

Direct Cost Report

Activity Resource	Desc	Pcs	Quantity Unit	Unit Cost	Labor	Perm Material	Constr Matl/Exp	Equip Ment	Sub-Contract	Total
<b>BID ITEM = 40</b>										
Description = LIME TREAT PADS				Land Item Unit = SF	SCHEDULE: 1	Takeoff Quan: 75,000.000		Engr Quan: 75,000.000		
7H2O	Water Trailer	1.00	24.00 HR	15.000			374			374
7SMALL	Misc Small Tools	1.00	24.00 HR	20.000			499			499
8E47X	JD 410 Extend HOE	1.00	24.00 HR	95.000				2,371		2,371
8TR36	3600 Gal Water Truck	1.00	24.00 HR	65.000				1,622		1,622
8TRPIC	F250/350 Pick-Up Truck	2.00	48.00 HR	22.000				1,098		1,098
BLADE	Blade/Excav Oper	1.00	24.00 MH	68.150	2,896					2,896
FORE	Foreman	1.00	24.00 MH	79.260	3,260					3,260
GRADE	Grade Checker	1.00	24.00 MH	62.290	2,704					2,704
LAB	General Laborer	2.00	48.00 MH	42.460	4,035					4,035
TEAM	Teamster	1.00	24.00 MH	43.000	2,145					2,145
\$21,004.51	48.0000 MH/SHFT		144.00 MH	[ 2754.98 ]	15,039		874	5,092		21,005
1.0000 Un/Shift *	3.0000 Shifts		48.0000 MH/Unit		5,013.02		291.20	1,697.28		7,001.50
<b>Item Totals: 40 - LIME TREAT PADS</b>										
\$135,004.51	0.0019 MH/SF		144.00 MH	[ 0.11 ]	15,039		874	5,092	114,000	<b>135,005</b>
1.800	75000 SF				0.20		0.01	0.07	1.52	1.80

<b>BID ITEM = 50</b>										
Description = FINEGRADE PADS				Land Item Unit = SF	SCHEDULE: 1	Takeoff Quan: 75,000.000		Engr Quan: 75,000.000		
<b>24510</b>	<b>FG LIME TRT P-LOT, PAD - MED</b>			<b>Quan: 75,000.00 SF</b>	<b>Hrs/Shft: 8.00</b>	<b>Cal: 508</b>	<b>WC: 1</b>			
SG3	FG - Parking Lot		24.00 CH	<b>Prod: 3.0000 S</b>	<b>Lab Pcs: 8.00</b>	<b>Eqp Pcs: 7.00</b>				
7GPS	GPS - Total Sta	1.00	24.00 HR	50.000	1,248					1,248
7WAC	Wacker Plate	1.00	24.00 HR	13.000	324					324
8CA25	SD 84" VIB ROLLER	1.00	24.00 HR	80.000			1,997			1,997
8G140L	CAT 140H BLADE	1.00	24.00 HR	122.000			3,045			3,045
8L310	JD 210 SKIP RT LOADER	1.00	24.00 HR	60.000			1,498			1,498
8SC613	Cat 613 Scraper	1.00	24.00 HR	142.000			3,544			3,544
8TR36	3600 Gal Water Truck	1.00	24.00 HR	65.000			1,622			1,622
8TRPIC	F250/350 Pick-Up Truck	2.00	48.00 HR	22.000			1,098			1,098
BLADE	Blade/Excav Oper	1.00	24.00 MH	68.150	2,896					2,896
FORE	Foreman	1.00	24.00 MH	79.260	3,260					3,260
GRADE	Grade Checker	1.00	24.00 MH	62.290	2,704					2,704
LAB	General Laborer	1.00	24.00 MH	42.460	2,017					2,017
OPER	General Operator	3.00	72.00 MH	62.290	8,111					8,111
TEAM	Teamster	1.00	24.00 MH	43.000	2,145					2,145
\$35,509.33	0.0025 MH/SF		192.00 MH	[ 0.157 ]	21,132		1,572	12,804		35,509
25,000.0000 Un/Shift	3.0000 Shifts *		0.0026 MH/Unit		0.28		0.02	0.17		0.47
<b>Item Totals: 50 - FINEGRADE PADS</b>										
\$35,509.33	0.0025 MH/SF		192.00 MH	[ 0.157 ]	21,132		1,572	12,804		<b>35,509</b>
0.473	75000 SF				0.28		0.02	0.17		0.47

<b>BID ITEM = 60</b>										
Description = FINEGRADE AREAS OUTSIDE BUIDLING PAD				Land Item Unit = SF	SCHEDULE: 1	Takeoff Quan: 80,910.000		Engr Quan: 80,910.000		
<b>19680</b>	<b>FINEGRADE AREAS OUT BUILDING PAD</b>			<b>Quan: 80,910.00 SF</b>	<b>Hrs/Shft: 8.00</b>	<b>Cal: 508</b>	<b>WC: 1</b>			
SGL1	FG - Large Contour, Lndsep		24.00 CH	<b>Prod: 3.0000 S</b>	<b>Lab Pcs: 6.00</b>	<b>Eqp Pcs: 6.00</b>				
7GPS	GPS - Total Sta	1.00	24.00 HR	50.000	1,248					1,248
8D5	D5 DOZER	1.00	24.00 HR	112.000			2,796			2,796
8G140L	CAT 140H BLADE	1.00	24.00 HR	122.000			3,045			3,045

Direct Cost Report

Activity Resource	Desc	Pcs	Quantity Unit	Unit Cost	Labor	Perm Material	Constr Matl/Exp	Equip Ment	Sub-Contract	Total
<b>BID ITEM = 60</b>										
Description =	FINEGRADE AREAS OUTSIDE BUIDLING PAD		Land Item Unit =	SCHEDULE: 1 100 SF	Takeoff Quan:		80,910.000	Engr Quan:	80,910.000	
8L310	JD 210 SKIP RT LOADER	1.00	24.00 HR	60.000				1,498		1,498
8TR36	3600 Gal Water Truck	1.00	24.00 HR	65.000				1,622		1,622
8TRPIC	F250/350 Pick-Up Truck	2.00	48.00 HR	22.000				1,098		1,098
BLADE	Blade/Excav Oper	1.00	24.00 MH	68.150	2,896					2,896
FORE	Foreman	1.00	24.00 MH	79.260	3,260					3,260
LAB	General Laborer	1.00	24.00 MH	42.460	2,017					2,017
OPER	General Operator	2.00	48.00 MH	62.290	5,407					5,407
TEAM	Teamster	1.00	24.00 MH	43.000	2,145					2,145
\$27,032.17		0.0017 MH/SF	144.00 MH	[ 0.108 ]	15,725		1,248	10,059		27,032
26,970.0000	Un/Shift	3.0000 Shifts	* 0.0018 MH/Unit		0.19		0.02	0.12		0.33
<b>Item Totals: 60 - FINEGRADE AREAS OUTSIDE BUIDLING PAD</b>										
\$27,032.17		0.0017 MH/SF	144.00 MH	[ 0.108 ]	15,725		1,248	10,059		27,032
0.334		80910 SF			0.19		0.02	0.12		0.33

<b>BID ITEM = 70</b>										
Description =	10% MARKUP		Land Item Unit =	SCHEDULE: 1 100 LS	Takeoff Quan:		1.000	Engr Quan:	1.000	
<b>99110</b>	<b>10% MARKUP</b>		<b>Quan:</b>	<b>1.00 LS</b>	<b>Hrs/Shft:</b>	<b>8.00</b>	<b>Cal: 508</b>	<b>WC: 1</b>		
Subtotal \$317,605 x 10% = \$31,761.00										
3OPRO	PROFIT	1.00	1.00 LS	31,685.000			31,685			31,685
<b>Item Totals: 70 - 10% MARKUP</b>										
\$31,685.00				[ ]			31,685			31,685
31,685.000		1 LS					31,685.00			31,685.00

\$348,530.53 \*\*\* Report Totals \*\*\* 888.00 MH 96,735 66,392 67,403 118,000 **348,531**

>>> indicates Non Additive Activity

-----Report Notes:-----

The estimate was prepared with TAKEOFF Quantities.

This report shows TAKEOFF Quantities with the resources.

Bid Date: 03/15/23 Owner: Clark & Sullivan Engineering Firm:  
 Estimator-In-Charge: Galicz

JOB NOTES

\* on units of MH indicate average labor unit cost was used rather than base rate.

[ ] in the Unit Cost Column = Labor Unit Cost Without Labor Burdens

In equipment resources, rent % and EOE % not = 100% are represented as XXX%YYY where XXX=Rent% and YYY=EOE%

-----Calendar Codes-----

- 410 410 hr week 4-10hr days
- 508 40 HR WEEK, 5-8HR DAYS (Default Calendar)
- 509 5 x 9HR
- 510 50 hr week 5 - 10 hr days
- 585 5 X 8.5
- 5N0 10 HRS NIGHT
- 5N8 Five Night 8 Hour

Option No. 1 - Clean

O.C. Jones & Sons, Inc.  
23032DG-1  
Donat Galicz

KEMBLE-CHAVEZ ELEM SCHOOL PCO INC 2

**Direct Cost Report**

Activity Resource	Desc	Quantity Pcs	Unit	Unit Cost	Labor	Perm Material	Constr Matl/Exp	Equip Ment	Sub- Contract	Total
<b>BID ITEM = 1020</b>										
Description = OFF-HAUL SPOILS			Land Item Unit =	SCHEDULE: 1 100		LD	Takeoff Quan: 125.000		Engr Quan: 125.000	
<b>19375</b>	<b>LOAD ADL/HAZ FROM PILE</b>				<b>Quan: 1,100.00 CY</b>	<b>Hrs/Shift: 8.00</b>	<b>Cal: 508</b>	<b>WC: 1</b>		
EXL1	(Mod) Load Spoils - 966/972		24.00 CH	Prod: 3.0000 S		Lab Pcs: 4.00		Eqp Pcs: 4.00		
8L544	JD 544 RT LOADER	1.00	24.00 HR	95.000			2,371			2,371
8TR25	2500 Gal Water Truck	1.00	24.00 HR	53.000			1,323			1,323
8TRPIC	F250/350 Pick-Up Truck	2.00	48.00 HR	22.000			1,098			1,098
FORE	Foreman	1.00	24.00 MH	79.260	3,260					3,260
LAB	General Laborer	1.00	24.00 MH	42.460	2,017					2,017
OPER	General Operator	1.00	24.00 MH	62.290	2,704					2,704
TEAM	Teamster	1.00	24.00 MH	43.000	2,145					2,145
\$14,918.32	0.0872 MH/CY		96.00 MH	[ 5.052 ]	10,126			4,792		14,918
366.6667	Un/Shift	3.0000	Shifts	*	0.0873 MH/Unit			9.21	4.36	13.56
<b>19391</b>	<b>OFF-HAUL SURPLUS CLEAN SOIL</b>				<b>Quan: 1,100.00 CY</b>	<b>Hrs/Shift: 8.00</b>	<b>Cal: 508</b>	<b>WC: 1</b>		
Off-haul Clean Soil - Excludes off-hauling lime treated soil										
1,100/9CY = 125 loads										
5105	Haul Exc (Load)	1.00	125.00 LD	300.000		37,500				37,500
8RSWEP	==> RENTAL SWEEPER	1.00	24.00 HR	200.000			4,800			4,800
8RSWTR	==> Sweeper Travel Time	1.00	6.00 HR	150.000			936			936
\$43,236.00				[ ]		37,500	5,736			43,236
						34.09	5.21			39.31
<b>99415</b>	<b>EQUIPMENT MOVES</b>				<b>Quan: 1.00 EA</b>	<b>Hrs/Shift: 8.00</b>	<b>Cal: 508</b>	<b>WC: 1</b>		
One move-in to off-haul clean soil prior to lime treat, second mobilization to bring back loader to off-haul lime treated soil later										
8MOVE3	==> Zone 3 Move	1.00	1.00 EA	610.000			634			634
<b>99997</b>	<b>10% MARKUP</b>				<b>Quan: 1.00 LS</b>	<b>Hrs/Shift: 8.00</b>	<b>Cal: 508</b>	<b>WC: 1</b>		
Subtotal \$317,605 x 10% = \$31,761.00										
3OPRO	PROFIT	1.00	1.00 LS	5,879.000			5,879			5,879
<b>====&gt; Item Totals: 1020 - ##### NON-ADDITIVE BIDITEM #####</b>										
\$64,667.72	0.7680 MH/LD		96.00 MH	[ ]	10,126		43,379	11,163		<b>64,668</b>
517.342	125 LD				81.01		347.03	89.30		<b>517.34</b>

\$0.00 \*\*\* Report Totals \*\*\*

>>> indicates Non Additive Activity  
-----Report Notes:-----  
The estimate was prepared with TAKEOFF Quantities.  
This report shows TAKEOFF Quantities with the resources.

