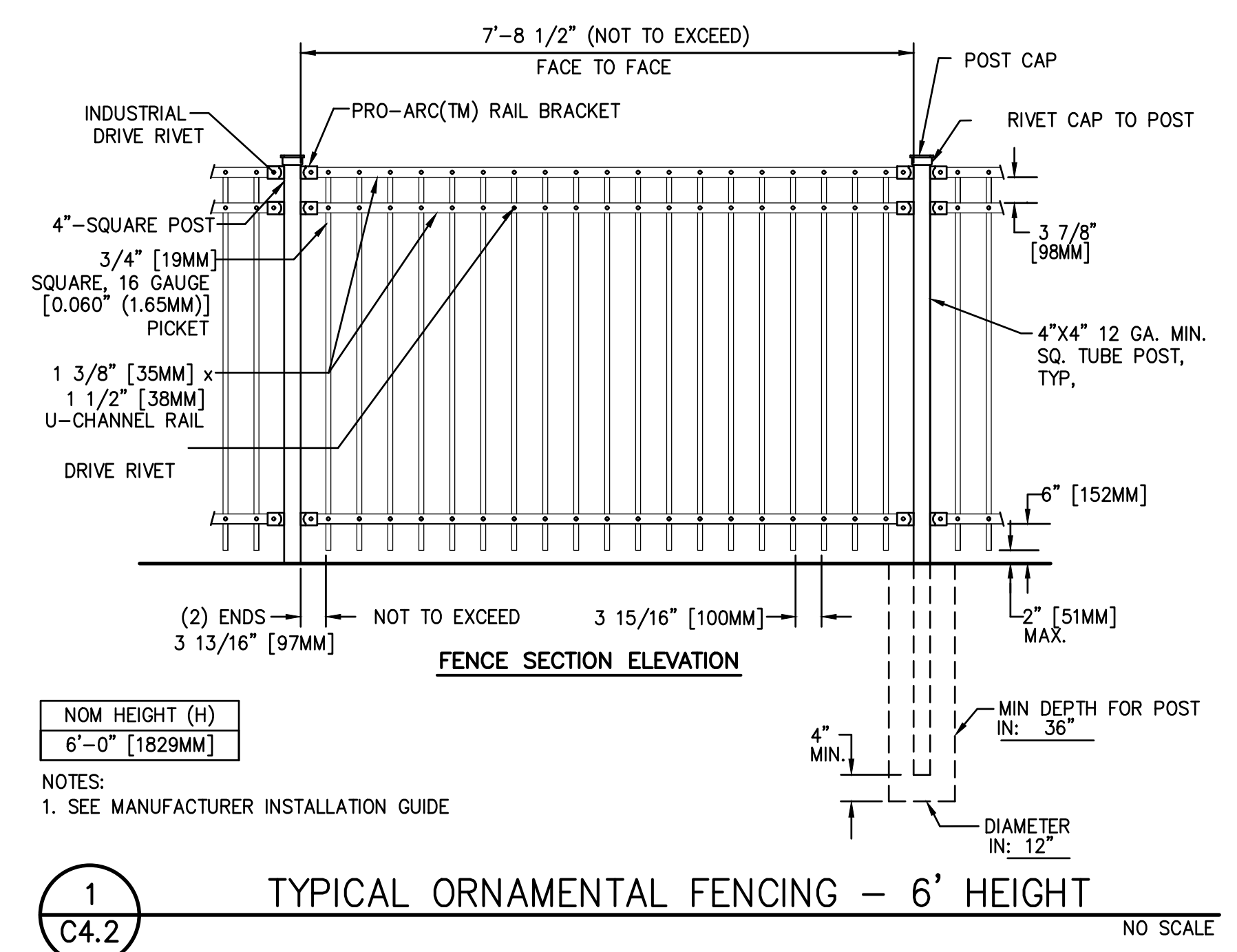
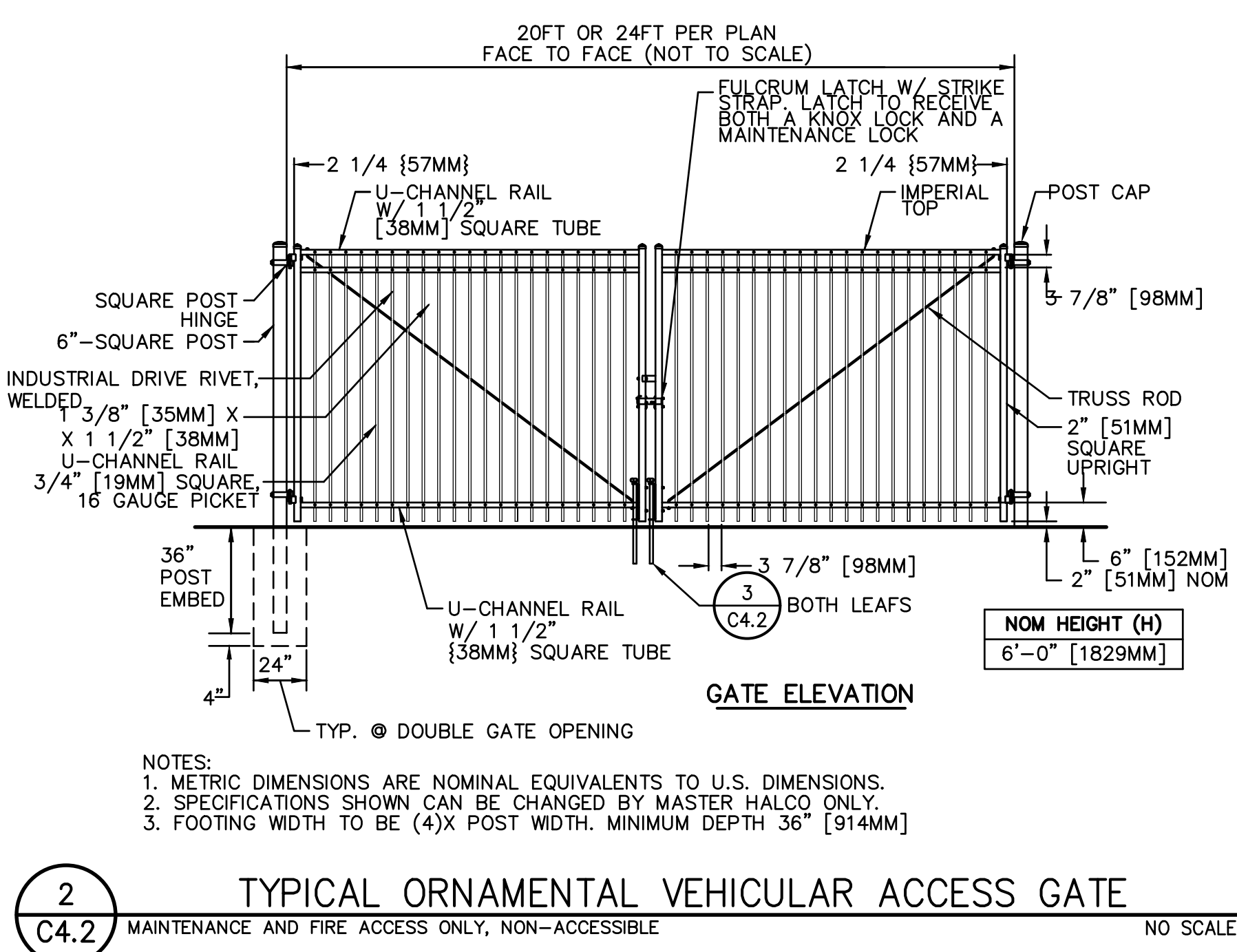
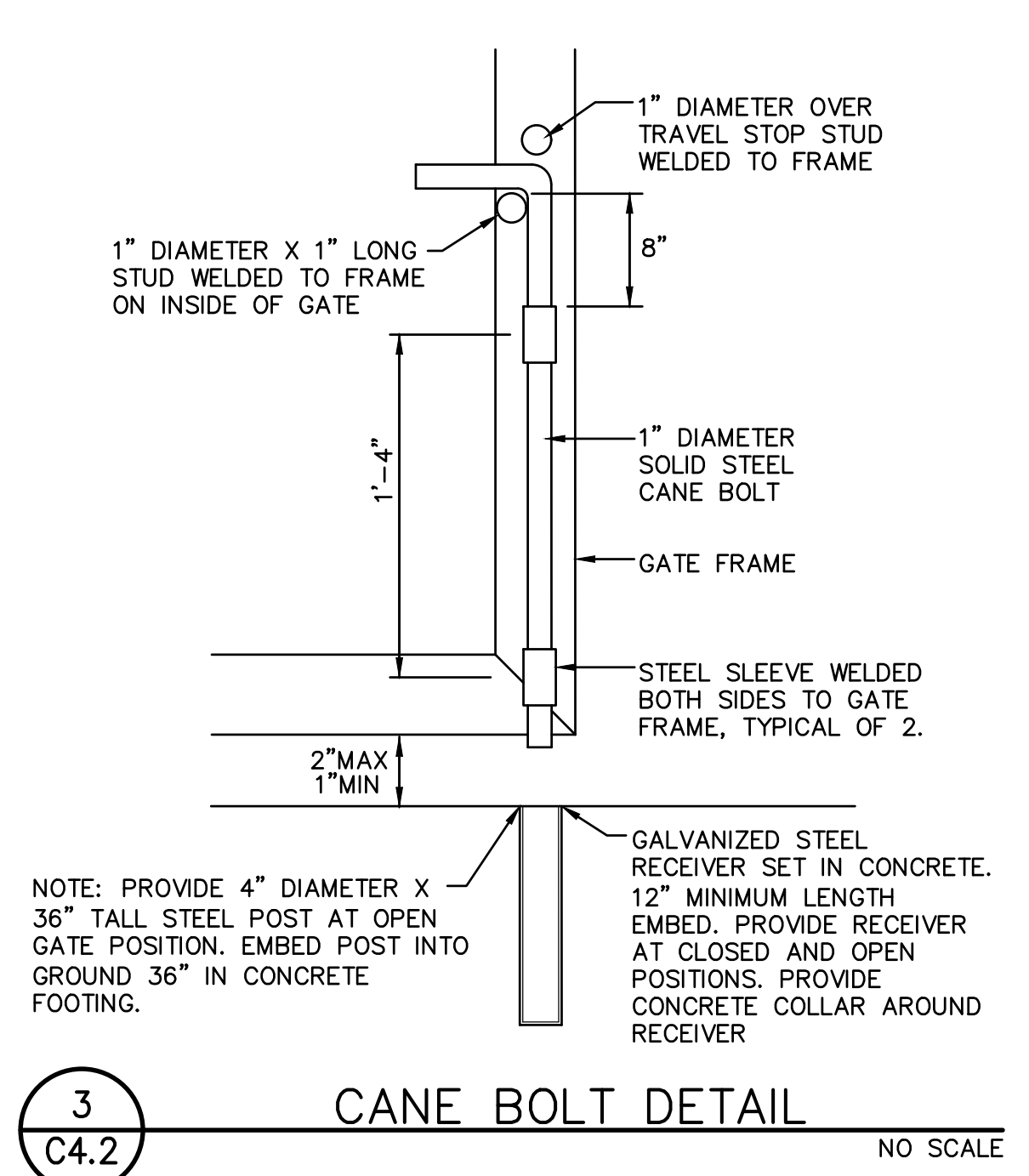
**3**  
C4.1 **GATE APRON**  
NO SCALE



**3**  
C4.1 **GATE APRON**  
NO SCALE

REVISIONS	
NO.	DESCRIPTION

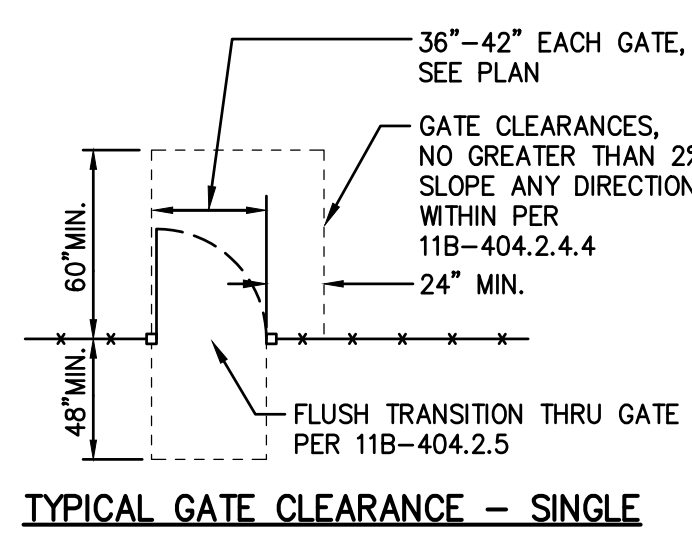
DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023
ISSUANCE:	



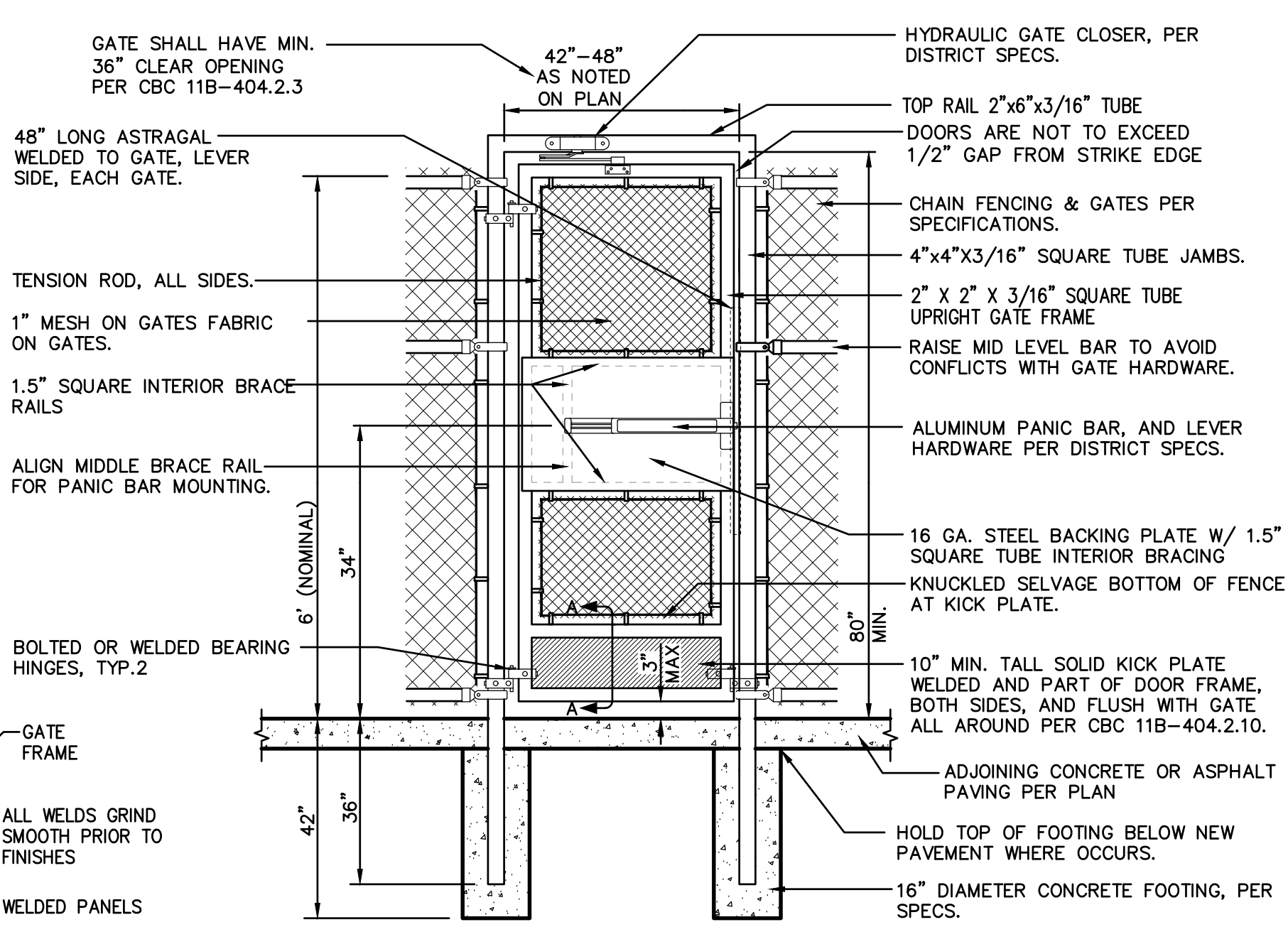
REVISIONS	
NO.	DESCRIPTION

DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023
ISSUANCE:	

FILENAME: I:\23-050\CIVIL\C4.2-050-C4.1.DWG PLOTTED: Thursday, July 20, 2023



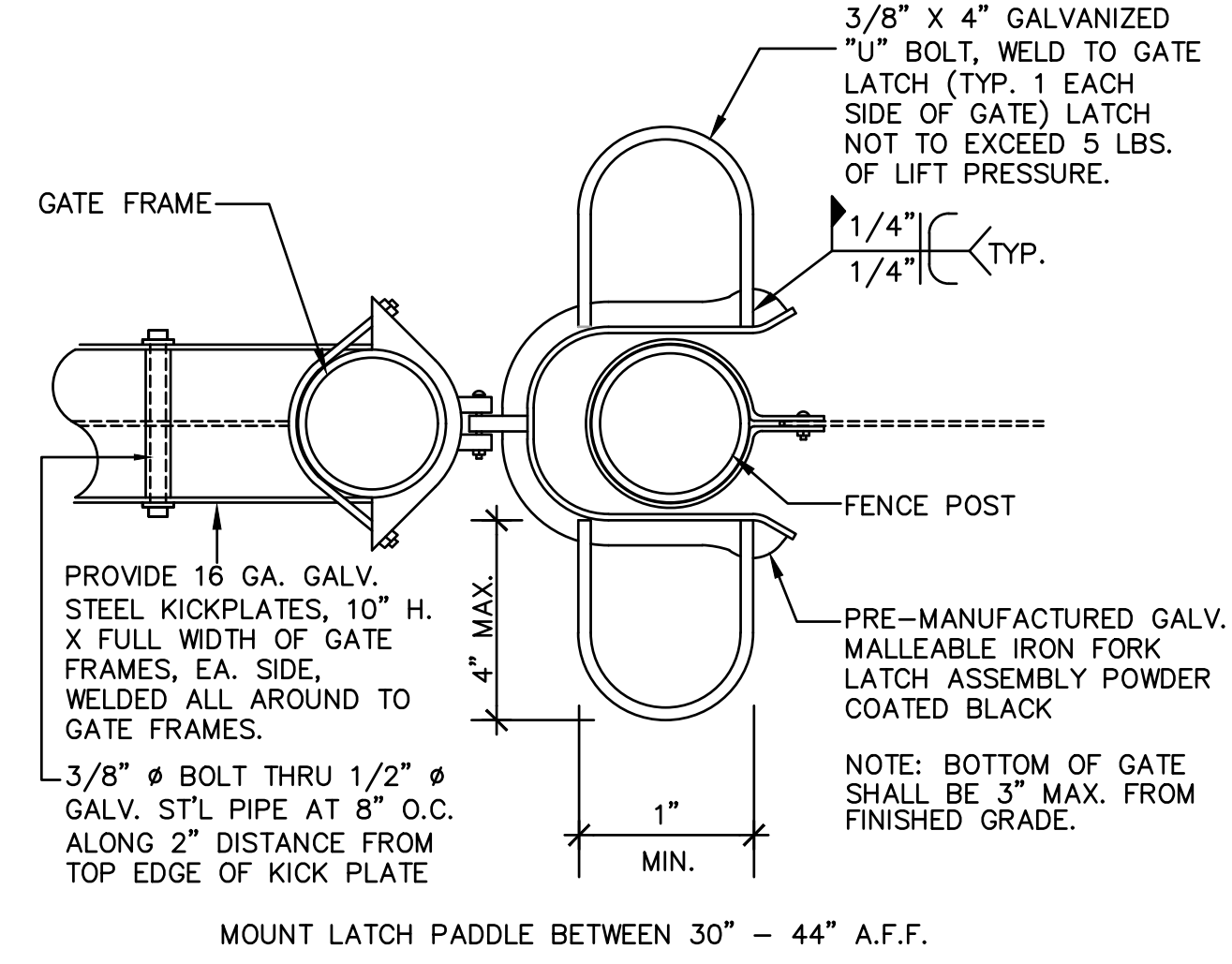
TYPICAL GATE CLEARANCE - SINGLE



SECTION A-A

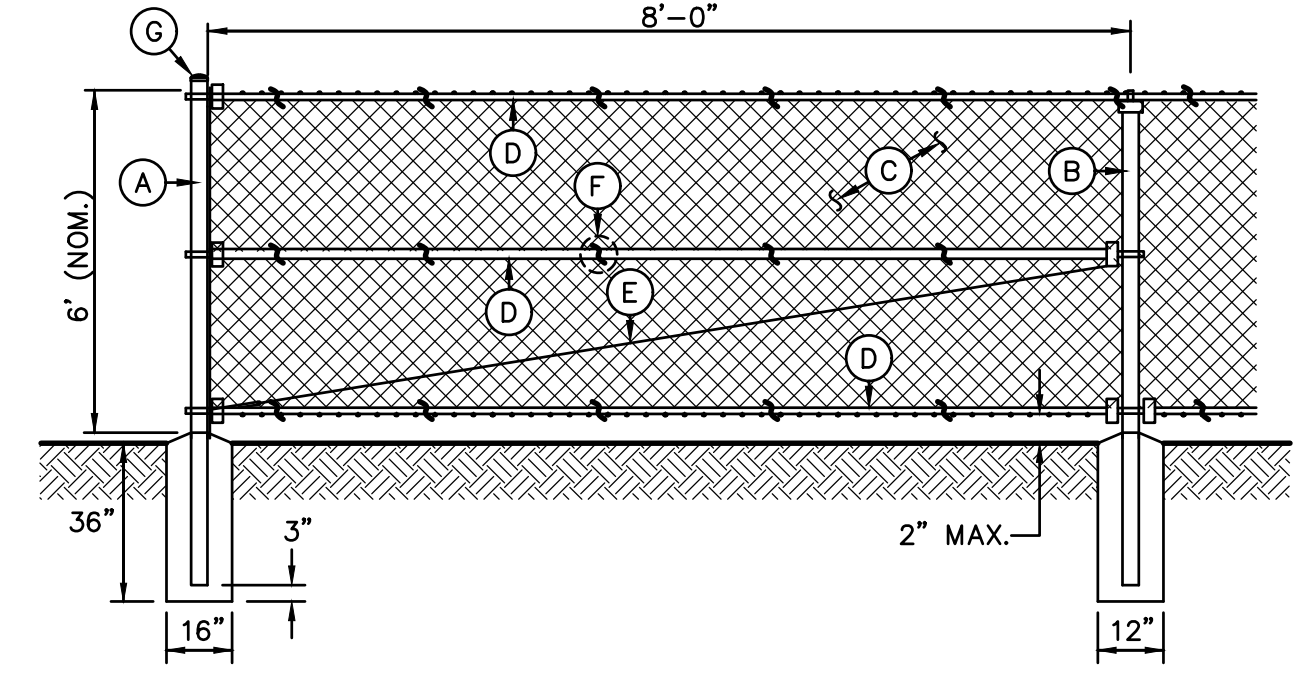
- NOTES:
- METRIC DIMENSIONS ARE NOMINAL EQUIVALENTS TO U.S. DIMENSIONS.
  - FOOTING WIDTH TO BE (4)X POST WIDTH.
  - ALL GATES SHALL BE WELDED AND POWDER COATED TO MATCH PANELS.
  - GATE AND FRAME TO BE FABRICATED OFF SITE BY THIRD PARTY. SEE SPECIFICATIONS.
  - PROVIDE CONTINUOUS WELDS, GRIND AND SAND SMOOTH PRIOR TO POWDER COATING.