Price per Load \$518

Bid Date: 03/15/23 Owner: Clark & Sullivan Engineering Firm:  
Estimator-In-Charge: Galicz

**JOB NOTES**

Option No. 2 - Lime

O.C. Jones & Sons, Inc.  
23032DG-1  
Donat Galicz

KEMBLE-CHAVEZ ELEM SCHOOL PCO INC 2

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09/08/2023 8:00

**Direct Cost Report**

Activity Resource	Desc	Quantity Pcs	Unit	Unit Cost	Labor	Perm Material	Constr Matl/Exp	Equip Ment	Sub- Contract	Total
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**BID ITEM = 1030** Land Item SCHEDULE: 1 100  
Description = OFF-HAUL LIME Unit = LD Takeoff Quan: 25.000 Engr Quan: 25.000

**19375 LOAD ADL/HAZ FROM PILE** Quan: 220.00 CY Hrs/Shft: 8.00 Cal: 508 WC: 1

EXL1	(Mod) Load Spoils - 966/972		8.00 CH	Prod:	1.0000 S	Lab Pcs:	4.00	Eqp Pcs:	3.00	
8L544	JD 544 RT LOADER	1.00	8.00 HR	95.000			790		790	
8TR25	2500 Gal Water Truck	1.00	8.00 HR	53.000			441		441	
8TRPIC	F250/350 Pick-Up Truck	1.00	8.00 HR	22.000			183		183	
FORE	Foreman	1.00	8.00 MH	79.260	1,087				1,087	
LAB	General Laborer	1.00	8.00 MH	42.460	672				672	
OPER	General Operator	1.00	8.00 MH	62.290	901				901	
TEAM	Teamster	1.00	8.00 MH	43.000	715				715	
\$4,789.74	0.1454 MH/CY		32.00 MH	[ 8.42 ]	3,375		1,414		4,790	
220.0000 Un/Shift	1.0000 Shifts	*	0.1455 MH/Unit		15.34		6.43		21.77	

**19391 OFF-HAUL SURPLUS LIME SOIL** Quan: 225.00 CY Hrs/Shft: 8.00 Cal: 508 WC: 1

Off-haul Lime Treated

225/9CY = 25 loads

5105	Haul Exc (Load)	1.00	25.00 LD	300.000			7,500		7,500	
8RSWEP	==> RENTAL SWEEPER	1.00	8.00 HR	200.000			1,600		1,600	
8RSWTR	==> Sweeper Travel Time	1.00	2.00 HR	150.000			312		312	
\$9,412.00				[ ]			7,500	1,912	9,412	
							33.33	8.50	41.83	

**99415 EQUIPMENT MOVES** Quan: 1.00 EA Hrs/Shft: 8.00 Cal: 508 WC: 1

8MOVE3 ==> Zone 3 Move 1.00 1.00 EA 610.000 634 634

**99997 10% MARKUP** Quan: 1.00 LS Hrs/Shft: 8.00 Cal: 508 WC: 1

Subtotal \$317,605 x 10% = \$31,761.00

30PRO PROFIT 1.00 1.00 LS 1,484.000 1,484 1,484

====> Item Totals: 1030 - ##### NON-ADDITIVE BIDITEM #####										
\$16,320.14	1.2800 MH/LD		32.00 MH	[ ]	3,375		8,984	3,961		16,320
652.806	25 LD				135.01		359.36	158.43		652.81

**\$0.00 \*\*\* Report Totals \*\*\***

>>> indicates Non Additive Activity

-----Report Notes:-----

The estimate was prepared with TAKEOFF Quantities.

This report shows TAKEOFF Quantities with the resources.

Bid Date: 03/15/23 Owner: Clark & Sullivan Engineering Firm:  
Estimator-In-Charge: Galicz

**JOB NOTES**

\* on units of MH indicate average labor unit cost was used rather than base rate.

Price per Load \$653



Project Management · Civil/Structural Engineering · Urban Design · Land Planning  
Entitlements · Right-of-Way/Permitting · Surveying · Construction Staking · Graphics

ADDITIONAL WORK PROPOSAL # 1654

CLIENT: Balfour Beatty/ClarkSullivan

MVE JOB NO: NC23068

PROJECT: Kemble-Chavez E.S. Inc 2

DATE: 5/24/2023

DESCRIPTION OF TASKS	VALUE
<p><b>5/24/2023 - AWP #1654 – Increment #2 (Rough Grade/Pad Certifications &amp; Wet Utilities)</b></p> <p><b><u>FIELD TIME</u></b></p> <p><b>1) Site Control:</b> Establish onsite horizontal and vertical control points. Points will be based on engineer-provided project control (to include Northings, Eastings, Elevation &amp; Description) and protected by contractor for the life of the project. If elevations need to be brought in or control needs to be re-established it will be considered extra work.</p> <p><b>2) Rough Grade: BUILDING PADS</b> – Provide 10' by 10' offset stakes for each building envelope corner. Provide one (1) stake at 100' intervals around the building perimeter. <b>HIGH/LOWS</b> – Provide twenty (20) stakes scattered throughout the site to reference the site highs and lows. <b>NOTE:</b> Price assumes that contractor to utilize machine control grading, therefore, no site grading included.</p> <p><b>3) Storm Drain:</b> Provide one (1) stake at 50' intervals to horizontal centerline of pipes (6" and larger). Two (2) off-set stakes will be provided for junction structures, drain inlets, outfalls and manholes.</p> <p><b>4) Sanitary Sewer:</b> Provide one (1) stake at 50' intervals to horizontal centerline of pipes (6" and larger). Additional stakes will be provided for each manhole and cleanout.</p> <p><b>5) Water (Domestic &amp; Fire):</b> Provide one (1) stake at 100' intervals to horizontal centerline of pipes. Additional stakes will be provided for each lateral and fire hydrant. <b>NOTE:</b> Water line grades are excluded. Water line stakes will have hub elevations for reference.</p>	
<b>TOTAL</b>	<b>\$ 16,550.00 (10 total Site Visits)</b>
<p><b><u>OFFICE TIME</u></b></p> <p><b>6) Office Calculations:</b> Project Management, coordination, scheduling, meetings, project calculations and setup of CAD files and staking requests. Line items will be billed at MVE's current rate schedule (see below).</p>	
<b>ESTIMATED TOTAL NOT TO EXCEED WITHOUT PRIOR WRITTEN AUTHORIZATION</b>	<b>\$ 3,200.00</b>
<p><i>THIS PROPOSAL CORRECTLY REPRESENTS WORK WHICH WILL BE PERFORMED AND DELIVERED AT THE CLIENTS' REQUEST. SHOULD YOU HAVE ANY QUESTIONS OR NEED ANY ADDITIONAL INFORMATION PLEASE CONTACT MVE INC.</i></p>	<p><b>Total:</b> <b>\$19,750.00</b></p>

After execution of this Additional Work Proposal by both parties, this Additional Work Proposal becomes a part of the original agreement dated           **(DATE)**          .

**mid-valley engineering**

1117 L Street, Modesto, CA 95354 • 866.526.4214 • 866.932.9683 fax • www.mve.net  
CALIFORNIA • NEVADA • OREGON

**Notes:**

1. Acceptance of this proposal is acceptance of the Scope of Work listed above (and the understanding that the work to be performed is limited to that specific Scope of Work) and the Notes and Exclusions listed below. All services within this Scope of Work include performing the work once. Additional staking, re-staking and interval changes are all considered extra work.
2. MVE requires that no retention be withheld.
3. This proposal does not include an allowance for re-staking. All re-staking will be considered an extra work.
4. Contractor must provide the following to MVE ten (10) working days prior to MVE being onsite: a complete and current plan set, specifications, design changes and RFI clarifications in PDF format, and an electronic CAD file which includes the Horizontal and Vertical Survey Control (If CAD files are unusable or noted to be "for reference only", then a 15% markup of the total contract value will be charged for overhead and lost productivity). All revisions must be provided in CAD format. MVE assumes no responsibility for errors in or resulting from the provided data.
5. Cuts and/or fills will be provided to design grades as shown on the field ready plans provided by Contractor.
6. All Staking Requests must be received by MVE's designated Project Manager three (3) working days prior to the work being scheduled. Any request submitted after 12:00 pm will be considered as being received the following workday. If any changes or revisions are made to the CAD files, plans or staking request form within the three (3) working days prior to being onsite, an additional two (2) working days will be added for additional calculations and/or revisions.
7. This proposal includes no more than eight (8) site visits. Additional site visits required for the Scope of Work listed above will be billed at \$1,655.00 each for a 1-man survey crew. A site visit is defined as a minimum of four (4) hours and a maximum of eight (8) hours; any time below four (4) hours will be counted as one-half (0.5) a site visit. Office time will be billed at time and materials, based upon MVE Inc's current rate schedule.
8. Extra work must be acknowledged and agreed to in writing prior to the extra work being completed. MVE will notify Contractor if any work requested is out of scope and is therefore extra work. If MVE performs extra work and notifies Contractor, Contractor has ten (10) days to dispute the extra work. If Contractor does not dispute the extra work within the ten (10) days, Contractor forfeits the right to do so and will pay MVE for the extra work in accordance with Note #6 listed above.
9. If Contractor suspects that MVE's work is in error, Contractor must notify MVE in writing within forty-eight (48) hours of discovery and allow MVE reasonable time to investigate/verify the work in question prior to any rework being done. If Contractor does not notify MVE as specified, MVE will not be held responsible for any costs incurred for the rework, and delays or liquidated damages.
10. Contractor shall make payments to MVE within thirty (30) days after receipt of MVE's monthly invoices. If payments are not made to MVE within the thirty (30) days after receipt of invoice, MVE reserves the right to charge 1.5% interest per month until payment has been received. If payments are not made to MVE within forty-five (45) days after receipt of invoice, MVE reserves the right to stop work. If MVE stops work because of non-payment, MVE will not be held responsible for any damages, delays or any other costs incurred.
11. Client agrees to limit the liability of consultant, its principals and employees, to client and to all contractors and subcontractors on the project, for any claim or action arising in tort or contract, including attorneys' fees and costs and expert witness fees and costs, to the sum of \$50,000 or consultant's fee, whichever is greater. However, if consultant's fee exceeds \$250,000, liability to client and to all contractors and subcontractors, including attorneys' fees and costs and expert witness fees and costs, shall not exceed \$250,000.
12. This bid does not account for any overtime, night, holiday or weekend work performed on this project. Time and one-half (1.5x) shall be charged for all work performed after eight (8) hours, Monday through Friday. Work performed in excess of twelve (12) hours, Monday through Friday, shall be paid at double (2x) time. The first twelve (12) hours of work performed on Saturday shall be paid at time and one-half (1.5x) and all additional hours thereafter at double (2x) time. Sunday shall be paid at double (2x) time and Holidays at triple (3x) time.
13. If MVE survey crews are unable to perform survey services at the time requested due to the site not being ready or a scheduling conflict with other trades, the Contractor is responsible to pay for the site visit in accordance with Note #6.
14. Exclusions: Additional Floor Gridlines, Agency Fees & Permits, Anchor Bolts/Plates, As-Builts, AutoCAD Re-creation, Blue Tops, Bollards, Boundary Survey, Building Gridlines, Curb, Digital Terrain Models, EV Chargers, Electrical, Final Property Survey, Gas Lines, Irrigation, Joint Trench Mainline, Landscaping, Landscape/Walkway Lights, Pull Boxes, Monumentation, Potholes, Quantity Surveys, Record Drawings, Record of Survey, Sidewalks, Site Balance, Survey Monitoring & Traffic Control
15. Proposal is effective for 90 days and will be subject to review thereafter.

Thank you for considering MVE. If there are additional scope items, or clarification of any of the above, please call or email Chris Kordazakis, Chief Estimator, at (209) 526-4214 or [chrisk@mve.net](mailto:chrisk@mve.net).

ck

Client: Balfour Beatty/Clark Sullivan

Consultant: MVE, Inc., a California Corporation

By: \_\_\_\_\_

By: \_\_\_\_\_

Name/Title: \_\_\_\_\_

Name/Title: Kirk DeLaMare, President/CEO

Date Signed: \_\_\_\_\_

Date Signed: \_\_\_\_\_

Project Number: \_\_\_\_\_

Project Number: NC23068

## Site Utilities

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Base Bid

**Total Scope Bid**

### LINE ITEMS

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Site Utilities

*Note: See Electrical for add'l Waller scope*

### OTHER COSTS

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Dewatering

Offhaul of 1100 cu yds of Clean Spoils and 200 cu yds of Lime Treated Spoils by OC Jones (110 x \$518 & 20 x \$653)

Provide GPS and CAD As-builts

Bond

### GENERAL INFORMATION

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Contractors License number?

License Classification?

DIR Registration number?

EMR Rate?

## Waller, Inc.

Submitted by Mike Waller

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\$955,231

**\$1,067,449**

Unit	Unit Cost	Total Cost
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		\$955,231
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		\$112,218
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		\$9,850
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		\$70,040
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		\$18,000
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		\$14,328
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879648
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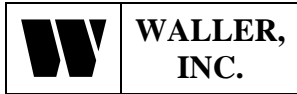
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CA CL #879648  
 2229 Trinity Drive  
 Brentwood, CA 94513  
 Mike.WallerInc@comcast.net

**Contact:** Mike Waller  
**Phone:** 925-634-3663  
**Fax:** 925-634-3684  
**Cell:** 925-382-9762

Proposal Date: 8/10/2023

**Union:** Yes  
**Bond:** Included  
**Sales Tax:** Included  
**Bid Date:** 08/10/2023

**Quote For: Kemble-Chavez ES, Inc. 1 -- CCD NO-2, Sacramento, CA**

**Quote To:** Michael Flores  
 Balfour Beatty /  
 Clark/Sullivan

**Phone:** 916-462-1196  
**Fax:**  
**Email:** Michael Flores  
 <mflores@clarksullivan.com>

SEE PRICING SUMMARY FOR ADDITIONAL COMMENTS.

UTILITIES IN LIME AREA IS ITEMIZED SEPARATELY WHICH IS GOOD BUT CONFIRM THE BACKFILL OF THESE TRENCHES WITH AB IS INCLUDED. PER SPEC, LIME TREATED SOIL EXCAVATED FOR TRENCHING MAY NOT BE RE-USED AS BACKFILL FOR TRENCHES. APPEARS TO BE COVERED BUT WANT TO BE SURE.

**Scope: PCO #9: CCD-NO 2 --  
 Additional "Wet" Site Utilities**

YES 12" AB IS INCLUDED IN BACKFILL

SANITARY SEWER			
ONSITE OPERATING COSTS	1	LS	
POTHOLE/TUNNEL (E) UTILITIES	2	EA	
CONNECT TO (E) SEWER STUB, SS	2	EA	
6" SDR 35 PVC, SS	804	LF	
4" SDR 35 PVC, SS	100	LF	
48" SSMH, SS	2	EA	
6" COTG, SS	10	EA	
SEWER SUBTOTAL			\$ 134,986

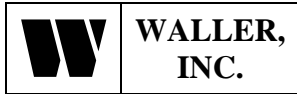
MANY OF THESE COSTS ARE CARRIED OVER FROM WHAT SHOULD ALREADY BE INLCUDED IN INC. 2 SCOPE, FYI. WILL A CREDIT ESTIMATE FOR INC. 2 BE PROVIDED? HOW IS THAT BEING ADDRESSED.

STORM DRAIN			
CONNECT TO (E) STUB, SD	6	EA	
12" HDPE, SD	106	LF	
10" HDPE, SD	365	LF	
8" PVC SDR 35, SD	725	LF	
6" SDR35 PVC, SD	430	LF	
4" SDR35 PVC, SD	880	LF	
24" APPARTUS SDDI "BURIED"	3	EA	
24" SDDI, SD	9	EA	
CONTECH FILTERS @ DROP OFF	2	EA	
24" SDMH, SD	3	EA	
24" CURB INLETS	3	EA	
36" BIO-SWALE INLET W/FLOGUARD	1	EA	
AREA DRAIN STUB-UP, SD	31	EA	
FLOOR DRAIN STUB-UP, SD	4	EA	
PLANTER DRAIN STUB-UP, SD	20	EA	
8" COTG	1	EA	
6" COTG, SD	2	EA	
4" COTG, SD	1	EA	
STORM SUBTOTAL			\$ 323,985

WE COUNT 26 TOTAL. ESTIMATE HAS 8 HERE AND 22 IN LIME AREA OR 30 TOTAL.

TAKE-OFF ERROR  
 4 TOTAL IN THIS PART

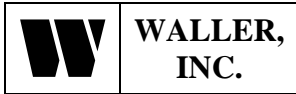




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<b>DOMESTIC WATER</b>		
4" PVC C900 DR18, DW	58	LF
2" TEMP BLOW-OFFS, DW	2	EA
1" DW STUB, w/ VALVE	1	EA
<b>DOMESTIC SUBTOTAL</b>		<b>\$ 17,783</b>
<b>FIRE</b>		
CONNECT TO FH STUBS & SET HYD	2	EA
8" DR18 PVC, "FS", FW	252	LF
CONNECT TO (E) "SP" STUBS	4	EA
ADD 6" DR14 PVC "SP", FW	240	LF
ADD 6" DR14 PVC "FS", FW	30	LF
2" TEMP BLOW OFFS, FW	9	EA
CONNECT AND ADD 2 WAY FDC	1	EA
<b>FIRE SUBTOTAL</b>		<b>\$ 150,302</b>
<b>UTILITIES IN LIME TREATED AREAS</b>		
LOCATE AND CONNECT TO (E) STUBS	69	EA
6" SDR 35 PVC, SD	60	LF
4" SDR 35 PVC, SD	740	LF
4" COTG, SD	8	EA
6" COTG, SD	2	EA
AREA DRAIN STUB-UPS, SD	2	EA
FLOOR DRAIN STUB-UP, SD	22	EA
PLANTER DRAIN STUB-UP, SD	14	EA
DOWNSPOUT BASIN STUB-UP, SD	10.00	EA
DOWNSPOUT C/ TEE STUB UP, SD	40.00	EA
24" APPARATUS SDDI "BURIED", SD	4	EA
<b>LIME TREAT AREA SUBTOTAL</b>		<b>\$ 107,900</b>
<b>INC #1 CCD NO-2 TOTAL</b>		<b>\$ 734,956</b>
<b>ADD ALTERNATE #1</b>		
HYD MANIFOLDS FOR SITE WATER	2	EA
<b>ALT #1 SUBTOTAL</b>		<b>\$ 2,001</b>
<b>INC #1 CCD NO 2 PLUS ALT #1</b>		<b>\$ 736,957</b>
<b>PLUS BOND RATE @ 1.5%</b>		<b>\$ 11,054</b>
<b>TOTAL BASE BID PLUS ALT #1 PLUS BOND</b>		<b>\$ 748,011</b>



INC #2 BUDGET PROPOSAL (PARTIAL)

INC #2 MOBILIZATION	1	LS		
RAISE SEWER MANHOLE, SS INC 2	3	EA		
RAISE SEWER CLEANOUTS, SS INC 2	15	EA		
RAISE SDDI, SD INC 2	9	EA		
RAISE SDMH, SD INC 2	4	EA		
SET BOX TO GRADE, SSCO INC 2	5	EA		
TOP OUT DOWNSPOUT BASINS, SD INC 2	10	EA		
TOP OUT DOWNSPOUT C/O TEE, SD INC 2	40	EA		
TOP OUT AREA DRAINS, SD INC 2	32	EA		
TOP OUT FLOOR DRAIN, SD, INC 2	26	EA		
TOP OUT PLANTER DRAIN, SD INC 2	22	EA		
RAISE 8" COTG, SD INC 2	1	EA		
RAISE 6" COTG, SD INC 2	4	EA		
RAISE 4" COTG, SD	9	EA		
RAISE DW VALVE, DW, INC 2	2	EA		
RAISE NEW HYD VALVE CANS, FW INC 2	2	EA		
RAISE 8" VALVE, FW INC 2	1	EA		
RAISE 6" VALVE, FW INC 2	1	EA		
CONNECT AND INSTALL ASR	7	EA		
SET BOX TO GRADE, WATER VALVE, INC 2	11	EA		
<b>INC #2 SUBTOTAL</b>			\$	<b>\$ 218,274</b>
<b>BUDGET TOTAL FOR INC #2</b>			\$	<b>\$ 218,274</b>
<b>PLUS BOND RATE @ 1.5%</b>			\$	<b>\$ 3,274</b>
<b>TOTAL INC #2 BUDGET PLUS BOND</b>			\$	<b>\$221,548</b>

A DI INSTALLED IN INC.1 PER THIS REVISION IS LIKELY BEING SET AT FINAL GRADE IN THIS INCREMENT. SAME WITH MANHOLES AND CURB INLETS. WE DO NOT SEE ANY ADJUSTMENT NECESSARY FOR THIS STRUCTRES.

AREA DRAINS AND CLEANOUTS, WOULD NEED TO BE ADJUSTED YES, BUT NOT THE ITEMS CROSSED OUT HERE.

These must be raised after curb and gutter and A/C or concrete is in, to put the proper slope and grade.

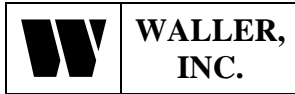
PER ABOVE, WE HAD A TAKE OFF ERROR QTY AND PRICE ADJUSTED

**Notes:**

1. Approximate Spoils in UG Trenching to be left trench side are 1100 +/-cyds .
2. Approximate spoils from Lime Treated areas 200 +/-cyds
3. On-site access to Construction Water to be supplied by Others.
4. Payment Terms, Net 30 days. Waller, Inc. retention to be reduced to 5%, 30 days after our scope of work is substantially complete.
5. This Proposal shall be incorporated into any Contract agreement.
6. **Sewer Invert Elevations need to be adjusted by the Engineer to work with the revised INV Elevations per RFI 034. Also, per RFI 034, an additional 1EA x 6” SSCO has been included in this proposal.**

**Inclusions:**

1. Sub grade to be + or – 6 in.
2. One mobilization only.
3. Oea Addendums.
4. Price is valid for 30 days from the Proposal Date.
5. All utilities to be stubbed 5’ from building.



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6. **Mastic and Poly Bags for Corrosion Protection of ferrous metal pipe and fittings on FW System, per NFPA standards.**
7. **Current delivery lead time for Pre-Cast Concrete Structures is 6 – 8+ Weeks.**
8. **Stubbing RWL and DS piping 5' from building.**
9. **Stub-ups w/caps only for Area Drains, Planter Drains, Clean-outs, Floor Drains. (Boxes with concrete collars, Area/Planter/Floor Drains to be Set to Finish Grade in Inc #2)**
10. **Aggregate Base Rock in upper 12" of trenches in lime treated areas, for Utilities with less than 30" of Cover.**
11. **For Hooded Curb Inlets, Hood to be provided loose to be set in concrete by Others.**
12. **All material is per our already approved Inc. 1 Submittals.**
13. **INC #2 BUDGET pricing is only a Partial "Wet" Site Utility price. There are going to be additional "Wet" Site Utilities, scope of work and pricing, once the Inc. 2 plans are DSA approved.**

**Exclusions:**

1. Bonds, Permit Fees, Soils Engineering Fees, Encroachment Permits, Utility/Connection Fees, Meter Fee.
2. Demolition, Remove & Replace of existing site work, unless noted above and rock excavation
3. Hazardous waste removal or off-haul
4. Dewatering, Sump Pumps or installation for rain water.
5. Temporary Water Service and Meter fees, Erosion Control.
6. Survey Staking of proposed work and as-built surveying.
7. Final utility connections at buildings, Final Adjustment of Tamper Switches
8. Adjustment of Existing utility Boxes, valve cans, manholes and inlets, unless noted above
9. Irrigation and landscape remove and replace. Temporary Fencing and (E) Fencing R&R. Trench Drains. Splash Blocks. Thru Curb Drains. Pipe Bollards.
10. Unforeseen underground utilities and obstructions. Work not included in the above Scope
11. Spoils removal from trench side and off-haul. AC Paving off-haul.
12. **Removal or replacement of AC or Concrete**
13. **Repair of damaged (E) utilities not shown on the drawings. Restoration & Replacement of (E) Sitework, Landscape & Lawn Area.**
14. **Overtime, Weekend & Holiday work.**
15. **Site Fire Flow Calculations.**
16. **Corrosion Protection Design and Installation of Wires, Anodes and Test Stations.**
17. **Conduit in FW Trenches for Fire Alarm system.**
18. **Striping. AC Grinding. Slurry Seal. AC Reinforcing Fabric.**
19. **Fence removal, relocation or replace.**
20. **Contractor QSP for flushing Sewer, Storm Drain and Water Utilities.**
21. **Survey of (e) utilities.**
22. **AC/Concrete sawcut remove or replace.**
23. **Slurry backfill of any trenches that are not noted on the plans.**
24. **GPS survey of utilities installed in Inc 1.**
25. **Accelerated schedule or premium time.**
26. **Bio-swale excavation, CL II Perm, Sandy loam, Perf Pipe or clean-outs**
27. **4" Perf. Subdrain w/ Drain Rock & Fabric beneath play apparatus, per detail 8/1CS503.**
28. **Storm Drain Outfall Structures, per details 5/1CS502 & 5/1CS503.**
29. **Repair of Utility "Stub-Ups" damaged by others.**
30. **Concrete/Rebar Collar around Contech Filter Inlets, per detail 12/1CS503.**
31. **Sewer Piping to Building Sewer Service Point, and 2-Way SSCO, per Sanitary Sewer Note #60.**
32. **Installing 6" SS and 8" FS piping, after the SMUD Transformer/Panel is removed.**

Waller, Inc.

Michael G. Waller  
Michael G. Waller, Vice President

CAN WE CLARIFY THIS A LITTLE MORE? IM NOT ARGUING THAT IT'S HERE, JUST WANT A LITTLE UNDERSTANDING WHAT IT INCLUDES, THAT SHOULDN'T ALREADY BE INCLUDED IN THE UNIT PRICES.