Note: All gates shall have a closing speed (per CBC 11B-404.2.8) and opening force (CBC 11B404.2.9). Closers and bearing hinges are important to achieve this criteria.



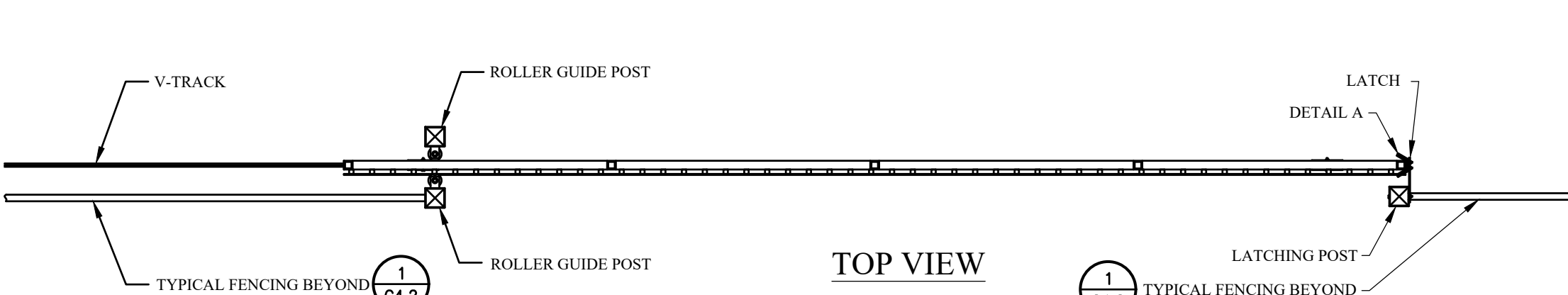
GATE LATCH

4 C4.3 NO SCALE

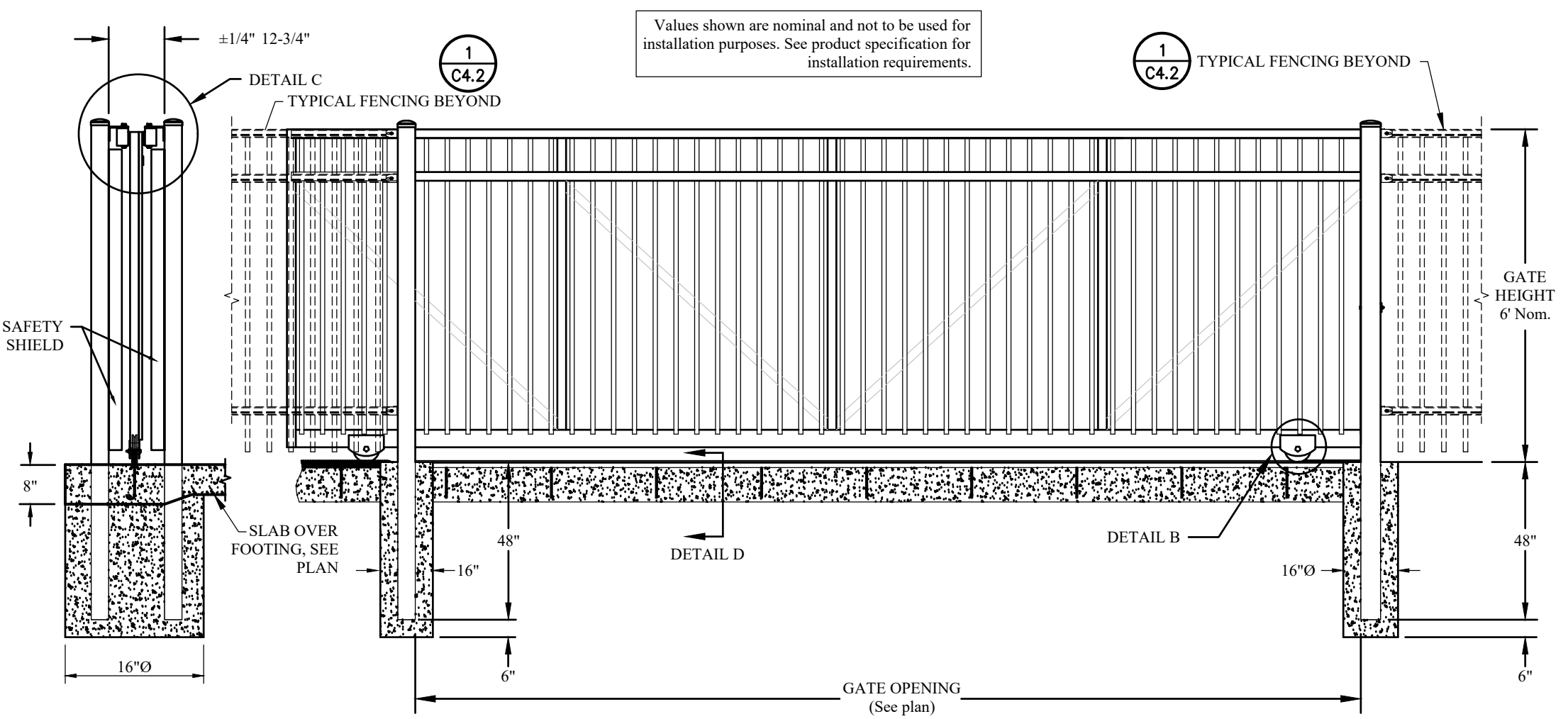


- 1 C4.3 6' TALL CHAIN LINK FENCING NO SCALE
- A - TERMINAL/CORNER - 4.0" OD SCH. 40 GALV. STEEL POST, POWDER COATED BLACK.  
 B - LINE POST - 2.875" OD SCH. 40 GALV. STEEL POST, POWDER COATED BLACK.  
 C - 9 GA. CHAIN LINK FENCE, BLACK VINYL MESH PER PLAN.  
 TYPE A - 1.75" MESH - GALV. FINISH.  
 TYPE B - 1.0" MESH - BLACK VINYL COATING  
 TYPE C - 2.0" MESH - BLACK VINYL COATING  
 TYPE D - 3.5" X 5" DIAMOND MESH WITH PRIVACY SLATS  
 D - 1.66" OD SCH. 40 GALV. STEEL RAILS, POWDER COATED BLACK, TOP AND BOTTOM ALL SECTIONS, MID AT ALL CORNER AND TERMINAL POSTS.  
 E - 3/8" OD ADJUSTABLE INDUSTRIAL TRUSS ROD, POWDER COATED BLACK.  
 F - 9 GA. GALVANIZED STEEL TIES AT 12" OC HORIZ. AND VERT.  
 G - ALL CAPS AND FITTINGS HEAVY INDUSTRIAL GALV. GRADE, POWDER COATED BLACK.