Activity Unit Price Summary

Biditem Activity	Description	Quantity	Unit	Calendar WC	Hrs/Shift				ct	Total		
*** 1001	<b>ONSITE OPERATING COSTS</b>					Takeoff:				1.00 LS	Bid:	1.00 LS
1010	ONSITE OPERATING COSTS	1.00	LS	6220-1	8.00	2,006	13,050	3,563	680	7,030	26,329	
Mh:	16.00	Shifts: 2.0	Mh/Un: 16.0000	Un/Sh: 0.5000		2,006.40	13,050.00	3,562.65	679.84	7,030.00	26,328.89	
*****Biditem/Category 1001 *****						2,006	13,050	3,563	680	7,030	26,329	
Mh:	16.00	Mh/Un: 16.0000				2,006.40	13,050.00	3,562.65	679.84	7,030.00	26,328.89	
*** 1100	<b>POTHOLE/TUNNEL (E) UTILITIES</b>					Takeoff:				2.00 EA	Bid:	2.00 EA
1020	POTHOLE EXISTING	2.00	EA	6220-1	8.00	1,225		104	659		1,988	
Mh:	12.00	Shifts: 0.8	Mh/Un: 6.0000	Un/Sh: 2.6667		612.48		52.20	329.47		994.15	
*****Biditem/Category 1100 *****						1,225		104	659		1,988	
Mh:	12.00	Mh/Un: 6.0000				612.48		52.20	329.47		994.15	
*** 2000	<b>CONNECT TO (E) SEWER STUB, SS</b>					Takeoff:				2.00 EA	Bid:	2.00 EA
3020	CONNECT TO EX. STUB	2.00	EA	6308-1	8.00	1,928	154	157	645		2,883	
Mh:	18.00	Shifts: 0.8	Mh/Un: 9.0000	Un/Sh: 2.6667		963.75	77.23	78.30	322.26		1,441.54	
*****Biditem/Category 2000 *****						1,928	154	157	645		2,883	
Mh:	18.00	Mh/Un: 9.0000				963.75	77.23	78.30	322.26		1,441.54	
*** 2050	<b>6" SDR 35 PVC, SS</b>					Takeoff:				804.00 LF	Bid:	804.00 LF
2311	F&I 6" SDR35, SS	804.00	LF	6308-1	8.00	18,331	16,865	1,614	11,027		47,837	
Mh:	185.53	Shifts: 3.9	Mh/Un: 0.2308	Un/Sh: 208.0207		22.80	20.98	2.01	13.72		59.50	
2312	BACKFILL 6" SDR26, SS	804.00	LF	6308-1	8.00	4,931		408	2,872		8,211	
Mh:	46.90	Shifts: 1.7	Mh/Un: 0.0583	Un/Sh: 480.0000		6.13		0.51	3.57		10.21	
2313	TEST 6" SDR26, SS	804.00	LF	6308-1	8.00	2,513		210	403	7,200	10,326	
Mh:	24.12	Shifts: 1.5	Mh/Un: 0.0300	Un/Sh: 533.3333		3.13		0.26	0.50	8.96	12.84	
*****Biditem/Category 2050 *****						25,775	16,865	2,232	14,302	7,200	66,375	
Mh:	256.55	Mh/Un: 0.3191				32.06	20.98	2.78	17.79	8.96	82.56	
*** 2200	<b>4" SDR 35 PVC, SS</b>					Takeoff:				100.00 LF	Bid:	100.00 LF
2321	F&I 4" SDR35 PVC, SS	100.00	LF	6308-1	8.00	2,075	1,861	183	1,020		5,139	
Mh:	21.00	Shifts: 0.4	Mh/Un: 0.2100	Un/Sh: 228.5714		20.75	18.61	1.83	10.20		51.39	
2322	BACKFILL 4" SDR35, SS	100.00	LF	6308-1	8.00	614		55	280		949	
Mh:	6.37	Shifts: 0.2	Mh/Un: 0.0637	Un/Sh: 441.8913		6.14		0.55	2.80		9.49	
2323	TEST 4", SS	100.00	LF	6308-1	8.00	313		26	50		389	
Mh:	3.00	Shifts: 0.2	Mh/Un: 0.0300	Un/Sh: 533.3333		3.13		0.26	0.50		3.89	
*****Biditem/Category 2200 *****						3,001	1,861	264	1,350		6,476	
Mh:	30.37	Mh/Un: 0.3037				30.01	18.61	2.64	13.50		64.76	
*** 2300	<b>48" SSMH, SS</b>					Takeoff:				2.00 EA	Bid:	2.00 EA
2501	INSTALL 48" SSMH	2.00	EA	6308-1	8.00	4,168	8,457	348	1,724		14,698	
Mh:	40.00	Shifts: 1.3	Mh/Un: 20.0000	Un/Sh: 1.6000		2,084.13	4,228.53	174.00	862.10		7,348.76	
*****Biditem/Category 2300 *****						4,168	8,457	348	1,724		14,698	
Mh:	40.00	Mh/Un: 20.0000				2,084.13	4,228.53	174.00	862.10		7,348.76	
*** 2600	<b>6" COTG, SS</b>					Takeoff:				10.00 EA	Bid:	10.00 EA
2420	6" SSCO	10.00	EA	6308-1	8.00	1,606	1,973	174	212		3,966	
Mh:	20.00	Shifts: 1.3	Mh/Un: 2.0000	Un/Sh: 8.0000		160.59	197.34	17.40	21.25		396.57	
*****Biditem/Category 2600 *****						1,606	1,973	174	212		3,966	
Mh:	20.00	Mh/Un: 2.0000				160.59	197.34	17.40	21.25		396.57	
*** 3000	<b>CONNECT TO (E) STUB, SD</b>					Takeoff:				6.00 EA	Bid:	6.00 EA
3010	CONNECT TO EX. SD	6.00	EA	6308-1	8.00	5,199	2,466	470	1,451		9,586	
Mh:	54.00	Shifts: 2.3	Mh/Un: 9.0000	Un/Sh: 2.6667		866.54	411.08	78.30	241.77		1,597.69	
*****Biditem/Category 3000 *****						5,199	2,466	470	1,451		9,586	
Mh:	54.00	Mh/Un: 9.0000				866.54	411.08	78.30	241.77		1,597.69	
*** 3005	<b>12" HDPE, SD</b>					Takeoff:				106.00 LF	Bid:	106.00 LF
3241	F&I 12" CHDPE, SD	106.00	LF	6308-1	8.00	2,093	3,279	184	1,029		6,586	
Mh:	21.19	Shifts: 0.4	Mh/Un: 0.1999	Un/Sh: 240.1994		19.75	30.94	1.74	9.71		62.13	
3242	BACKFILL 12" CHDPE, SD	106.00	LF	6308-1	8.00	715		65	326		1,105	
Mh:	7.42	Shifts: 0.3	Mh/Un: 0.0700	Un/Sh: 400.0000		6.74		0.61	3.07		10.43	
*****Biditem/Category 3005 *****						2,808	3,279	249	1,355		7,691	
Mh:	28.61	Mh/Un: 0.2699				26.49	30.94	2.35	12.78		72.56	

Activity Unit Price Summary

Biditem Activity	Description	Quantity	Unit	Calendar WC	Hrs/Shift	Labor	Perm Material	Constr Matl/Exp	Equip-ment	Sub-Contract	Total
*** 3020		<b>10" HDPE, SD</b>				Takeoff:	365.00 LF		Bid:	365.00 LF	
3111	F&I 10" HDPE, SD	365.00	LF	6308-1	8.00	7,214	10,266	635	3,546		21,662
Mh:	73.01 Shifts: 1.5	Mh/Un: 0.2000	Un/Sh: 240.1316			19.76	28.13	1.74	9.72		59.35
3112	BACKFILL 10" HDPE, SD	365.00	LF	6308-1	8.00	2,461		222	1,224	3,465	7,373
Mh:	25.55 Shifts: 0.9	Mh/Un: 0.0700	Un/Sh: 400.0000			6.74		0.61	3.35	9.49	20.20
*****Biditem/Category 3020											
Mh:	98.56	Mh/Un:	0.2700			9,675	10,266	857	4,771	3,465	29,035
						26.51	28.13	2.35	13.07	9.49	79.55
*** 3025		<b>8" PVC SDR 35, SD</b>				Takeoff:	725.00 LF		Bid:	725.00 LF	
3121	F&I 8" SDR35, SD	725.00	LF		8.00	14,181	22,770	1,388	5,978		44,317
Mh:	159.50 Shifts: 3.6	Mh/Un: 0.2200	Un/Sh: 200.0000			19.56	31.41	1.91	8.25		61.13
3122	BACKFILL 8" SDR35, SD	725.00	LF		8.00	4,648		447	2,589	5,400	13,084
Mh:	51.35 Shifts: 1.5	Mh/Un: 0.0708	Un/Sh: 480.1325			6.41		0.62	3.57	7.45	18.05
*****Biditem/Category 3025											
Mh:	210.85	Mh/Un:	0.2908			18,829	22,770	1,834	8,567	5,400	57,401
						25.97	31.41	2.53	11.82	7.45	79.17
*** 3035		<b>6" SDR35 PVC, SD</b>				Takeoff:	430.00 LF		Bid:	430.00 LF	
3121	F&I 6" SDR35, SD	430.00	LF	6308-1	8.00	8,074	10,871	711	3,969		23,625
Mh:	81.71 Shifts: 1.7	Mh/Un: 0.1900	Un/Sh: 252.7479			18.78	25.28	1.65	9.23		54.94
3122	BACKFILL 6", SD	430.00	LF	6308-1	8.00	2,900		262	1,322		4,483
Mh:	30.10 Shifts: 1.1	Mh/Un: 0.0700	Un/Sh: 400.0000			6.74		0.61	3.07		10.43
*****Biditem/Category 3035											
Mh:	111.81	Mh/Un:	0.2600			10,973	10,871	973	5,291		28,108
						25.52	25.28	2.26	12.30		65.37
*** 3040		<b>4" SDR35 PVC, SD</b>				Takeoff:	880.00 LF		Bid:	880.00 LF	
5201	F&I 4" PVC, SD	880.00	LF	6316-1	8.00	16,526	13,809	1,749	6,540		38,624
Mh:	176.00 Shifts: 4.4	Mh/Un: 0.2000	Un/Sh: 200.0000			18.78	15.69	1.99	7.43		43.89
3142	BACKFILL 4", SD	880.00	LF	6308-1	8.00	5,394		487	2,459		8,341
Mh:	56.00 Shifts: 2.0	Mh/Un: 0.0636	Un/Sh: 440.0000			6.13		0.55	2.79		9.48
*****Biditem/Category 3040											
Mh:	232.00	Mh/Un:	0.2636			21,921	13,809	2,236	9,000		46,965
						24.91	15.69	2.54	10.23		53.37
*** 3043		<b>24" APPARTUS SDDI "BURIED"</b>				Takeoff:	3.00 EA		Bid:	3.00 EA	
3601	INSTALL CB/DI	3.00	EA	6308-1	8.00	2,360	4,817	60	943		8,179
Mh:	24.01 Shifts: 0.9	Mh/Un: 8.0033	Un/Sh: 3.5034			786.77	1,605.59	19.89	314.23		2,726.49
*****Biditem/Category 3043											
Mh:	24.01	Mh/Un:	8.0033			2,360	4,817	60	943		8,179
						786.77	1,605.59	19.89	314.23		2,726.49
*** 3045		<b>24" SDDI, SD</b>				Takeoff:	9.00 EA		Bid:	9.00 EA	
3601	INSTALL CB/DI	9.00	EA	6308-1	8.00	11,498	16,173	940	2,901		31,512
Mh:	108.00 Shifts: 4.5	Mh/Un: 12.0000	Un/Sh: 2.0000			1,277.60	1,797.01	104.40	322.36		3,501.37
3602	STENCILS	9.00	EA	6308-1	8.00	576	252	39	123		991
Mh:	4.50 Shifts: 0.6	Mh/Un: 0.5000	Un/Sh: 16.0000			63.99	28.03	4.35	13.71		110.08
*****Biditem/Category 3045											
Mh:	112.50	Mh/Un:	12.5000			12,074	16,425	979	3,025		32,503
						1,341.59	1,825.04	108.75	336.07		3,611.45
*** 3047		<b>CONTECH FILTERS @ DROP OFF</b>				Takeoff:	2.00 EA		Bid:	2.00 EA	
3601	INSTALL CB/DI	2.00	EA	6308-1	8.00	3,145	26,580	278	1,394		31,397
Mh:	31.99 Shifts: 1.1	Mh/Un: 15.9950	Un/Sh: 1.7505			1,572.41	13,289.80	139.20	696.88		15,698.29
3602	STENCILS	2.00	EA	6308-1	8.00	128	56	17	27		229
Mh:	1.00 Shifts: 0.1	Mh/Un: 0.5000	Un/Sh: 16.0000			64.00	28.03	8.70	13.71		114.44
*****Biditem/Category 3047											
Mh:	32.99	Mh/Un:	16.4950			3,273	26,636	296	1,421		31,625
						1,636.40	13,317.83	147.90	710.59		15,812.72
*** 3050		<b>24" SDMH, SD</b>				Takeoff:	3.00 EA		Bid:	3.00 EA	
3601	INSTALL CB/DI	3.00	EA	6308-1	8.00	5,110	4,754	418	1,289		11,571
Mh:	48.00 Shifts: 2.0	Mh/Un: 16.0000	Un/Sh: 1.5000			1,703.46	1,584.53	139.20	429.81		3,857.00
*****Biditem/Category 3050											
Mh:	48.00	Mh/Un:	16.0000			5,110	4,754	418	1,289		11,571
						1,703.46	1,584.53	139.20	429.81		3,857.00
*** 3055		<b>24" CURB INLETS</b>				Takeoff:	3.00 EA		Bid:	3.00 EA	
3601	INSTALL CB/DI	3.00	EA	6308-1	8.00	3,833	6,856	313	967		11,969
Mh:	36.00 Shifts: 1.5	Mh/Un: 12.0000	Un/Sh: 2.0000			1,277.60	2,285.27	104.40	322.36		3,989.63
3602	STENCILS	3.00	EA	6308-1	8.00	192	84	26	41		343
Mh:	1.50 Shifts: 0.2	Mh/Un: 0.5000	Un/Sh: 16.0000			63.99	28.03	8.70	13.71		114.43

Activity Unit Price Summary

Biditem Activity	Description	Quantity	Unit	Calendar WC	Hrs/Shift	Labor	Perm Material	Constr Matl/Exp	Equip-ment	Sub-Contract	Total
*****Biditem/Category 3055 *****						4,025	6,940	339	1,008		12,312
Mh:	37.50	Mh/Un:	12.5000			1,341.59	2,313.30	113.10	336.07		4,104.07
*** 3065	<b>36" BIO-SWALE INLET W/FLOGUARD</b>					Takeoff:	1.00 EA		Bid:		1.00 EA
3601	INSTALL CB/DI	1.00 EA		6308-1	8.00	1,376	4,324	122	550		6,372
Mh:	14.00	Shifts: 0.5	Mh/Un: 14.0000	Un/Sh: 2.0000		1,376.30	4,324.34	121.80	549.68		6,372.12
3602	STENCILS	1.00 EA		6308-1	8.00	64	28	9	14		114
Mh:	0.50	Shifts: 0.1	Mh/Un: 0.5000	Un/Sh: 16.0000		63.99	28.03	8.70	13.71		114.43
*****Biditem/Category 3065 *****						1,440	4,352	131	563		6,487
Mh:	14.50	Mh/Un:	14.5000			1,440.29	4,352.37	130.50	563.39		6,486.55
*** 3070	<b>AREA DRAIN STUB-UP, SD</b>					Takeoff:	31.00 EA		Bid:		31.00 EA
3611	INSTALL CB/DI, ROUND	31.00 EA			8.00	3,043	2,264	270	833		6,409
Mh:	30.99	Shifts: 1.3	Mh/Un: 0.9997	Un/Sh: 24.0068		98.15	73.02	8.70	26.85		206.73
*****Biditem/Category 3070 *****						3,043	2,264	270	833		6,409
Mh:	30.99	Mh/Un:	0.9997			98.15	73.02	8.70	26.85		206.73
*** 3075	<b>FLOOR DRAIN STUB-UP, SD</b>					Takeoff:	8.00 EA		Bid:		8.00 EA
3611	INSTALL FD, SQUARE	8.00 EA			8.00	786	1,150	70	215		2,221
Mh:	8.01	Shifts: 0.3	Mh/Un: 1.0013	Un/Sh: 24.0602		98.31	143.71	8.70	26.90		277.62
*****Biditem/Category 3075 *****						786	1,150	70	215		2,221
Mh:	8.01	Mh/Un:	1.0013			98.31	143.71	8.70	26.90		277.62
*** 3080	<b>PLANTER DRAIN STUB-UP, SD</b>					Takeoff:	20.00 EA		Bid:		20.00 EA
3611	INSTALL CB/DI, ROUND	20.00 EA			8.00	1,965	1,327	174	538		4,004
Mh:	20.01	Shifts: 0.8	Mh/Un: 1.0005	Un/Sh: 24.0240		98.23	66.37	8.70	26.88		200.18
*****Biditem/Category 3080 *****						1,965	1,327	174	538		4,004
Mh:	20.01	Mh/Un:	1.0005			98.23	66.37	8.70	26.88		200.18
*** 3085	<b>8" COTG</b>					Takeoff:	1.00 EA		Bid:		1.00 EA
3411	8" SDCO	1.00 EA		6308-1	8.00	80	624	9	11		724
Mh:	1.00	Shifts: 0.1	Mh/Un: 1.0000	Un/Sh: 16.0000		80.30	623.98	8.70	10.62		723.60
*****Biditem/Category 3085 *****						80	624	9	11		724
Mh:	1.00	Mh/Un:	1.0000			80.30	623.98	8.70	10.62		723.60
*** 3087	<b>6" COTG, SD</b>					Takeoff:	2.00 EA		Bid:		2.00 EA
3421	6" SDCO	2.00 EA		6308-1	8.00	161	328	17	21		527
Mh:	2.00	Shifts: 0.1	Mh/Un: 1.0000	Un/Sh: 16.0000		80.30	163.76	8.70	10.63		263.38
*****Biditem/Category 3087 *****						161	328	17	21		527
Mh:	2.00	Mh/Un:	1.0000			80.30	163.76	8.70	10.63		263.38
*** 3090	<b>4" COTG, SD</b>					Takeoff:	1.00 EA		Bid:		1.00 EA
2420	4" SSCO	1.00 EA			8.00	75	81	9	21		185
Mh:	1.00	Shifts: 0.1	Mh/Un: 1.0000	Un/Sh: 16.0000		74.58	80.53	8.70	21.25		185.06
*****Biditem/Category 3090 *****						75	81	9	21		185
Mh:	1.00	Mh/Un:	1.0000			74.58	80.53	8.70	21.25		185.06
*** 4000	<b>4" PVC C900 DR18, DW</b>					Takeoff:	58.00 LF		Bid:		58.00 LF
5141	F&I 4" C-900, FW	58.00 LF		6316-1	8.00	2,318	3,642	209	1,166		7,334
Mh:	24.00	Shifts: 0.5	Mh/Un: 0.4138	Un/Sh: 116.0000		39.96	62.79	3.60	20.10		126.45
5142	FITTINGS 4" C-900, FW	2.00 EA		6316-1	8.00	164		17	29		210
Mh:	2.00	Shifts: 0.1	Mh/Un: 1.0000	Un/Sh: 18.1818		82.00		8.70	14.42		105.12
5143	BACKFILL 4" C-900, FW	58.00 LF		6316-1	8.00	479		44	223		746
Mh:	5.08	Shifts: 0.2	Mh/Un: 0.0876	Un/Sh: 319.9117		8.25		0.76	3.85		12.86
5161	TEST C-900, FW	58.00 LF		6316-1	8.00	204		17	48	1,500	1,769
Mh:	2.00	Shifts: 0.1	Mh/Un: 0.0345	Un/Sh: 464.0000		3.51		0.30	0.83	25.86	30.51
*****Biditem/Category 4000 *****						3,164	3,642	288	1,466	1,500	10,060
Mh:	33.08	Mh/Un:	0.5703			54.55	62.79	4.96	25.28	25.86	173.44
*** 4005	<b>2" TEMP BLOW-OFFS, DW</b>					Takeoff:	2.00 EA		Bid:		2.00 EA
5681	INSTALL 4" ASR	2.00 EA		6316-1	8.00	1,595	1,510	157	319		3,581
Mh:	18.00	Shifts: 0.8	Mh/Un: 9.0000	Un/Sh: 2.6667		797.69	755.16	78.30	159.51		1,790.66
*****Biditem/Category 4005 *****						1,595	1,510	157	319		3,581
Mh:	18.00	Mh/Un:	9.0000			797.69	755.16	78.30	159.51		1,790.66

Activity Unit Price Summary

Biditem Activity	Description	Quantity	Unit	Calendar WC	Hrs/Shift	Labor	Perm Material	Constr Matl/Exp	Equip-ment	Sub-Contract	Total
*** 4010	1" DW STUB, w/ VALVE					Takeoff:	1.00 EA		Bid:	1.00 EA	
4501	F&I 1" DW SERVICE	10.00	LF		8.00	589	1,191	52	161		1,993
Mh:	6.00 Shifts: 0.3	Mh/Un: 0.6000	Un/Sh: 40.0000			58.91	119.09	5.22	16.12		199.33
3752	SET BOXES	1.00	EA		8.00	306		35	191		532
Mh:	4.00 Shifts: 0.3	Mh/Un: 4.0000	Un/Sh: 4.0000			306.16		34.80	191.32		532.28
*****Biditem/Category 4010						895	1,191	87	353		2,526
Mh:	10.00	Mh/Un: 10.0000				895.26	1,190.85	87.00	352.50		2,525.61
*** 5000	CONNECT TO FH STUBS & SET HYD					Takeoff:	2.00 EA		Bid:	2.00 EA	
5751	INSTALL FIRE HYDRANT	2.00	EA	6316-1	8.00	2,659	19,573	261	532		23,025
Mh:	30.00 Shifts: 1.3	Mh/Un: 15.0000	Un/Sh: 1.6000			1,329.49	9,786.56	130.50	265.85		11,512.40
5011	CONNECT TO EX. FW	2.00	EA	6316-1	8.00	354	602	35	71		1,062
Mh:	4.00 Shifts: 0.2	Mh/Un: 2.0000	Un/Sh: 12.0265			177.21	301.22	17.40	35.36		531.19
*****Biditem/Category 5000						3,013	20,176	296	602		24,087
Mh:	34.00	Mh/Un: 17.0000				1,506.70	10,087.77	147.90	301.21		12,043.58
*** 5005	8" DR18 PVC, "FS", FW					Takeoff:	252.00 LF		Bid:	252.00 LF	
5121	F&I 8" C-900, FW	252.00	LF		8.00	7,827	15,407	767	5,480		29,482
Mh:	88.20 Shifts: 2.2	Mh/Un: 0.3500	Un/Sh: 114.2857			31.06	61.14	3.05	21.75		116.99
5122	FITTINGS 8" C-900, FW	4.00	EA		8.00	467		52	36		555
Mh:	6.00 Shifts: 0.3	Mh/Un: 1.5000	Un/Sh: 12.0301			116.69		13.05	8.91		138.64
5123	BACKFILL 8" C-900, FW	252.00	LF		8.00	1,212		116	713		2,042
Mh:	13.39 Shifts: 0.4	Mh/Un: 0.0531	Un/Sh: 639.9187			4.81		0.46	2.83		8.10
5161	TEST C-900, FW	252.00	LF		8.00	726		66	183		975
Mh:	7.56 Shifts: 0.5	Mh/Un: 0.0300	Un/Sh: 533.3333			2.88		0.26	0.73		3.87
5551	POSSIBLE OFFSETS	1.00	EA		8.00	769	2,974	70	322		4,134
Mh:	8.00 Shifts: 0.5	Mh/Un: 8.0000	Un/Sh: 2.0000			768.70	2,973.79	69.60	322.36		4,134.45
*****Biditem/Category 5005						11,001	18,381	1,071	6,734		37,188
Mh:	123.15	Mh/Un: 0.4887				43.65	72.94	4.25	26.72		147.57
*** 5007	CONNECT TO (E) "SP" STUBS					Takeoff:	4.00 EA		Bid:	4.00 EA	
5011	CONNECT TO EX. FW	4.00	EA	6316-1	8.00	2,345	5,240	209	484		8,277
Mh:	24.00 Shifts: 0.8	Mh/Un: 6.0000	Un/Sh: 5.3333			586.15	1,310.08	52.20	120.89		2,069.31
*****Biditem/Category 5007						2,345	5,240	209	484		8,277
Mh:	24.00	Mh/Un: 6.0000				586.15	1,310.08	52.20	120.89		2,069.31
*** 5010	ADD 6" DR14 PVC "SP", FW					Takeoff:	240.00 LF		Bid:	240.00 LF	
5131	F&I 6" C-900, FW	240.00	LF	6316-1	8.00	6,954	18,061	626	5,227		30,868
Mh:	72.00 Shifts: 1.5	Mh/Un: 0.3000	Un/Sh: 160.0000			28.97	75.25	2.61	21.78		128.62
5132	FITTINGS 6" C-900, FW	16.00	EA	6316-1	8.00	2,231		237	161		2,628
Mh:	27.20 Shifts: 1.5	Mh/Un: 1.7000	Un/Sh: 10.5960			139.45		14.79	10.04		164.28
5133	BACKFILL 6" C-900, FW	240.00	LF	6316-1	8.00	1,396		127	691		2,213
Mh:	14.58 Shifts: 0.4	Mh/Un: 0.0608	Un/Sh: 561.4035			5.82		0.53	2.88		9.22
5161	TEST C-900, FW	240.00	LF	6316-1	8.00	814		70	200		1,084
Mh:	8.00 Shifts: 0.5	Mh/Un: 0.0333	Un/Sh: 480.0000			3.39		0.29	0.83		4.52
*****Biditem/Category 5010						11,395	18,061	1,059	6,279		36,794
Mh:	121.78	Mh/Un: 0.5074				47.48	75.25	4.41	26.16		153.31
*** 5015	ADD 6" DR14 PVC "FS", FW					Takeoff:	30.00 LF		Bid:	30.00 LF	
5131	F&I 6" C-900, FW	30.00	LF	6316-1	8.00	1,925	5,055	173	968		8,121
Mh:	19.93 Shifts: 0.4	Mh/Un: 0.5498	Un/Sh: 87.3494			53.09	139.45	4.78	26.69		224.02
5132	FITTINGS 6" C-900, FW	5.00	EA	6316-1	8.00	615		65	44		725
Mh:	7.50 Shifts: 0.4	Mh/Un: 1.5000	Un/Sh: 12.0106			123.03		13.05	8.83		144.90
5133	BACKFILL 6" C-900, FW	30.00	LF	6316-1	8.00	153		14	76		244
Mh:	1.60 Shifts: 0.0	Mh/Un: 0.0533	Un/Sh: 647.9482			5.11		0.46	2.55		8.12
5161	TEST C-900, FW	30.00	LF	6316-1	8.00	92		8	22		121
Mh:	0.90 Shifts: 0.1	Mh/Un: 0.0300	Un/Sh: 532.8597			3.05		0.26	0.73		4.04
*****Biditem/Category 5015						2,785	5,055	260	1,110		9,210
Mh:	29.93	Mh/Un: 0.9977				92.82	168.50	8.68	36.99		307.00
*** 5020	2" TEMP BLOW OFFS, FW					Takeoff:	9.00 EA		Bid:	9.00 EA	
5671	INSTALL 6" ASR	9.00	EA		8.00	6,798	7,578	705	1,436		16,516
Mh:	81.00 Shifts: 3.4	Mh/Un: 9.0000	Un/Sh: 2.6667			755.33	841.96	78.30	159.51		1,835.10
*****Biditem/Category 5020						6,798	7,578	705	1,436		16,516
Mh:	81.00	Mh/Un: 9.0000				755.33	841.96	78.30	159.51		1,835.10