6 C4.3 TYPICAL CHAIN LINK ACCESSIBLE GATE - SINGLE SWING NO SCALE



TOP VIEW

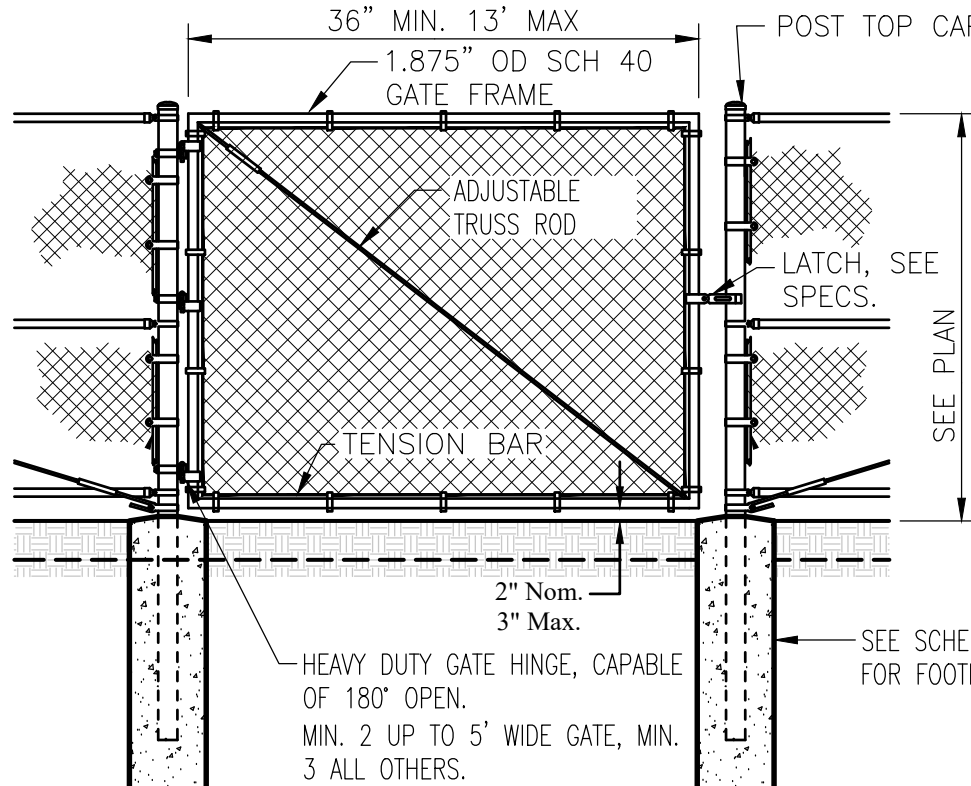


DETAIL C

DETAIL B

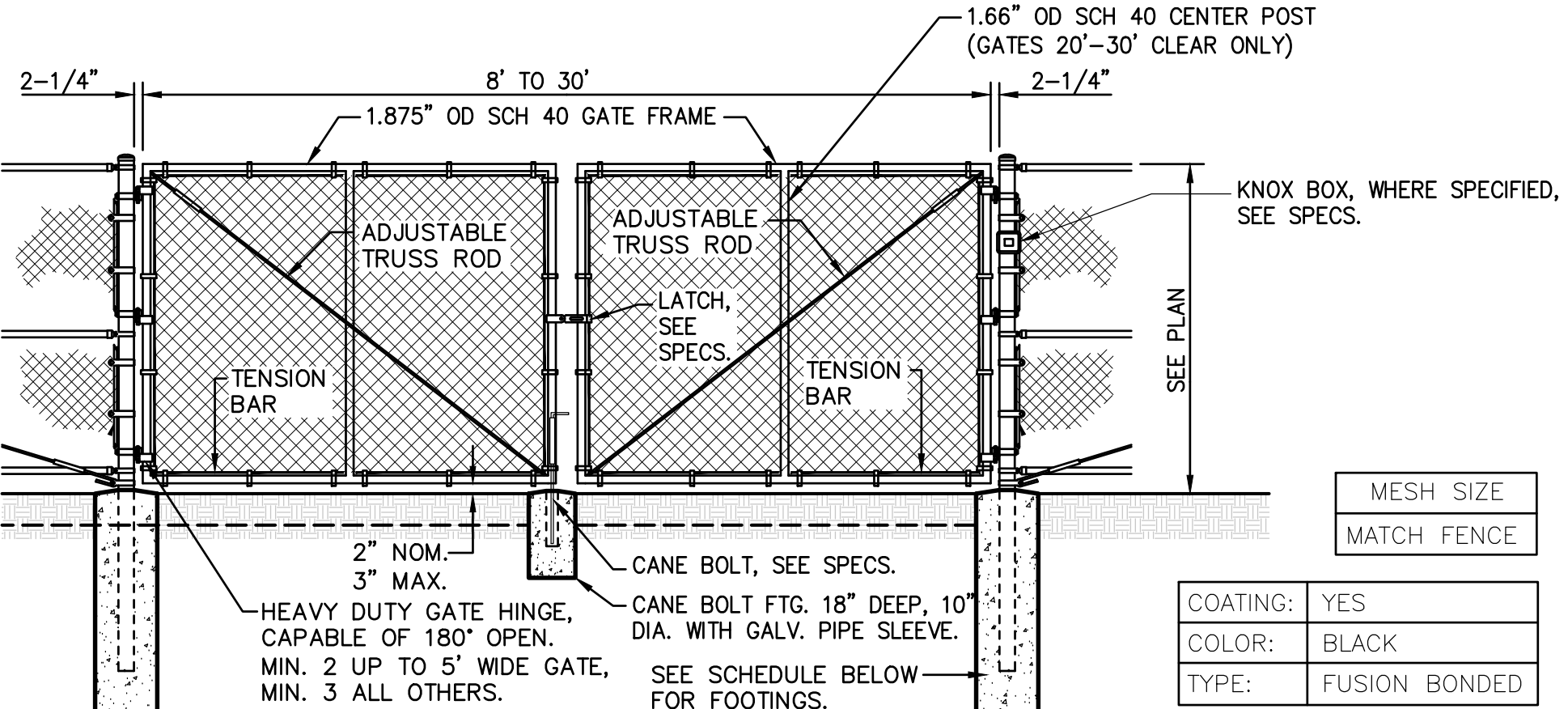
DETAIL A

DETAIL D



- NOTES:
- GATE FRAME SHALL HAVE WELDED CORNERS, NO PRE-MANUFACTURED CORNERS WILL BE ACCEPTED.
  - GRIND ALL WELDS SMOOTH AND RE-GALVANIZED WITH HOT-STICK GALVANIZING PROCESS.

2 C4.3 NOT USED NO SCALE



FENCES TO 9' HEIGHT

GATE POST SCHEDULE	POST DIA.	GATE LEAF	POST EMBED	DEPTH	DIA. (MIN)
4.0" OD	2'-4"	30"	36"	36"	16"
4.0" OD	4.1'-9"	36"	42"	42"	18"
4.0" OD	9.1'-12.5'	42"	48"	48"	18"
6.0" OD	12.6'-18'	42"	48"	48"	24"

FENCES TO 10'-12' HEIGHT

GATE POST SCHEDULE	POST DIA.	GATE LEAF	POST EMBED	DEPTH	DIA. (MIN)
4.0" OD	2'-4"	30"	42"	42"	16"
4.0" OD	4.1'-9"	42"	48"	48"	18"
6.0" OD	9.1'-12.5'	42"	48"	48"	24"
6.0" OD	12.6'-18'	48"	54"	54"	24"

5 C4.3 TYPICAL CHAIN LINK VEHICULAR GATE NON-ACCESSIBLE VEHICULAR GATES ONLY NO SCALE

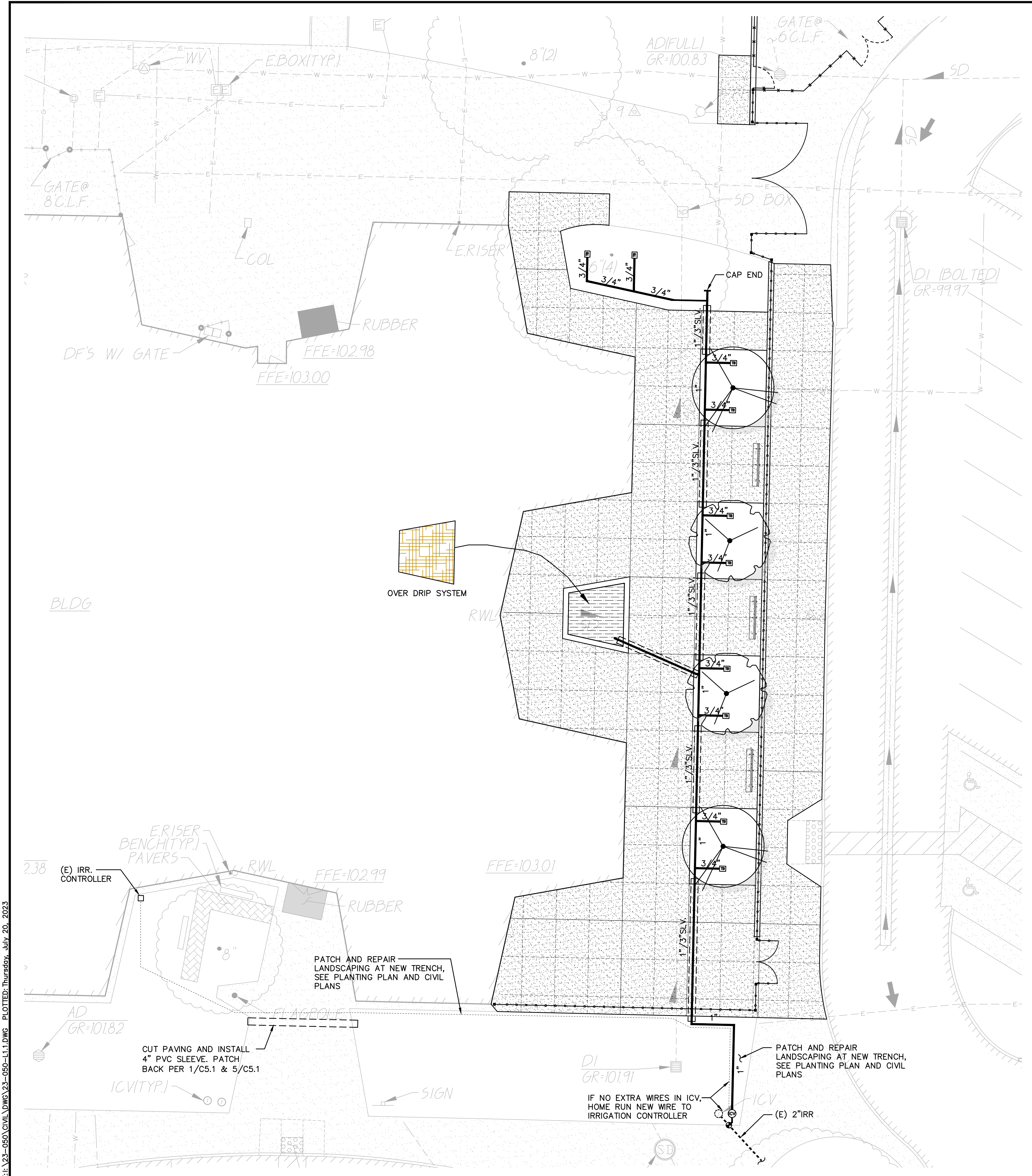
7 C4.3 TYPICAL ORNAMENTAL ROLLING GATE NO SCALE

3 C4.3 NOT USED NO SCALE

REVISIONS

NO.	DESCRIPTION

DRAWN: SMN SCALE: AS NOTED  
 CHECKED: AT PROJECT NO. 23-050  
 DESIGNED: SMN/AT DATE: 05/01/2023  
 ISSUANCE:



**GENERAL SPRINKLER IRRIGATION NOTES**

- DETERMINE LOCATION OF UNDERGROUND UTILITIES. DAMAGE CAUSED BY INSTALLATION OF THIS WORK SHALL BE REPAIRED TO SATISFACTION OF GOVERNING AGENCY OR OWNER AT NO ADDITIONAL COST TO THE OWNER OR TOWARDS THE CONTRACT.
- ALL LOCAL CODES AND ORDINANCES SHALL BE COMPLIED WITH. IF THERE IS A CONFLICT, NOTIFY OWNER IS REPRESENTATIVE IMMEDIATELY.
- LAYOUT ALL WORK PRIOR TO TRENCHING OPERATIONS TO DETERMINE IF MINOR MODIFICATIONS OR ADJUSTMENTS WILL BE REQUIRED. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER IF CONFLICTS ARE FOUND.
- COORDINATE ALL WORK WITH OTHER TRADES SO PROGRESS OF WORK IS NOT INTERRUPTED AND CAN BE COMPLETED IN A TIMELY MANNER
- NO PLANTING SHALL BE STARTED UNTIL ALL SPRINKLER WORK HAS BEEN TESTED AND APPROVED IN PRESENCE OF OWNER'S REPRESENTATIVE.
- REFER TO DISTRICT STANDARD SPECIFICATIONS FOR ADDITIONAL INFORMATION. CONTRACTOR SHALL READ AND ACQUAINT HIMSELF WITH DISTRICT LANDSCAPE AND IRRIGATION STANDARDS PRIOR TO PREPARING BIDS.

**IRRIGATION LEGEND**

SYMBOL	DESCRIPTION:
	POINT OF CONNECTION: PROVIDE ALL FITTINGS, COUPLERS AS NEEDED SEE SPECS.
	EXISTING IRRIGATION CONTROL VALVE, REPLACE BOX WITH NEW.
	NEW IRRIGATION CONTROL VALVE, HUNTER ICV-AS-ADJ WITH ACCU SYNC. VALVE SHALL HAVE PRESSURE REDUCING OPTION.
	PVC SCH 40 IRRIGATION WATER LINE, PER SPECS 24\"/>

**TREE/PLANTING LEGEND**

SYMBOL	DESCRIPTION:
	ACE. - ACER RUBRUM 'OCTOBER GLORY' (RED MAPLE)
	PISTCIA CHINENSIS 'KEITH DAVEY' (CHINESE PISTACHE)
	SHREDDED CEDAR, 2\"/>

\* = DROUGHT TOLERANT SPECIES

**TREE SHADING**

AREA	
<b>PARKING</b>	
N/A = EXISTING PARKING LOT, NO NEW WORK.	
<b>HARDSCAPE</b>	
EXISTING TREE CANOPY (OVER NEW FLATWORK)	519 SF.
NEW TREE 2 @ 50% @ 481 SF=	481 SF.
NEW TREE 2 @ 100% @ 962 SF=	1924 SF.
TOTAL NEW SHADED AREA	2924 SF.
NEW FLATWORK AREA	5,994 SF.
TOTAL HARDSCAPE SHADE %	48%

**TREE MATERIALS LIST**

SIZE	QUANTITY	DESCRIPTION:
24\"/>		

**PLANT MATERIALS LIST**

SIZE	QUANTITY	DESCRIPTION:
XX GAL.	-	NONE

**GENERAL LANDSCAPE NOTES**

- ALL TREES DOUBLE STAKED
- PROVIDE AGRIFORM TABLETS AS FOLLOWS:  
1 - 01 GAL  
2 - 05 GAL  
4 - 15 GAL



WARREN CONSULTING ENGINEERS, INC.  
1117 WINDFIELD WAY, SUITE 110  
EL DORADO HILLS, CA 95762 | (916) 985-1870



Sacramento City Unified School District  
5735 47th Avenue  
Sacramento, CA 95824-4528