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Activity Unit Price Summary

Biditem Activity	Description	Quantity	Unit	Calendar WC	Hrs/Shift	Labor	Perm Material	Constr Matl/Exp	Equip- Ment	Sub- Contract	Total	
*** 5025	CONNECT AND ADD 2 WAY FDC					Takeoff:	1.00 EA			Bid:	1.00 EA	
5011	CONNECT TO EX. FW	1.00	EA	6316-1	8.00	532	353	52	106		1,044	
Mh:	6.00	Shifts: 0.3	Mh/Un: 6.0000	Un/Sh: 4.0000		531.80	353.16	52.20	106.34		1,043.50	
5631	INSTALL 4" FDC	1.00	EA	6316-1	8.00	611	2,778	52	82		3,523	
Mh:	6.00	Shifts: 0.4	Mh/Un: 6.0000	Un/Sh: 2.6667		610.81	2,777.75	52.20	82.26		3,523.02	
*****Biditem/Category 5025 *****							1,143	3,131	104	189	4,567	
Mh:	12.00	Mh/Un:	12.0000			1,142.61	3,130.91	104.40	188.60		4,566.52	
*** 6005	LOCATE AND CONNECT TO (E) STUBS					Takeoff:	69.00 EA			Bid:	69.00 EA	
3010	CONNECT TO EX. SD	69.00	EA	6308-1	8.00	12,505	3,183	1,201	2,446		19,335	
Mh:	138.00	Shifts: 5.8	Mh/Un: 2.0000	Un/Sh: 12.0000		181.23	46.13	17.40	35.45		280.21	
*****Biditem/Category 6005 *****							12,505	3,183	1,201	2,446	19,335	
Mh:	138.00	Mh/Un:	2.0000			181.23	46.13	17.40	35.45		280.21	
*** 6010	6" SDR 35 PVC, SD					Takeoff:	60.00 LF			Bid:	60.00 LF	
2311	F&I 6" SDR35, SS	60.00	LF	6308-1	8.00	1,267	1,342	115	487		3,211	
Mh:	13.20	Shifts: 0.3	Mh/Un: 0.2200	Un/Sh: 181.8182		21.12	22.36	1.91	8.12		53.51	
2312	BACKFILL 6" SDR35, SS	60.00	LF	6308-1	8.00	336		33	227		596	
Mh:	3.75	Shifts: 0.2	Mh/Un: 0.0625	Un/Sh: 320.0000		5.61		0.54	3.78		9.94	
2313	TEST 6" SDR35, SS	60.00	LF	6308-1	8.00	127		11	20	279	437	
Mh:	1.22	Shifts: 0.1	Mh/Un: 0.0203	Un/Sh: 786.3696		2.12		0.18	0.34	4.65	7.29	
*****Biditem/Category 6010 *****							1,731	1,342	158	735	279	4,244
Mh:	18.17	Mh/Un:	0.3028			28.85	22.36	2.63	12.25	4.65	70.74	
*** 6015	4" SDR 35 PVC, SD					Takeoff:	740.00 LF			Bid:	740.00 LF	
2321	F&I 4" SDR35 PVC, SS	740.00	LF	6308-1	8.00	18,470	11,184	335	7,103		37,092	
Mh:	192.40	Shifts: 4.8	Mh/Un: 0.2600	Un/Sh: 153.8462		24.96	15.11	0.45	9.60		50.12	
2322	BACKFILL 4" SDR35, SS	740.00	LF	6308-1	8.00	4,536		410	2,043		6,989	
Mh:	47.09	Shifts: 1.7	Mh/Un: 0.0636	Un/Sh: 440.1356		6.13		0.55	2.76		9.44	
2323	TEST 4", SS	740.00	LF	6308-1	8.00	2,313		193	371		2,878	
Mh:	22.20	Shifts: 1.4	Mh/Un: 0.0300	Un/Sh: 533.3333		3.13		0.26	0.50		3.89	
*****Biditem/Category 6015 *****							25,320	11,184	938	9,517	46,959	
Mh:	261.69	Mh/Un:	0.3536			34.22	15.11	1.27	12.86		63.46	
*** 6020	4" COTG, SD					Takeoff:	8.00 EA			Bid:	8.00 EA	
2420	4" SSC0	8.00	EA		8.00	597	644	70	170		1,480	
Mh:	8.00	Shifts: 0.5	Mh/Un: 1.0000	Un/Sh: 16.0000		74.58	80.53	8.70	21.25		185.05	
*****Biditem/Category 6020 *****							597	644	70	170	1,480	
Mh:	8.00	Mh/Un:	1.0000			74.58	80.53	8.70	21.25		185.05	
*** 6025	6" COTG, SD					Takeoff:	2.00 EA			Bid:	2.00 EA	
3421	6" SD00	2.00	EA	6308-1	8.00	321	328	35	42		726	
Mh:	4.00	Shifts: 0.3	Mh/Un: 2.0000	Un/Sh: 8.0000		160.59	163.76	17.40	21.25		362.99	
*****Biditem/Category 6025 *****							321	328	35	42	726	
Mh:	4.00	Mh/Un:	2.0000			160.59	163.76	17.40	21.25		362.99	
*** 6030	AREA DRAIN STUB-UPS, SD					Takeoff:	2.00 EA			Bid:	2.00 EA	
3611	INSTALL CB/DI, ROUND	2.00	EA		8.00	197	181	17	54		450	
Mh:	2.01	Shifts: 0.1	Mh/Un: 1.0050	Un/Sh: 24.2424		98.68	90.43	8.75	27.00		224.85	
*****Biditem/Category 6030 *****							197	181	17	54	450	
Mh:	2.01	Mh/Un:	1.0050			98.68	90.43	8.75	27.00		224.85	
*** 6035	FLOOR DRAIN STUB-UP, SD					Takeoff:	22.00 EA			Bid:	22.00 EA	
3611	INSTALL FD, SQUARE	22.00	EA		8.00	2,159	1,215	191	591		4,156	
Mh:	21.99	Shifts: 0.9	Mh/Un: 0.9995	Un/Sh: 24.0096		98.14	55.22	8.70	26.85		188.91	
*****Biditem/Category 6035 *****							2,159	1,215	191	591	4,156	
Mh:	21.99	Mh/Un:	0.9995			98.14	55.22	8.70	26.85		188.91	
*** 6040	PLANTER DRAIN STUB-UP, SD					Takeoff:	14.00 EA			Bid:	14.00 EA	
3611	INSTALL CB/DI, ROUND	14.00	EA		8.00	1,376	797	122	376		2,670	
Mh:	14.01	Shifts: 0.6	Mh/Un: 1.0007	Un/Sh: 24.0343		98.25	56.91	8.70	26.88		190.74	
*****Biditem/Category 6040 *****							1,376	797	122	376	2,670	
Mh:	14.01	Mh/Un:	1.0007			98.25	56.91	8.70	26.88		190.74	



Activity Unit Price Summary

Biditem Activity	Description	Quantity	Unit	Calendar WC	Hrs/Shift	Labor	Perm Material	Constr Matl/Exp	Equip-Ment	Sub-Contract	Total	
*** 6050	<b>24" APARATUS SDDI "BURIED", SD</b>				Takeoff:		4.00 EA		Bid:	4.00 EA		
3601	INSTALL CB/DI	4.00	EA	6308-1	8.00	3,145	4,593	278	1,256		9,272	
Mh:	31.99	Shifts: 1.1	Mh/Un: 7.9975	Un/Sh: 3.5011		786.20	1,148.16	69.60	314.01		2,317.97	
*****Biditem/Category 6050 *****						3,145	4,593	278	1,256		9,272	
Mh:	31.99	Mh/Un:	7.9975			786.20	1,148.16	69.60	314.01		2,317.97	
*** 6055	<b>DOWNSPOUT BASIN STUB-UP, SD</b>				Takeoff:		10.00 EA		Bid:	10.00 EA		
3611	STUB 4" JUST ABOVE GRADE	10.00	EA	6308-1	8.00	1,064	424	29	268		1,785	
Mh:	9.99	Shifts: 0.4	Mh/Un: 0.9990	Un/Sh: 24.0211		106.36	42.41	2.90	26.84		178.51	
*****Biditem/Category 6055 *****						1,064	424	29	268		1,785	
Mh:	9.99	Mh/Un:	0.9990			106.36	42.41	2.90	26.84		178.51	
*** 6060	<b>DOWNSPOUT C/ TEE STUB UP</b>				Takeoff:		40.00 EA		Bid:	40.00 EA		
3611	STUB 4" JUST ABOVE GRADE	40.00	EA	6308-1	8.00	4,258	1,565	116	1,074		7,012	
Mh:	39.99	Shifts: 1.7	Mh/Un: 0.9998	Un/Sh: 24.0053		106.44	39.12	2.90	26.86		175.31	
*****Biditem/Category 6060 *****						4,258	1,565	116	1,074		7,012	
Mh:	39.99	Mh/Un:	0.9998			106.44	39.12	2.90	26.86		175.31	
*** 9000	<b>ALT #1: HYDRANT MANIFOLDS</b>				Takeoff:		2.00		Bid:	2.00		
1520	BUILD MANIFOLDS	2.00	EA	6220-1	8.00	316	1,446	15	42		1,820	
Mh:	4.00	Shifts: 0.3	Mh/Un: 2.0000	Un/Sh: 8.0000		157.78	723.19	7.62	21.25		909.83	
*****Biditem/Category 9000 *****						316	1,446	15	42		1,820	
Mh:	4.00	Mh/Un:	2.0000			157.78	723.19	7.62	21.25		909.83	
Mh:	2,502.04	***REPORT TOTALS***					240,628	286,385	23,637	95,436	24,874	670,960

N = Activity not adjusted to bid quantity

**Q** CAN WE CLARIFY THIS A LITTLE MORE? IM NOT ARGUING THAT IT'S HERE, JUST WANT A LITTLE UNDERSTANDING WHAT IT INCLUDES, THAT SHOULDN'T ALREADY BE INCLUDED IN THE UNIT PRICES.

**A** We have costs for fuel increases as well as, bridge tolls, Labor and equipment to haul in and out our small equip, skid steer, mini excavator, water truck and also included is some "low boy" transportation for our larger equipment.

# INC. 2 BUDGET (PARTIAL)

Waller, Inc.  
082023-01

Kemble-Chavez Inc CCD-NO 2 INC #1

08/10/2023

15:21

### Activity Unit Price Summary

Biditem Activity	Description	Quantity	Unit	Calendar WC	Hrs/Shift	Labor	Perm Material	Constr Matl/Exp	Equip- Ment	Sub- Contract	Total	
*** 8000	<b>INC #2 MOBILIZATION</b>					Takeoff:	1.00 LS		Bid:	1.00 LS		
1010	MOBILIZATOIN	1.00	LS	6220-1	8.00	2,190	4,894	1,128	1,701	6,270	16,183	
Mh:	16.00	Shifts: 2.0	Mh/Un: 16.0000	Un/Sh: 0.5000		2,190.40	4,893.75	1,127.74	1,701.44	6,270.00	16,183.33	
	*****Biditem/Category 8000 *****						2,190	4,894	1,128	1,701	6,270	16,183
Mh:	16.00	Mh/Un: 16.0000				2,190.40	4,893.75	1,127.74	1,701.44	6,270.00	16,183.33	
*** 8050	<b>RAISE SEWER MANHOLE, SS INC 2</b>					Takeoff:	3.00 EA		Bid:	3.00 EA		
2502	RAISE IRON, MH	3.00	EA	6308-1	8.00	1,611	555	157	861		3,183	
Mh:	18.00	Shifts: 1.1	Mh/Un: 6.0000	Un/Sh: 2.6667		537.03	184.88	52.20	286.98		1,061.08	
	*****Biditem/Category 8050 *****						1,611	555	157	861	3,183	
Mh:	18.00	Mh/Un: 6.0000				537.03	184.88	52.20	286.98		1,061.08	
*** 8055	<b>RAISE SEWER CLEANOUTS, SS INC 2</b>					Takeoff:	15.00 EA		Bid:	15.00 EA		
2412	RAISE IRON, 6" CO	15.00	EA	6308-1	8.00	5,370	3,894	522	3,384		13,170	
Mh:	60.00	Shifts: 3.8	Mh/Un: 4.0000	Un/Sh: 4.0000		358.02	259.62	34.80	225.57		878.01	
	*****Biditem/Category 8055 *****						5,370	3,894	522	3,384	13,170	
Mh:	60.00	Mh/Un: 4.0000				358.02	259.62	34.80	225.57		878.01	
*** 8057	<b>SET BOX TO GRADE, SSCO INC 2</b>					Takeoff:	5.00 EA		Bid:	5.00 EA		
2412	RAISE IRON, 6" CO	5.00	EA	6308-1	8.00	1,790	683	174	1,128		3,775	
Mh:	20.00	Shifts: 1.3	Mh/Un: 4.0000	Un/Sh: 4.0000		358.02	136.59	34.80	225.57		754.98	
	*****Biditem/Category 8057 *****						1,790	683	174	1,128	3,775	
Mh:	20.00	Mh/Un: 4.0000				358.02	136.59	34.80	225.57		754.98	
*** 8060	<b>TOP OUT DOWNSPOUT BASINS, SD INC 2</b>					Takeoff:	10.00 EA		Bid:	10.00 EA		
3611	INSTALL DRAIN @ D/S	10.00	EA		8.00	2,914	2,275	261	806		6,256	
Mh:	30.00	Shifts: 1.3	Mh/Un: 3.0000	Un/Sh: 8.0000		291.37	227.50	26.10	80.59		625.56	
	*****Biditem/Category 8060 *****						2,914	2,275	261	806	6,256	
Mh:	30.00	Mh/Un: 3.0000				291.37	227.50	26.10	80.59		625.56	
*** 8062	<b>TOP OUT DOWNSPOUT C/O TEE, SD INC 2</b>					Takeoff:	40.00 EA		Bid:	40.00 EA		
3611	INSTALL DRAIN @ D/S	40.00	EA		8.00	11,655	14,628	1,044	3,224		30,551	
Mh:	120.00	Shifts: 5.0	Mh/Un: 3.0000	Un/Sh: 8.0000		291.37	365.70	26.10	80.59		763.76	
	*****Biditem/Category 8062 *****						11,655	14,628	1,044	3,224	30,551	
Mh:	120.00	Mh/Un: 3.0000				291.37	365.70	26.10	80.59		763.76	
*** 8065	<b>TOP OUT AREA DRAINS, SD INC 2</b>					Takeoff:	32.00 EA		Bid:	32.00 EA		
3611	INSTALL CB/DI, ROUND	32.00	EA		8.00	9,324	4,993	835	2,579		17,731	
Mh:	96.00	Shifts: 4.0	Mh/Un: 3.0000	Un/Sh: 8.0000		291.37	156.03	26.10	80.59		554.10	
	*****Biditem/Category 8065 *****						9,324	4,993	835	2,579	17,731	
Mh:	96.00	Mh/Un: 3.0000				291.37	156.03	26.10	80.59		554.10	
*** 8070	<b>TOP OUT FLOOR DRAIN, SD, INC 2</b>					Takeoff:	30.00 EA		Bid:	30.00 EA		
3611	INSTALL FD, SQUARE	30.00	EA		8.00	8,741	21,694	783	2,418		33,636	
Mh:	90.00	Shifts: 3.8	Mh/Un: 3.0000	Un/Sh: 8.0000		291.37	723.14	26.10	80.59		1,121.20	
	*****Biditem/Category 8070 *****						8,741	21,694	783	2,418	33,636	
Mh:	90.00	Mh/Un: 3.0000				291.37	723.14	26.10	80.59		1,121.20	
*** 8075	<b>TOP OUT PLANTER DRAIN, SD INC 2</b>					Takeoff:	22.00 EA		Bid:	22.00 EA		
3611	INSTALL CB/DI, ROUND	22.00	EA		8.00	2,137	1,468	191	591		4,387	
Mh:	22.00	Shifts: 0.9	Mh/Un: 1.0000	Un/Sh: 24.0096		97.12	66.74	8.70	26.85		199.41	
	*****Biditem/Category 8075 *****						2,137	1,468	191	591	4,387	
Mh:	22.00	Mh/Un: 1.0000				97.12	66.74	8.70	26.85		199.41	
*** 8076	<b>RAISE SDDI, INC 2</b>					Takeoff:	9.00 EA		Bid:	9.00 EA		
2502	RAISE IRON, SDDI	9.00	EA	6308-1	8.00	4,833	1,664	470	2,583		9,550	
Mh:	54.00	Shifts: 3.4	Mh/Un: 6.0000	Un/Sh: 2.6667		537.03	184.87	52.20	286.98		1,061.08	
	*****Biditem/Category 8076 *****						4,833	1,664	470	2,583	9,550	
Mh:	54.00	Mh/Un: 6.0000				537.03	184.87	52.20	286.98		1,061.08	
*** 8077	<b>RAISE SDMH, SD INC 2</b>					Takeoff:	4.00 EA		Bid:	4.00 EA		
2502	RAISE IRON, MH	4.00	EA	6308-1	8.00	2,148	740	209	1,148		4,244	
Mh:	24.00	Shifts: 1.5	Mh/Un: 6.0000	Un/Sh: 2.6667		537.03	184.88	52.20	286.98		1,061.09	

Activity Unit Price Summary

Biditem Activity	Description	Quantity	Unit	Calendar WC	Hrs/Shift	Labor	Perm Material	Constr Matl/Exp	Equip-ment	Sub-Contract	Total	
*****Biditem/Category	8077	*****				2,148	740	209	1,148		4,244	
Mh:	24.00	Mh/Un:	6.0000			537.03	184.88	52.20	286.98		1,061.09	
*** 8080	RAISE 8" COTG, SD INC 2					Takeoff:	1.00 EA		Bid:		1.00 EA	
2412	RAISE IRON, 8" CO	1.00 EA			8.00	334	255	35	226		849	
Mh:	4.00	Shifts:	0.3	Mh/Un:	4.0000	Un/Sh:	4.0000	333.79	254.62	34.80	225.57	848.78
*****Biditem/Category	8080	*****				334	255	35	226		849	
Mh:	4.00	Mh/Un:	4.0000			333.79	254.62	34.80	225.57		848.78	
*** 8085	RAISE 6" COTG, SD INC 2					Takeoff:	4.00 EA		Bid:		4.00 EA	
3422	RAISE IRON, 6" CO	4.00 EA		6308-1	8.00	1,432	918	139	765		3,255	
Mh:	16.00	Shifts:	1.0	Mh/Un:	4.0000	Un/Sh:	4.0000	358.02	229.61	34.80	191.32	813.75
*****Biditem/Category	8085	*****				1,432	918	139	765		3,255	
Mh:	16.00	Mh/Un:	4.0000			358.02	229.61	34.80	191.32		813.75	
*** 8090	RAISE 4" COTG, SD					Takeoff:	9.00 EA		Bid:		9.00 EA	
2412	RAISE IRON, 4" CO	9.00 EA			8.00	3,004	2,028	313	2,030		7,376	
Mh:	36.00	Shifts:	2.3	Mh/Un:	4.0000	Un/Sh:	4.0000	333.79	225.37	34.80	225.57	819.53
*****Biditem/Category	8090	*****				3,004	2,028	313	2,030		7,376	
Mh:	36.00	Mh/Un:	4.0000			333.79	225.37	34.80	225.57		819.53	
*** 8095	RAISE DW VALVE, DW, INC 2					Takeoff:	2.00 EA		Bid:		2.00 EA	
5752	RAISE 4" AND 1" VALVES	2.00 EA			8.00	668	972	70	451		2,160	
Mh:	8.00	Shifts:	0.5	Mh/Un:	4.0000	Un/Sh:	4.0000	333.80	485.75	34.80	225.57	1,079.92
*****Biditem/Category	8095	*****				668	972	70	451		2,160	
Mh:	8.00	Mh/Un:	4.0000			333.80	485.75	34.80	225.57		1,079.92	
*** 8100	RAISE NEW HYD VALVE CANS, FW INC 2					Takeoff:	2.00 EA		Bid:		2.00 EA	
5752	RAISE NEW HYD VALVE CAN	2.00 EA			8.00	668	321	70	451		1,509	
Mh:	8.00	Shifts:	0.5	Mh/Un:	4.0000	Un/Sh:	4.0000	333.80	160.56	34.80	225.57	754.72
5753	HOUSEKEEPING PAD	2.00 EA		6316-1	8.00	702	100	96	110		1,007	
Mh:	8.00	Shifts:	0.5	Mh/Un:	4.0000	Un/Sh:	4.0000	350.84	50.03	47.85	54.84	503.56
*****Biditem/Category	8100	*****				1,369	421	165	561		2,517	
Mh:	16.00	Mh/Un:	8.0000			684.64	210.58	82.65	280.41		1,258.28	
*** 8105	RAISE 8" VALVE, FW INC 2					Takeoff:	1.00 EA		Bid:		1.00 EA	
5752	RAISE 8" VALVE, FW INC 2	1.00 EA			8.00	334	161	35	226		755	
Mh:	4.00	Shifts:	0.3	Mh/Un:	4.0000	Un/Sh:	4.0000	333.79	160.55	34.80	225.57	754.71
*****Biditem/Category	8105	*****				334	161	35	226		755	
Mh:	4.00	Mh/Un:	4.0000			333.79	160.55	34.80	225.57		754.71	
*** 8110	RAISE 6" VALVE, FW INC 2					Takeoff:	1.00 EA		Bid:		1.00 EA	
5752	RAISE 6" VALVE, FW INC 2	1.00 EA			8.00	334	161	35	226		755	
Mh:	4.00	Shifts:	0.3	Mh/Un:	4.0000	Un/Sh:	4.0000	333.79	160.55	34.80	225.57	754.71
*****Biditem/Category	8110	*****				334	161	35	226		755	
Mh:	4.00	Mh/Un:	4.0000			333.79	160.55	34.80	225.57		754.71	
*** 8115	SET BOX TO GRADE, WATER VALVE, INC 2					Takeoff:	11.00 EA		Bid:		11.00 EA	
5752	SET BOX W INC 2	11.00 EA			8.00	3,672	413	383	2,481		6,949	
Mh:	44.00	Shifts:	2.8	Mh/Un:	4.0000	Un/Sh:	4.0000	333.79	37.52	34.80	225.57	631.68
*****Biditem/Category	8115	*****				3,672	413	383	2,481		6,949	
Mh:	44.00	Mh/Un:	4.0000			333.79	37.52	34.80	225.57		631.68	
*** 8120	CONNECT AND INSTALL ASR					Takeoff:	7.00 EA		Bid:		7.00 EA	
5671	INSTALL 6" ASR	7.00 EA		6316-1	8.00	9,306	23,559	61	1,861		34,788	
Mh:	105.00	Shifts:	4.4	Mh/Un:	15.0000	Un/Sh:	1.6000	1,329.48	3,365.61	8.70	265.85	4,969.65
*****Biditem/Category	8120	*****				9,306	23,559	61	1,861		34,788	
Mh:	105.00	Mh/Un:	15.0000			1,329.48	3,365.61	8.70	265.85		4,969.65	
Mh:	787.00	***REPORT TOTALS***					73,166	86,375	7,009	29,248	6,270	202,067

N = Activity not adjusted to bid quantity

**SCUSD Chavez-Kemble ES CCD #002  
GENERAL REQUIREMENTS**

Cost Coding				GENERAL REQUIREMENTS			
Division	Cost Type	Cost Code	Description	UOM	Quantity	Rate	Total Amount
GR	42035	10114200	OFFICE CLEAN-UP	MO	7.00	\$ 450.00	\$ 3,150
GR	42035	10112800	OFFICE/TRAILER RENTAL (GC & CM/IOR)	MO	7.00	\$ 2,000.00	\$ 14,000
GR	42035	10113800	INTERNET SERVICE & SECURITY MONITORING	MO	7.00	\$ 4,174.00	\$ 29,218
GR	42035	10114800	JOBSITE TOILETS/WASH STATIONS	MO	7.00	\$ 800.00	\$ 5,600
GR	42035	10126201	TABLETS	MO	7.00	\$ 140.08	\$ 981
GR	42035	10126500	COMPUTER EQUIP/NETWORK EQUIP (InTrailer)	MO	7.00	\$ 2,297.00	\$ 16,079
GR	42035	10126702	TEXTURA - CCD 002 - INC 01 Extension	LS	1.00	\$ 1,500.00	\$ 1,500
GR	42035	10127300	OFFICE/TRAILER SUPPLIES & CONSUMABLES	WK	30.00	\$ 255.00	\$ 7,650
GR	42030	10127500	PRINTER RENTAL	MO	7.00	\$ 300.00	\$ 2,100
GR	42035	10126500	SITE ASSIST INSPECTION SOFTWARE	MO	7.00	\$ 600.00	\$ 4,200
GR	42035	10128000	PRINTING - DRWGS & SPECS	EA	1.00	\$ 1,500.00	\$ 1,500
GR	42035	10128200	AS-BUILT SCANNING & REPRODUCTIONS	EA	1.00	\$ 1,950.00	\$ 1,950
GR	42035	10128201	CLOSEOUT BINDER REPRODUCTIONS	LS	1.00	\$ 500.00	\$ 500
GR	42035	10128800	CEREMONY/MTGS/JOBSITE TOURS/OUTREACH	EA	1.00	\$ 3,500.00	\$ 3,500
GR	42035	10142200	GRADALL / LIFT	MO	3.00	\$ 2,000.00	\$ 6,000
GR	42035	10142900	EQUIPMENT FUEL - DIESEL	MO	3.00	\$ 400.00	\$ 1,200
GR	42010	10151000	TEMP CHAINLINK FENCE (Labor)	EA	2.00	\$ 4,400.00	\$ 8,800
GR	42035	10147501	DUMPSTERS	MO	7.00	\$ 850.00	\$ 5,950
GR	42035	10151000	SOUND BLANKETS	MO	7.00	\$ 4,100.00	\$ 28,700
GR	42010	10151500	JOBSITE CLEAN UP	MO	7.00	\$ 3,900.00	\$ 27,300
GR	42035	10160500	SAFETY BARRICADES - K RAIL	MO	7.00	\$ 450.00	\$ 3,150
GR	42035	10161000	SAFETY WEEK - LUNCH & LEARN / SAFETY INCENTIVES	EA	1.00	\$ 2,500.00	\$ 2,500
GR	42035	10172500	GENERATOR	MO	7.00	\$ 1,650.00	\$ 11,550
GR	42035	11910015	TIA/UPDATE SCHEDULING	MO	7.00	\$ 3,525.00	\$ 24,675
GR	42035	10176001	SWPPP - MONTHLY MAINTENANCE	MO	7.00	\$ 4,850.00	\$ 33,950
GR	42040	10185050	LCP TRACKER - INC 01	EA	1.00	\$ 1,350.00	\$ 1,350
			<b>Subtotal General Requirements</b>	-			\$ 247,053
				-			\$ 247,053

Total GR's for CCD 002: \$ 247,053  
Total Monthly CCD 002 GR's \$ 35,293

## Assumptions / Notes / Clarifications:

- This estimate is based on the DSA Approved CCD #002.
- The Site Utility scope that is being priced and completed by Waller Inc. includes the final raising of utilities, to grade in 2024. It is noted in their quote as “INC #2 Budget Proposal (Partial)” for wet side utilities. – We plan on having them come back to complete their work so as to avoid any warranty issues, etc. and to lock in pricing now to capture savings against escalation. Note: All remaining utility work will be included in Increment 02.
- The Grading Utility scope that is being priced and completed by OC Jones includes rough grade of entire site, excluding North drop off area and the two bio-retention area’s. These area’s will be used for spoils stockpiling during CCD 002 work completion. OC Jones has also included lime treatment and fine grade for the building pads only, as noted in their proposal.
- The Electrical Infrastructure scope this is being pricing and completed by Con J Franke Electric includes all lines as noted on the plan sheet in this proposal. All remaining/future electrical infrastructure work will be included in Increment 02.
- We need to lime treat the site prior to any heavy rains, however, we are going to try and hold off lime treating for as long as possible, weather permitting, due to the increased cost of off haul and disposal of lime treated spoils. Any savings will be returned to the District.
- SWPPP has been budgeted for a Type 2 SWPPP Permit.
- This proposal assumes that the work and any utility that is removed, connects to, or encroaches into the project site is owned by the Sacramento City Unified School District.
- This proposal assumes flow tests have been completed and that the existing fire system can support the new fire line, fire sprinklers and fire hydrants.
- This proposal assumes that all sewer or storm drain piping and systems that any new work connects to is in good working order.
- This proposal includes General Liability Insurance, Builders Risk Insurance, and Performance and Payment Bonds.
- We are maintaining our current monthly GC Rate that we had in Increment 1, however, we have reduced our monthly GR’s to reflect the project needs based on anticipated scope for CCD 002.
- All notes and inclusions as noted on trade contractor quotes included in this proposal
- The Owner Contingency and Construction Contingency do not contain any mark up for Fee, just Insurance and Bonds. Upon contingency usage, Fee would be added. Upon return of any unused Contingencies, only mark ups for Insurance and Bonds would be included in the returned amount.

## Exclusions

- Removal and/or relocation of any unforeseen underground obstructions and utilities, including but not limited to boulders/obstructions, not identified on approved CCD.
- Handling and/or removal of any hazardous materials outside of ENTEK reports dated 08.31.22 and 09.07.22.
- Costs for delays due to extreme weather conditions.
- Excessive dewatering and winterization above average rainfall.
- Skilled and trained is not included for project nor is tracking and submission to DIR.
- All exclusions as noted on trade contractor quotes included in this proposal, unless otherwise noted.
- Flow test of existing Fire Water.
- Professional liability / errors and omissions insurance.
- Soils Analysis Testing and Reports.
- All fire protection improvements including site fire hydrants, outside the leased area / scope of work.