Isador Cohen Elementary School  
2023 Fencing

9025 Salmon Falls Drive  
Sacramento, CA 95826

**REVISIONS**

NO.	DESCRIPTION

DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023

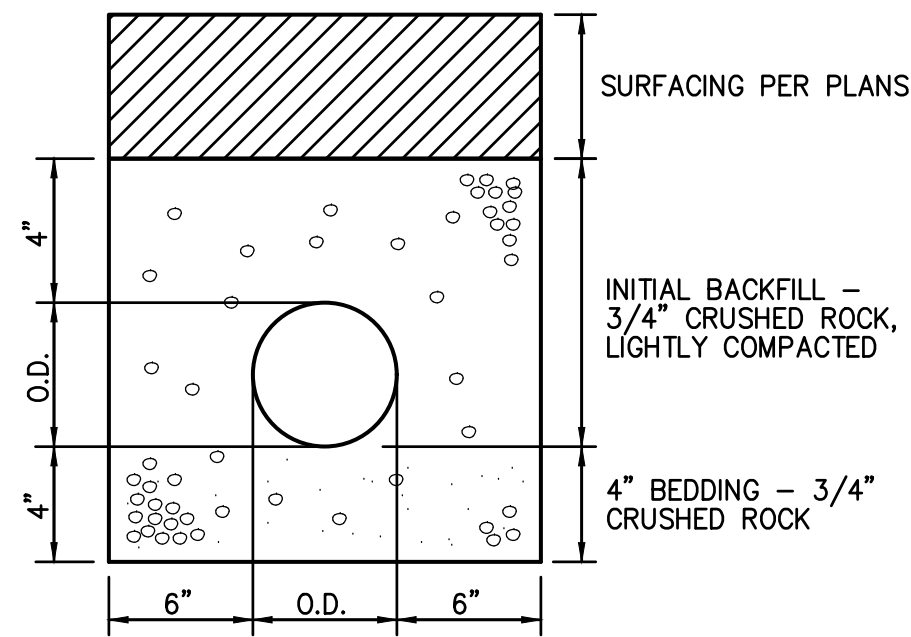
ISSUANCE:  
SHEET TITLE:

**PLANTING AND IRRIGATION PLAN**

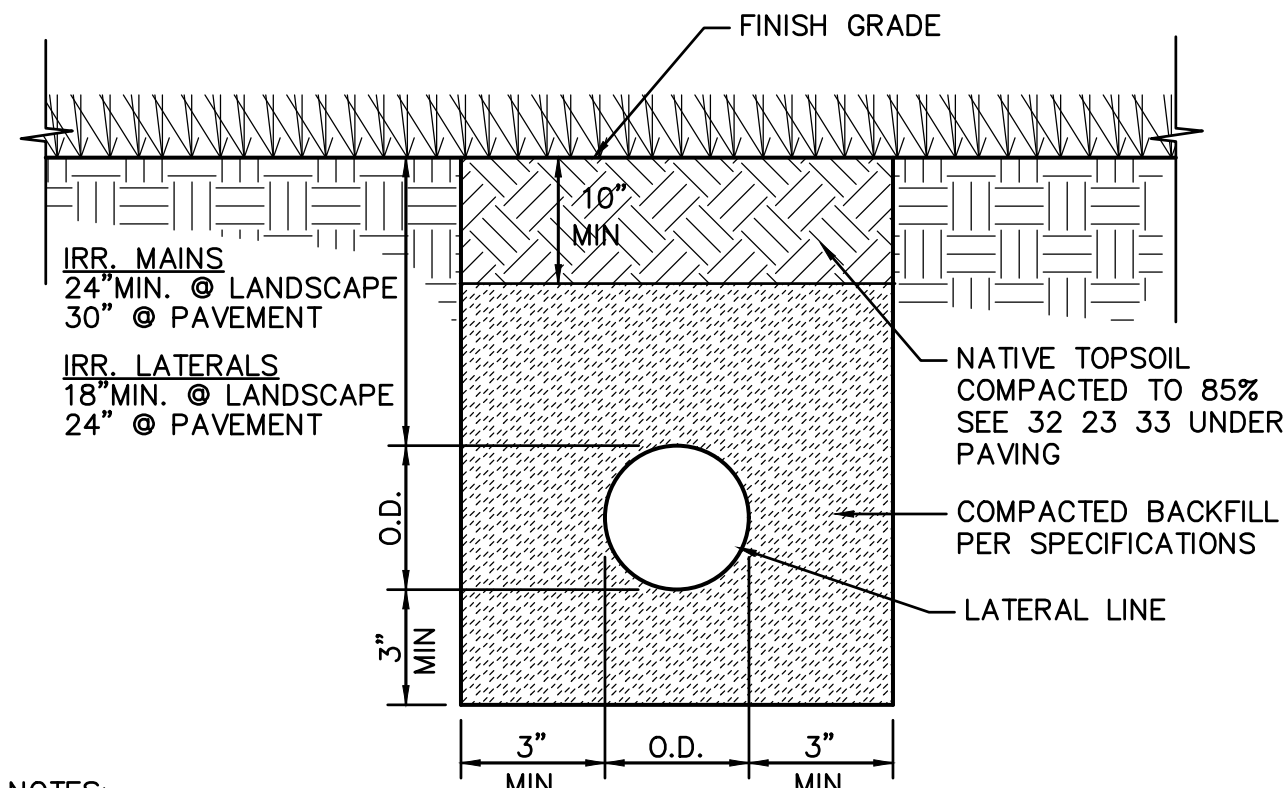
SHEET NO.  
**L1.1**

FILENAME: I:\23-050-Civil\DWG\23-050-L1.DWG PLOTTED: Thursday, July 20, 2023



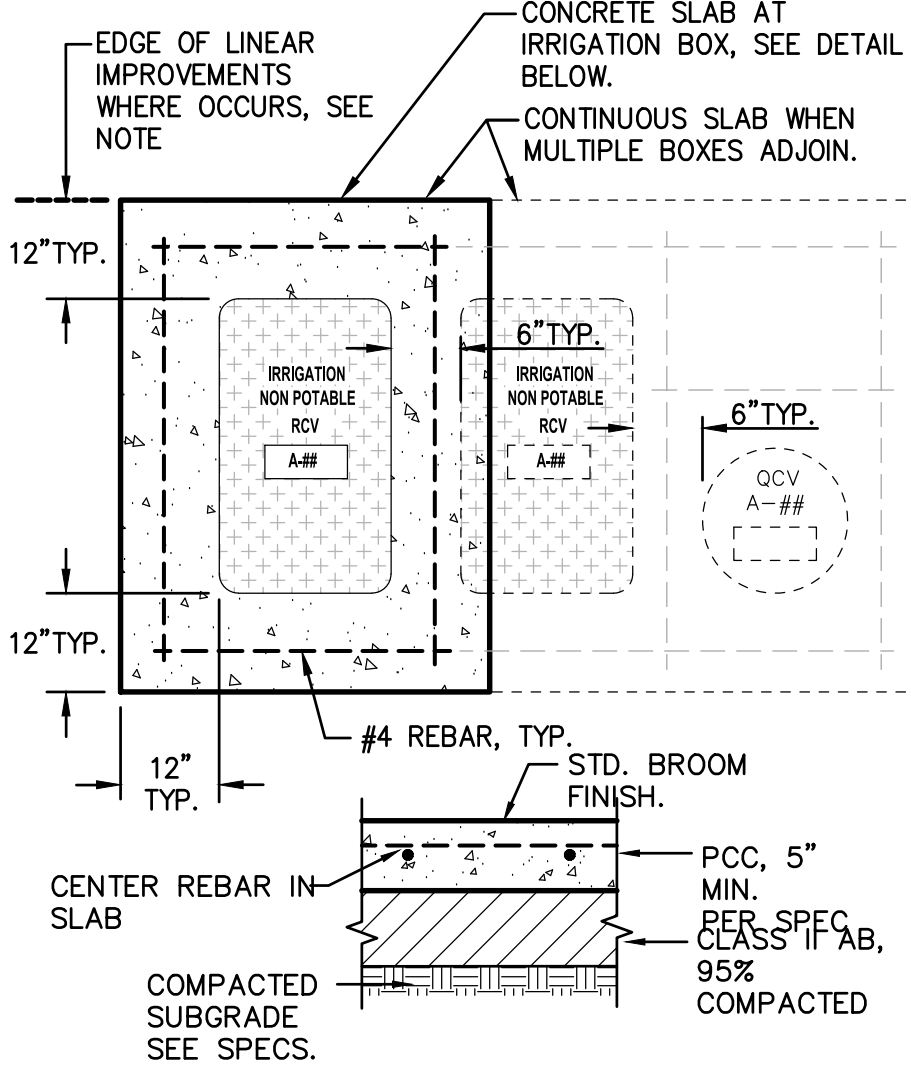


**6**  
L2.1 IRRIGATION SLEEVE  
NO SCALE

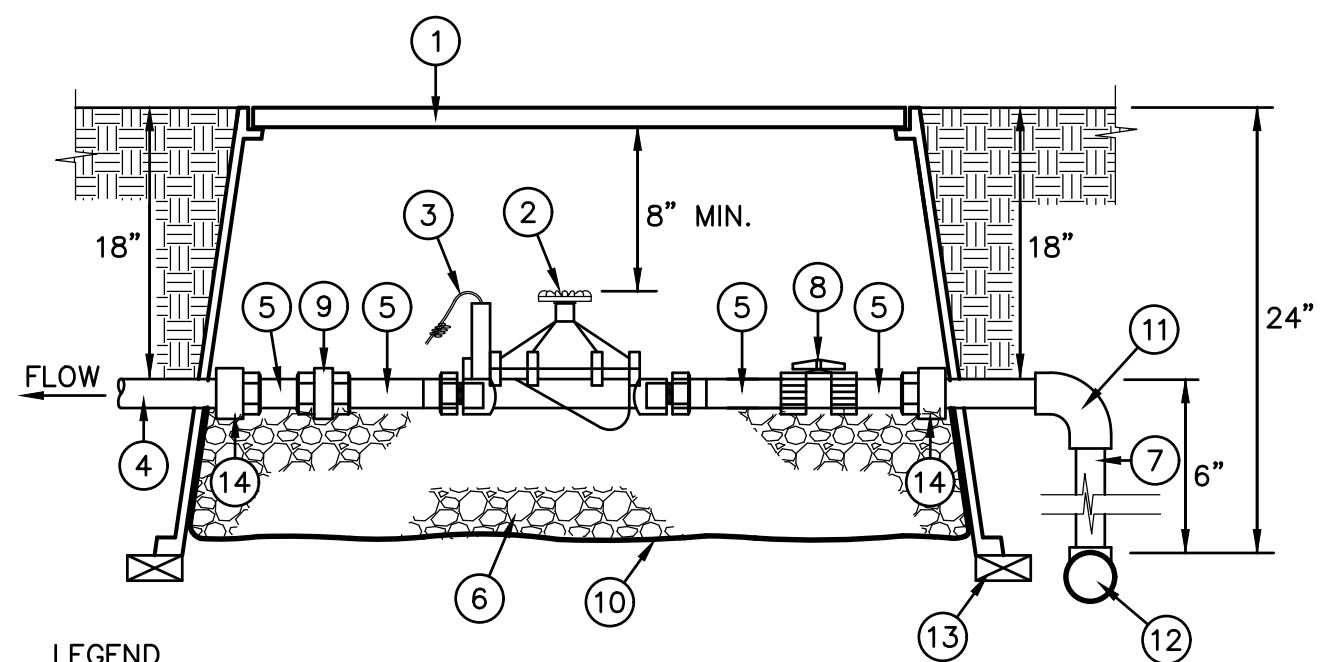


**4**  
L2.1 IRRIGATION TRENCH  
NO SCALE

- NOTES:
- ALIGN ALL BOXES PARALLEL TO EACH OTHER AND ALSO TO ADJOINING PAVING, WALLS, FENCES, BUILDINGS OR OTHER LINEAR IMPROVEMENTS.
  - VALVE BOXES SHALL BE TRAFFIC RATED WITH STEEL LOCKING PLATE LID, PROVIDE MARKINGS AS REQUIRED. CHRISTY B1017 THRU B1730 OR APPROVED EQUAL.
  - PROVIDE AT LEAST 1 REBAR AROUND EACH BOX AND AT 18" O.C.E.W. IN WIDER CONCRETE AREAS, OR PER WALK DETAILS AND PAVING PLAN.
  - LIDS TO BE PERMANENTLY MARKED WITH VALVE # AND STATING "IRRIGATION - NON-POTABLE" PER SPEC.



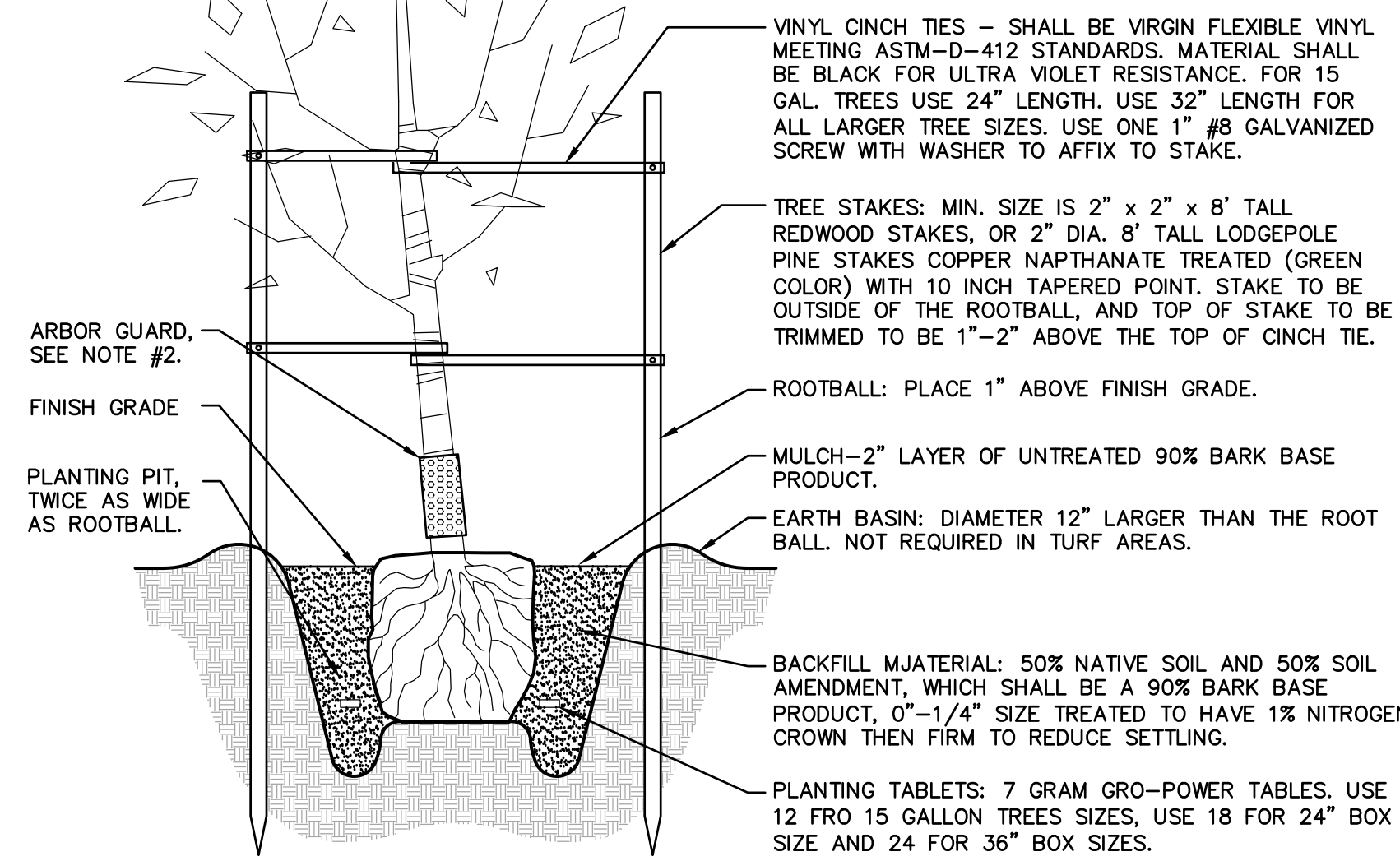
**7**  
L2.1 IRRIGATION VALVE BOX APRON  
NO SCALE



**5**  
L2.1 REMOTE CONTROL VALVE  
NO SCALE

- LEGEND
- |  |                                 |
|--|---------------------------------|
| ① RECTANGULAR VALVE BOX, PER SPECS. TRAFFIC RATED WHERE APPLIES. | ⑧ BRASS BALL VALVE              |
| ② REMOTE CONTROL VALVE   | ⑨ PVC UNION                     |
| ③ SOLENOID PER SPECS   | ⑩ FILTER FABRIC                 |
| ④ SCH 40 PVC LATERAL   | ⑪ SCH. 80 SXS ELL               |
| ⑤ SCH 80 THREAD. NIPPLE 2 @ 4" LONG                              | ⑫ SCH. 40 MAINLINE              |
| ⑥ 6" PEA GRAVEL SUMP   | ⑬ LEVELING BRICKS, MINIMUM OF 4 |
| ⑦ SCH. 80 PVC  | ⑭ PVC ADAPTOR                   |
- NOTES:
- UNIONS TO BE SAME SIDE AS LINE SIZE.
  - METALLIC SHALL ALWAYS BE FEMALE WHEN THREADED CONNECTION TO PVC.
  - SEE SPECS FOR CEMENT AND THREAD SEALANTS SET VALVE BOX FLUSH WITH GRADE AND PROVIDE EXTENSIONS AS REQUIRED.
  - PROVIDE 24" LOOP OF COILED WIRES IN EACH VALVE BOX.
  - ALL CONNECTIONS TO BE WATER TIGHT PER SPECS. NO SPLICES OUTSIDE OF VALVE BOXES.

- NOTES
- VITAMIN B-1: SUPERTHRIVE, LIQUINOX START OR EQUAL. APPLY AS PER MANUFACTURER'S INSTRUCTIONS WITH THE SECOND WATERING OF THE BASIN.
  - INSTALL ARBORGUARD TREE PROTECTION WHEN TREES ARE IN LAWN AREAS ONLY.
  - TREE SHALL HAVE DOMINANT LEADER.
  - TREE STAKES ARE INTENDED TO HOLD THE TREE UPRIGHT. IF NEEDED, TALLER TREE STAKES ARE TO BE USED.
  - TREE BRANCHES EXTENDING MORE THAN 4" OVER A WALKWAY MUST BE PRUNED UP TO AN 80: CLEARANCE PER 1133B.8.6.1.

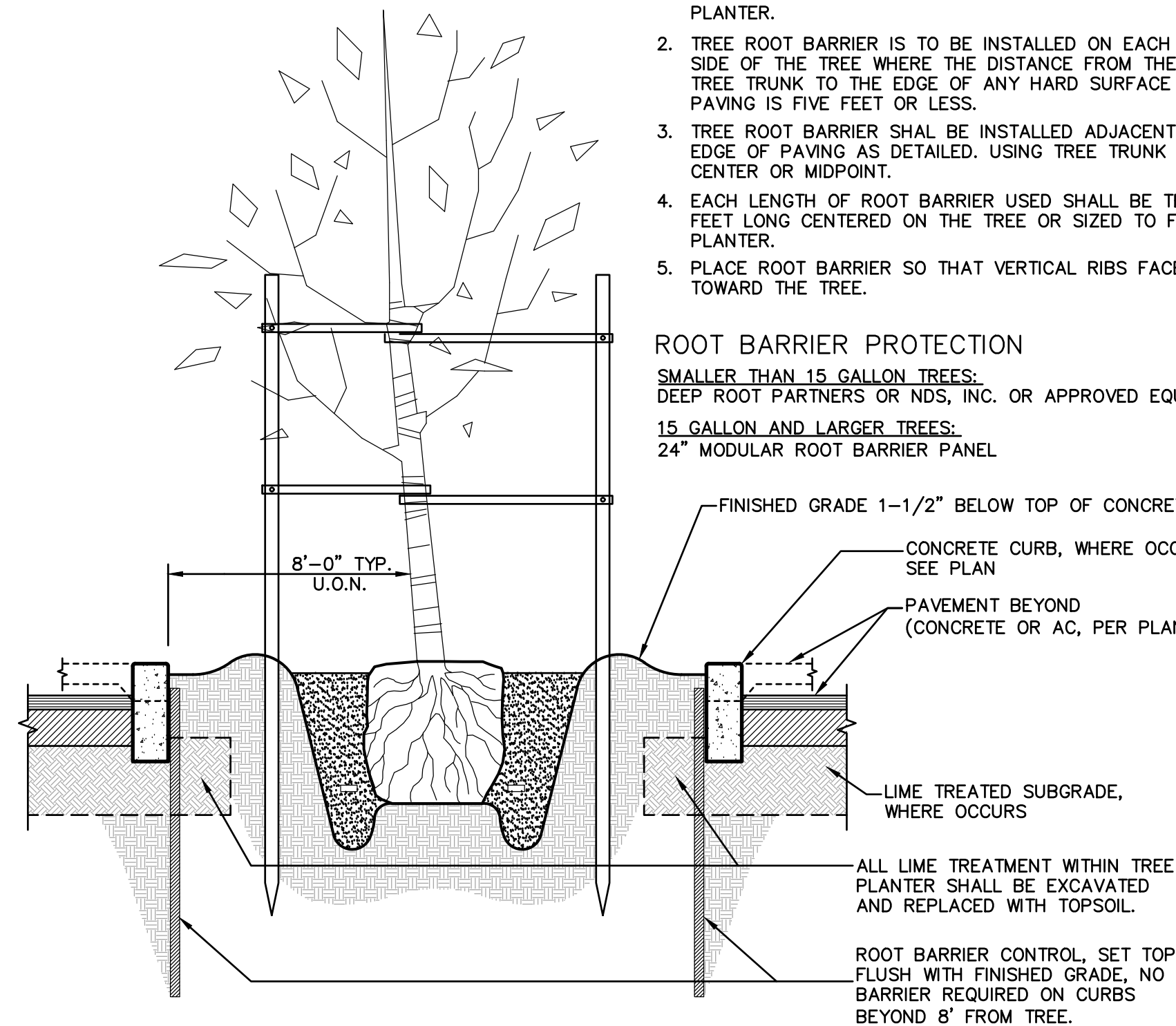


**2**  
L2.1 TREE PLANTING AND STAKING  
NO SCALE

**TREE ROOT BARRIER PROTECTION**

- TREES SHALL BE LOCATED IN CENTER OR MIDPOINT OF PLANTER.
- TREE ROOT BARRIER IS TO BE INSTALLED ON EACH SIDE OF THE TREE WHERE THE DISTANCE FROM THE TREE TRUNK TO THE EDGE OF ANY HARD SURFACE PAVING IS FIVE FEET OR LESS.
- TREE ROOT BARRIER SHALL BE INSTALLED ADJACENT TO EDGE OF PAVING AS DETAILED. USING TREE TRUNK AS CENTER OR MIDPOINT.
- EACH LENGTH OF ROOT BARRIER USED SHALL BE TEN FEET LONG CENTERED ON THE TREE OR SIZED TO FIT PLANTER.
- PLACE ROOT BARRIER SO THAT VERTICAL RIBS FACE TOWARD THE TREE.

**ROOT BARRIER PROTECTION**  
SMALLER THAN 15 GALLON TREES:  
DEEP ROOT PARTNERS OR NDS, INC. OR APPROVED EQUAL.  
15 GALLON AND LARGER TREES:  
24" MODULAR ROOT BARRIER PANEL



**3**  
L2.1 TREE PLANTING AND ROOT BARRIER DETAIL  
NO SCALE

**GENERAL LANDSCAPE NOTES**

- NO PLANTING SHALL BE STARTED UNTIL SPRINKLER IRRIGATION SYSTEM HAS BEEN INSTALLED AND TESTED BY CONTRACTOR IN THE PRESENCE OF OWNER, INSPECTOR, OR OWNER'S REPRESENTATIVE. ANY DEFICIENCIES FOUND SHALL BE CORRECTED BEFORE PLANTING IS STARTED.
- NO PLANTING SHALL BE STARTED UNTIL FINISH GRADING OPERATIONS HAVE BEEN COMPLETED AND APPROVED BY THE OWNER, INSPECTOR, OR OWNER'S REPRESENTATIVE. ANY DEFICIENCIES FOUND SHALL BE CORRECTED BEFORE PLANTING IS STARTED.
- ALL PLANTING MATERIALS ARE SUBJECT TO THE APPROVAL OF THE OWNER, OR OWNER'S REPRESENTATIVE.

**GENERAL PROTECTION NOTES**

- EXISTING CONSTRUCTION: EXECUTE WORK IN AN ORDERLY AND CAREFUL MANNER TO PROTECT CONCRETE WALK, ASPHALT PAVING, HEADERS, WORK OF OTHER TRADES, AND OTHER EXISTING OR NEWLY CONSTRUCTED IMPROVEMENTS.
- EXISTING UTILITIES: DETERMINE THE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID DAMAGE. HAND EXCAVATE AS NEEDED TO MINIMIZE THE POSSIBILITY OF DAMAGE TO UNDERGROUND UTILITIES. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY ALL PARTIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES WITHIN CONSTRUCTION AREA. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO ALL UTILITIES AS A RESULT OF THIS WORK.
- EXISTING UTILITIES: DETERMINE THE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID DAMAGE. HAND EXCAVATE AS NEEDED TO MINIMIZE THE POSSIBILITY OF DAMAGE TO UNDERGROUND UTILITIES. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY ALL PARTIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES WITHIN CONSTRUCTION AREA. CONTRACTOR SHALL REPAIR ANY AND ALL DAMAGE TO ALL UTILITIES AS A RESULT OF THIS WORK.
- LANDSCAPING: PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROTECTION OF LANDSCAPING FROM TRESPASSERS AND VANDALISM UNTIL PROJECT COMPLETION AND THROUGH THE MAINTENANCE PERIOD AS OUTLINED IN THE PROJECT SPECIFICATIONS. TREAT, REPAIR, OR REPLACE LANDSCAPE WORK AS DIRECTED AT NO ADDITIONAL COST TO THE CONTRACT.
- ADVERSE CONDITIONS: WHEN CONDITIONS DETRIMENTAL TO SOIL OR PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBLE FILL, ADVERSE DRAINAGE CONDITIONS, OBSTRUCTIONS, INSECT INFESTATIONS, OR OTHER, CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE BEFORE STARTING OR CONTINUING WITH WORK.

**SEASONAL CONDITIONS**

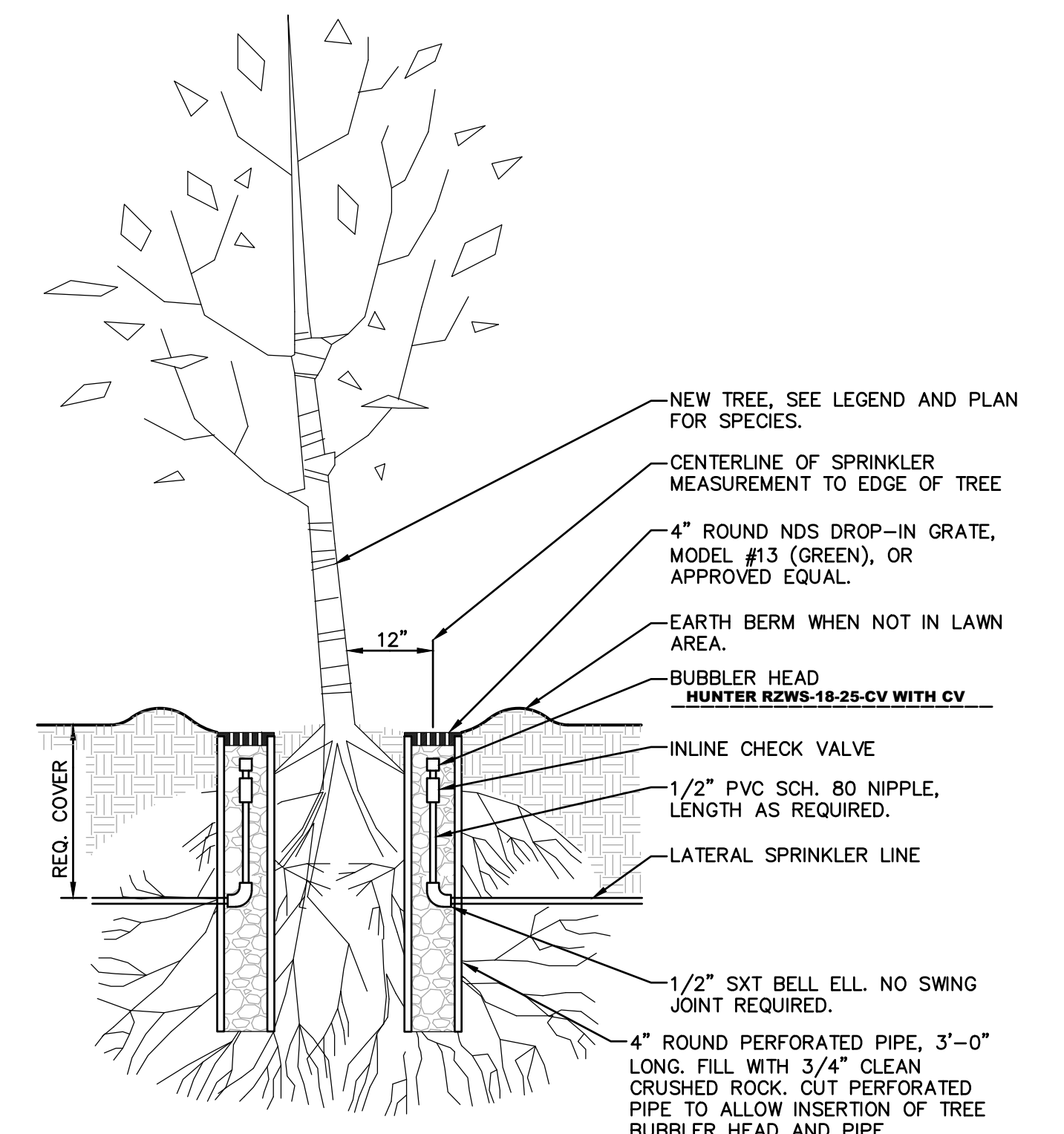
- NO PLANTING SHALL BE PLACED WHEN GROUND IS FROZEN, SNOW COVERED, OR TOO WET, OR IN A CONDITION WHICH IS UNSUITABLE FOR AMENDING SOIL, FINISH GRADING, OR PLACING OF PLANT OR LANDSCAPE MATERIALS.

**SOIL PERCOLATION**

- EXCAVATE 5 PLANTING PITS AT RANDOM LOCATIONS IN PLANTED AREAS OF SITE. FILL EXCAVATED PITS WITH WATER UP TO 1/2 THE DEPTH OF THE PIT. PITS SHOULD DRAIN WITHIN 4 HOURS. IF PLANTING PITS DO NOT DRAIN, NOTIFY INSPECTOR, ENGINEER, OR OWNERS REPRESENTATIVE IMMEDIATELY. PLANTING SHALL NOT BE STARTED UNTIL OWNER'S REPRESENTATIVE HAS RESOLVED A METHOD TO REMEDY THE ISSUE.

**PLANT MATERIAL STANDARDS**

- PLANTS SHALL BE IN ACCORDANCE WITH THE NATIONAL STANDARDS INSTITUTE (ANSI) ANSI Z60.1-AMERICAN STANDARD FOR NURSERY STOCK, EXCEPT AS OTHERWISE STATED IN THE SPECIFICATIONS OR SHOWN ON DRAWINGS. WHERE DRAWINGS AND/OR SPECIFICATIONS ARE IN CONFLICT WITH ANSI Z60.1, DRAWINGS AND SPECIFICATIONS SHALL PREVAIL. PRUNE, THIN OUT AND SHAPE TREES IN ACCORDANCE WITH ANSI STANDARD HORTICULTURAL PRACTICE. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD. UNLESS OTHERWISE DIRECTED BY ENGINEER, DO NOT CUT TREE LEADERS. REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES.



**1**  
L2.1 TREE PLANTING  
NO SCALE

REVISIONS	
NO.	DESCRIPTION

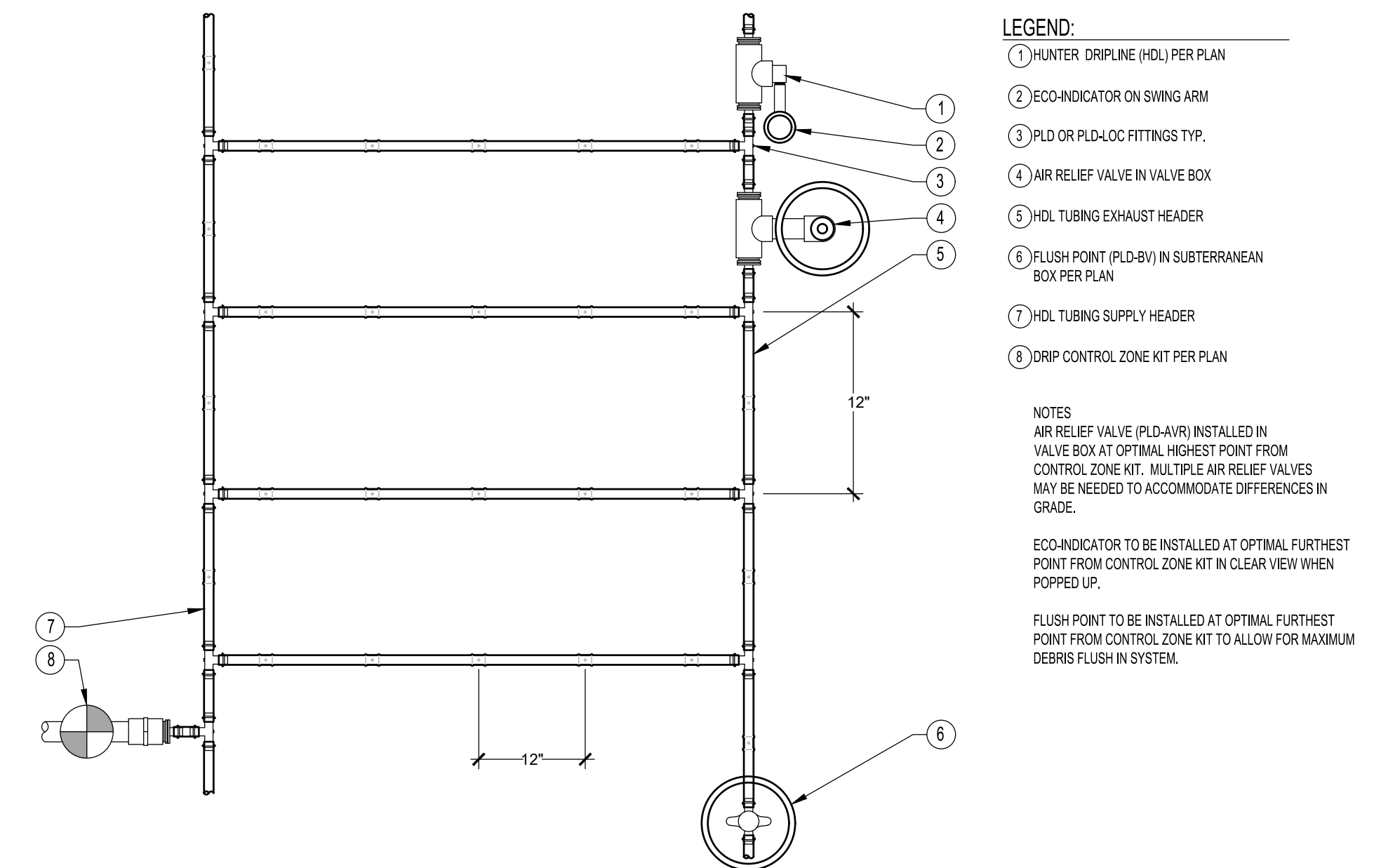
DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023

ISSUANCE:

SHEET TITLE:  
**PLANTING AND IRRIGATION DETAILS**

SHEET NO.  
**L2.1**

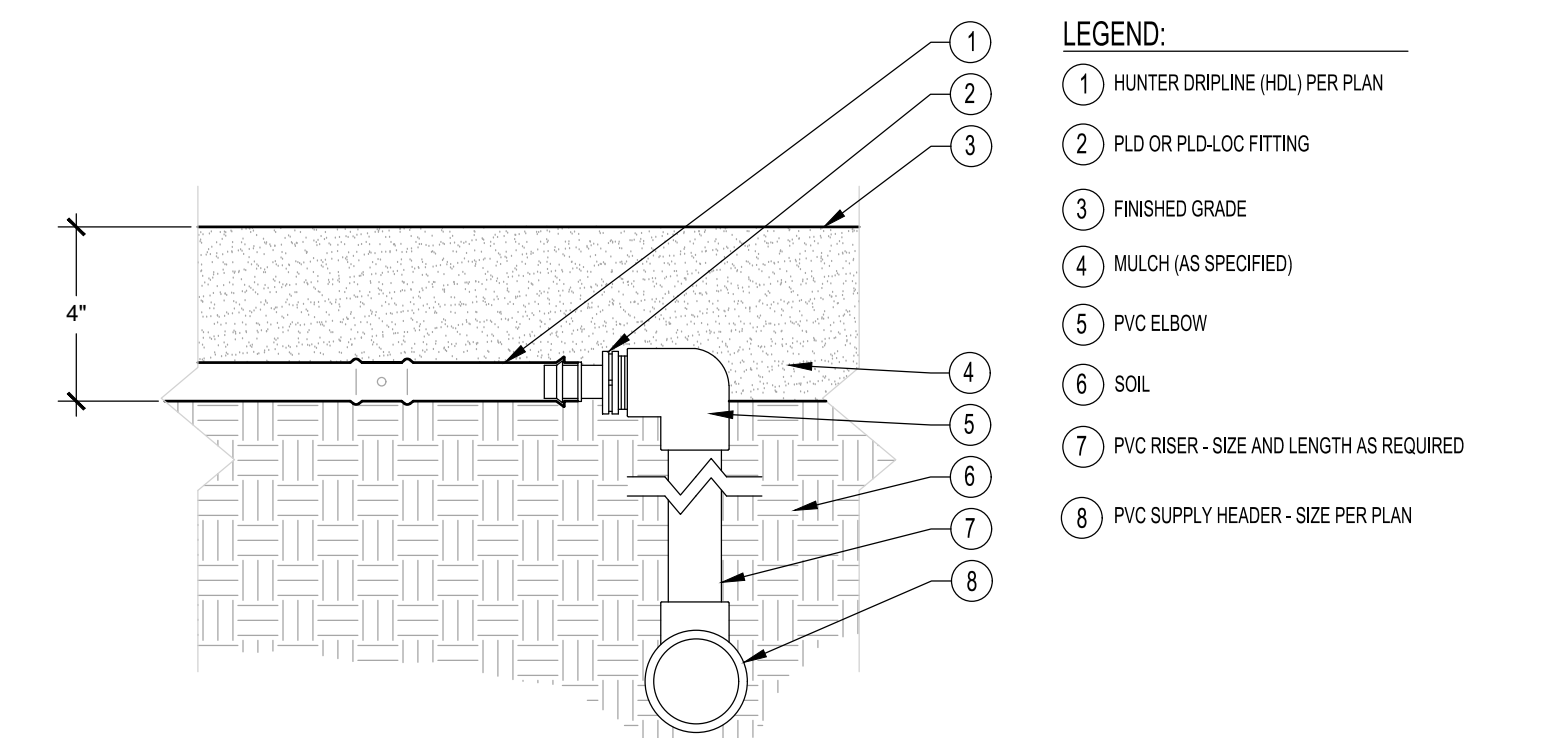
FILENAME: I:\23-050\Civil\DWG\23-050-L1.DWG PLOTTED: Thursday, July 20, 2023



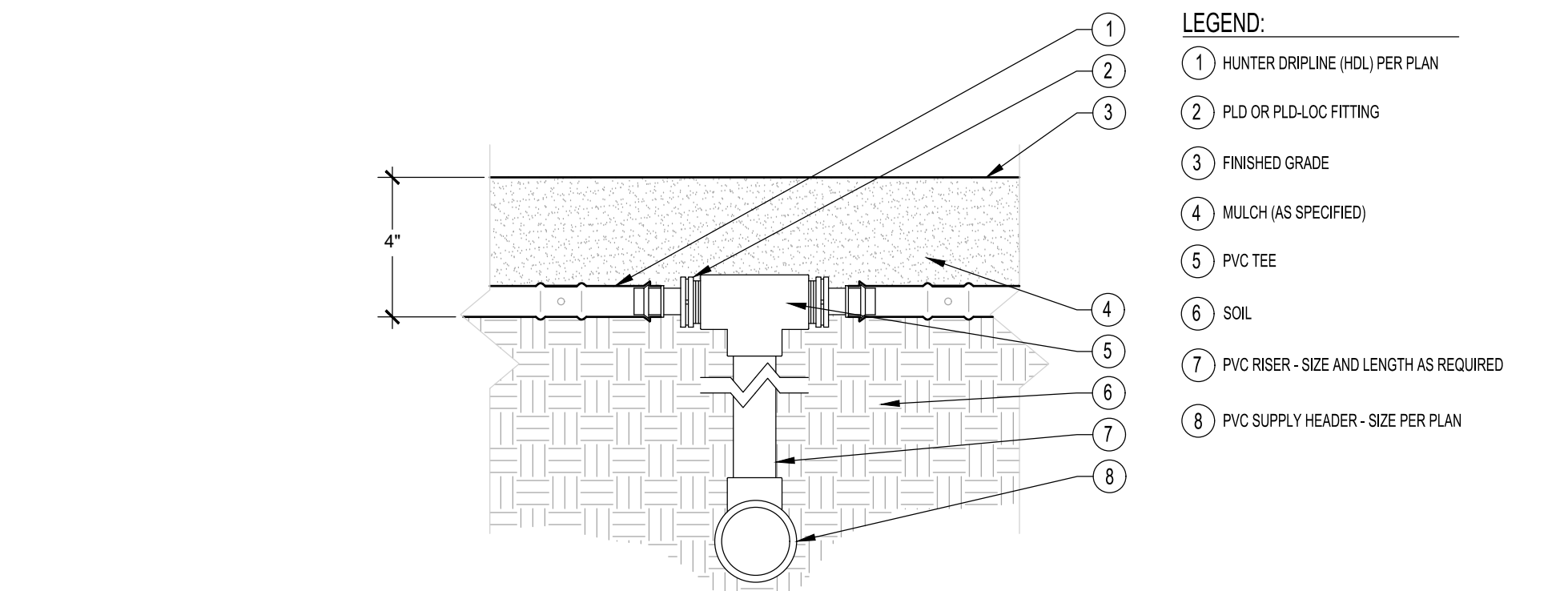
- LEGEND:**
- ① HUNTER DRIPLINE (HDL) PER PLAN
  - ② ECO-INDICATOR ON SWING ARM
  - ③ PLD OR PLD-LOC FITTINGS TYP.
  - ④ AIR RELIEF VALVE IN VALVE BOX
  - ⑤ HDL TUBING EXHAUST HEADER
  - ⑥ FLUSH POINT (PLD-BV) IN SUBTERRANEAN BOX PER PLAN
  - ⑦ HDL TUBING SUPPLY HEADER
  - ⑧ DRIP CONTROL ZONE KIT PER PLAN

**NOTES**  
 AIR RELIEF VALVE (PLD-AVR) INSTALLED IN VALVE BOX AT OPTIMAL HIGHEST POINT FROM CONTROL ZONE KIT. MULTIPLE AIR RELIEF VALVES MAY BE NEEDED TO ACCOMMODATE DIFFERENCES IN GRADE.  
 ECO-INDICATOR TO BE INSTALLED AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT IN CLEAR VIEW WHEN POPPED UP.  
 FLUSH POINT TO BE INSTALLED AT OPTIMAL FURTHEST POINT FROM CONTROL ZONE KIT TO ALLOW FOR MAXIMUM DEBRIS FLUSH IN SYSTEM.

1  
L2.2 **PLANTER BED DRIP SYSTEM** NO SCALE



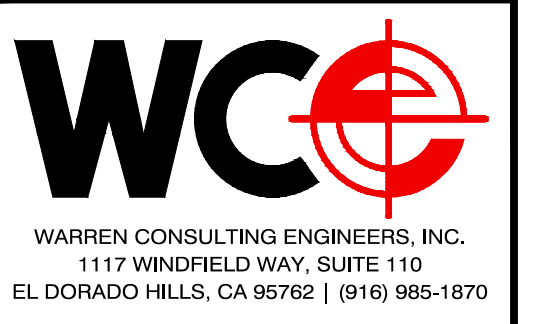
- LEGEND:**
- ① HUNTER DRIPLINE (HDL) PER PLAN
  - ② PLD OR PLD-LOC FITTING
  - ③ FINISHED GRADE
  - ④ MULCH (AS SPECIFIED)
  - ⑤ PVC ELBOW
  - ⑥ SOIL
  - ⑦ PVC RISER - SIZE AND LENGTH AS REQUIRED
  - ⑧ PVC SUPPLY HEADER - SIZE PER PLAN



- LEGEND:**
- ① HUNTER DRIPLINE (HDL) PER PLAN
  - ② PLD OR PLD-LOC FITTING
  - ③ FINISHED GRADE
  - ④ MULCH (AS SPECIFIED)
  - ⑤ PVC TEE
  - ⑥ SOIL
  - ⑦ PVC RISER - SIZE AND LENGTH AS REQUIRED
  - ⑧ PVC SUPPLY HEADER - SIZE PER PLAN

2  
L2.2 **PLANTER BED DRIP RISER** NO SCALE

DSA



**OWNER:**  
  
 Sacramento City Unified School District  
 5735 47th Avenue  
 Sacramento, CA 95824-4528



**Isador Cohen Elementary School 2023 Fencing**  
 9025 Salmon Falls Drive  
 Sacramento, CA 95826

REVISIONS	
NO.	DESCRIPTION

DRAWN: SMN	SCALE: AS NOTED
CHECKED: AT	PROJECT NO. 23-050
DESIGNED: SMN/AT	DATE: 05/01/2023

ISSUANCE:  
 SHEET TITLE:

**PLANTING AND IRRIGATION DETAILS**

SHEET NO.  
**L2.2**