Activity ID	Activity Name	Orig Duration	Start	Finish	2024																			
					Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec			
UGDW-1010	Excavate DW Trench - Domestic Water	4	09-Feb-24	14-Feb-24									■	Excavate DW Trench - Domestic Water										
UGDW-1020	Place DW Line & Tracer Wire - Domestic Water	3	13-Feb-24	15-Feb-24									■	Place DW Line & Tracer Wire - Domestic Water										
UGDW-1030	Center Load DW Pipe Lengths Prior to Testing - Domestic Water	1	16-Feb-24	16-Feb-24										Center Load DW Pipe Lengths Prior to Testing - Domestic Water										
UGDW-1040	Pressure Test DW Line - Domestic Water	1	19-Feb-24	19-Feb-24										Pressure Test DW Line - Domestic Water										
UGDW-1050	Chorlinate DW Line & Perform a Bacteria Test - Domestic Water	2	20-Feb-24	21-Feb-24									■	Chorlinate DW Line & Perform a Bacteria Test - Domestic Water										
UGDW-1060	Flush DW Line - Domestic Water	1	22-Feb-24	22-Feb-24										Flush DW Line - Domestic Water										
UGDW-1070	Backfill & Compact DW Trench - Domestic Water	4	23-Feb-24	28-Feb-24									■	Backfill & Compact DW Trench - Domestic Water										
UGDW-1075	Survey Location for Future Building - Domestic Water	1	28-Feb-24	28-Feb-24										Survey Location for Future Building - Domestic Water										
UGDW-1080	Main Domestic Water Line Complete - Domestic Water	1	28-Feb-24	28-Feb-24										Main Domestic Water Line Complete - Domestic Water										
<b>Electrical &amp; Low Voltage</b>		17	29-Feb-24	22-Mar-24																				
UGE-1000	Survey Electrical Power & Low Voltage Distribution - Elec. LV	1	29-Feb-24	29-Feb-24										Survey Electrical Power & Low Voltage Distribution - Elec. LV										
UGE-1010	Excavate Elec / LV Trenches - Elec. LV	5	01-Mar-24	07-Mar-24									■	Excavate Elec / LV Trenches - Elec. LV										
UGE-1020	Place Conduit & Tracer Wire for Elec / LV - Elec. LV	5	05-Mar-24	11-Mar-24									■	Place Conduit & Tracer Wire for Elec / LV - Elec. LV										
UGE-1030	Set Pull Boxes & Cover Plates - Elec. LV	4	08-Mar-24	13-Mar-24									■	Set Pull Boxes & Cover Plates - Elec. LV										
UGE-1050	Visual Inspection of Conduits & Tracer Wire - Elec. LV	1	14-Mar-24	14-Mar-24										Visual Inspection of Conduits & Tracer Wire - Elec. LV										
UGE-1040	Pour Concrete at Conduit 90's - Elec. LV	1	14-Mar-24	14-Mar-24										Pour Concrete at Conduit 90's - Elec. LV										
UGE-1060	Back Fill & Compact Trenches - Elec. LV	5	15-Mar-24	21-Mar-24									■	Back Fill & Compact Trenches - Elec. LV										
UGE-1065	Survey Location for Future Building - Elec. LV	1	22-Mar-24	22-Mar-24										Survey Location for Future Building - Elec. LV										
UGE-1070	Electrical Power & Low Voltage Distribution Conduits Complete - EI	1	22-Mar-24	22-Mar-24										Electrical Power & Low Voltage Distribution Conduits Complete - Elec. LV										
<b>Inc #1 CCD 2 Site Work Inspection</b>		95	07-Nov-23	25-Mar-24																				
INSP-2000	Confirm Building Pad Certification - CCD 2	1	07-Nov-23	07-Nov-23										Confirm Building Pad Certification - CCD 2										
INSP-2010	Final Flush Testing Observed by Project Inspector - CCD 2	1	09-Jan-24	09-Jan-24										Final Flush Testing Observed by Project Inspector - CCD 2										
INSP-2020	Bacteria Test Performed on Domestic Water Line - CCD 2	1	29-Feb-24	29-Feb-24										Bacteria Test Performed on Domestic Water Line - CCD 2										
INSP-2040	Compaction Tests Verified - CCD 2	1	22-Mar-24	22-Mar-24										Compaction Tests Verified - CCD 2										
INSP-2060	CCD 2 Site Work Inspections Complete	1	25-Mar-24	25-Mar-24										CCD 2 Site Work Inspections Complete										

Start Date: 09-Aug-23  
 Finish Date: 22-May-24  
 Data Date: 09-Aug-23  
 Print Date: 25-Aug-23

- Actual Work
- Planned Tasks
- Critical Remainin...
- Milestone



**Sacramento City Unified School District**  
**Kemble-Chavez Elementary School Inc #1 CCD 2**

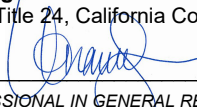




## APPLICATION FOR SUBMITTAL OF POST-APPROVAL DOCUMENT

This application is for submittal of documents, after the initial approval of the project (post-approval documents), that require Division of the State Architect (DSA) review and approval. This form shall be completed by the Design Professional in General Responsible Charge of the project, in accordance with California Code of Regulations, Title 24, Part 1, Sections 4-317, 4-323 and 4-338 and in compliance with DSA IR A-6: Construction Change Document Submittal and Approval Process.

DSA documents referenced within this form are available on the [DSA Forms](#) or [DSA Publications](#) webpages.

<b>1. SUBMITTAL TYPE: (Is this a resubmittal? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/></b>				
Deferred Submittal <input type="checkbox"/>	Addendum Number:	Revision Number: <b>V3</b>	CCD Number: <b>002</b>	Category A <input checked="" type="checkbox"/> or B <input type="checkbox"/>
<b>2. PROJECT INFORMATION:</b>				
School District/Owner: <b>Sacramento City Unified School District</b>			DSA File Number: <b>48 H10</b>	
Project Name/School: <b>Chavez-Kemble Elementary School</b>			DSA Application Number <b>02 120693</b>	
<b>3. APPLICANT INFORMATION:</b>				
Date Submitted: <b>08/02/23</b>		Attached Pages? No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Number of pages? <b>15</b>		
Firm Name: <b>Lionakis</b>		Contact Name: <b>Stefanie Gernert</b>		
Work Email: <b>Stefanie.Gernert@lionakis.com</b>		Work Phone: <b>(916) 558-1900</b>		
Firm Address: <b>2025 Nineteenth Street</b>		City: <b>Sacramento</b>	State: <b>CA</b>	Zip Code: <b>95818</b>
<b>4. REASON FOR SUBMITTAL: (Check applicable boxes)</b>				
<input type="checkbox"/> For revision or addendum prior to construction.			<input checked="" type="checkbox"/> For a project currently under construction.	
<input type="checkbox"/> For a project that has a form <i>DSA 301-N: Notification of Requirement for Certification</i> , <i>DSA 301-P: Posted Notification of Requirement for Certification</i> or a 90-Day Letter issued.				
<input type="checkbox"/> To obtain DSA approval of an existing uncertified building or buildings.				
<input type="checkbox"/> For Category B CCD this is: <input type="checkbox"/> a voluntary submittal, <input type="checkbox"/> a DSA required submittal (attach DSA notice requiring submission).				
<b>5. DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE:</b>				
Name of the Design Professional In General Responsible Charge: <b>Laura Knauss</b>				
Professional License Number: <b>C20149</b>			Discipline: <b>Architectural</b>	
<b>Design Professional in General Responsible Charge Statement:</b> The attached post-approval documents have been examined by me for design intent and appear to meet the appropriate requirements of Title 24, California Code of Regulations and the project specifications. They are acceptable for incorporation into the construction of the project.				
Signature:  <div style="text-align: center; margin-top: 5px;">DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE</div>				
<b>6. CONFIRMATION, DESCRIPTION AND LISTING OF DOCUMENTS:</b>				
For addenda, revisions, or CCDs: CHECK THIS BOX <input checked="" type="checkbox"/> to confirm that <i>all</i> post-approval documents have been stamped and signed by the Responsible Design Professional listed on form <i>DSA 1: Application for Approval of Plans and Specifications</i> for this project. (For <i>Deferred Submittals</i> , refer to <i>IR A-18: Use of Construction Documents Prepared by Other Professionals</i> , and <i>IR A-19: Design Professional's Signature and Seal (Stamp) on Construction Documents</i> , when applicable, for signature and seal requirements.)				
Provide a brief description of construction scope for this post-approval document (attach additional sheets if needed): <b>Revised CCD 2 response to DSA comments. Adding site work to new construction: certified building pads, underground utilities within 5' of the buildings (fire water, fire sprinkler, storm drain, domestic, sewer, electrical).</b>				
List of DSA-approved drawings affected by this post-approval document: <b>1C101,1CG101,1CS101,1CG102A,1CU101A,1CU401A,1CU102A,1CK101,1CS501,1CS502,1CS503,1.E-101</b>				

DSA USE ONLY		Returned	DSA STAMP
SSS <b>SI</b>	Date <b>8/3/23</b>	<input checked="" type="checkbox"/> Approved <input type="checkbox"/> Disapproved <input type="checkbox"/> Not Required	<div style="border: 2px solid black; border-radius: 15px; padding: 10px; width: fit-content; margin: auto;"> <p style="text-align: center; margin: 0;">APPROVED</p> <p style="text-align: center; margin: 0;">DIV. OF THE STATE ARCHITECT</p> <p style="text-align: center; margin: 0;">APP: 02-120693 INC:</p> <p style="text-align: center; margin: 0;">REVIEWED FOR</p> <p style="text-align: center; margin: 0;">SS <input checked="" type="checkbox"/> FLS <input checked="" type="checkbox"/> ACS <input checked="" type="checkbox"/></p> <p style="text-align: center; margin: 0;">DATE: <b>08/03/2023</b></p> </div>
Comments: _____			
FLS _____	Date _____	<input type="checkbox"/> Approved <input type="checkbox"/> Disapproved <input type="checkbox"/> Not Required	
Comments: _____			
ACS _____	Date _____	<input type="checkbox"/> Approved <input type="checkbox"/> Disapproved <input type="checkbox"/> Not Required	
Comments: _____			

ABBREVIATIONS

Table of abbreviations for various engineering symbols and materials, including aggregate base, asphaltic concrete, and various pipe types.

SYMBOLS LEGEND

Proposed grading & drainage symbols, including storm drain lines, manholes, catch basins, and various valves.

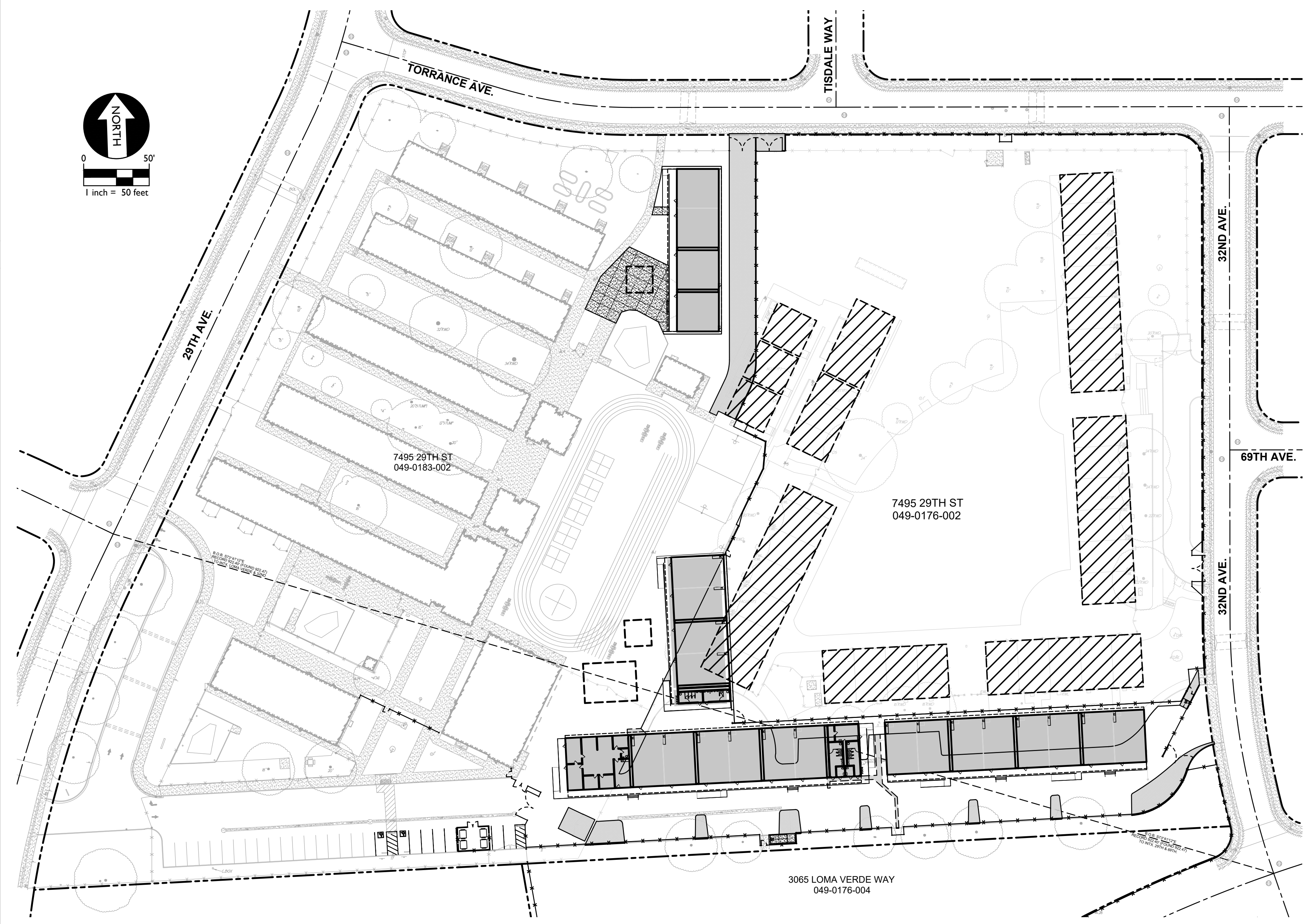
Proposed sanitary sewer symbols, including sewer lines, manholes, and flusher branches.

APPLICABLE CODES & STANDARDS

- List of applicable codes and standards including California Administrative Code (CAC), Building Code (CBC), Electrical Code (CEC), Plumbing Code (CPC), Energy Code (CEC), Fire Code (CFC), and International Building Code (IBC).

CIVIL IMPROVEMENT PLANS FOR EDWARD KEMBLE & CESAR CHAVEZ ELEMENTARY SCHOOL INCREMENT 1 - PORTABLE RELOCATION

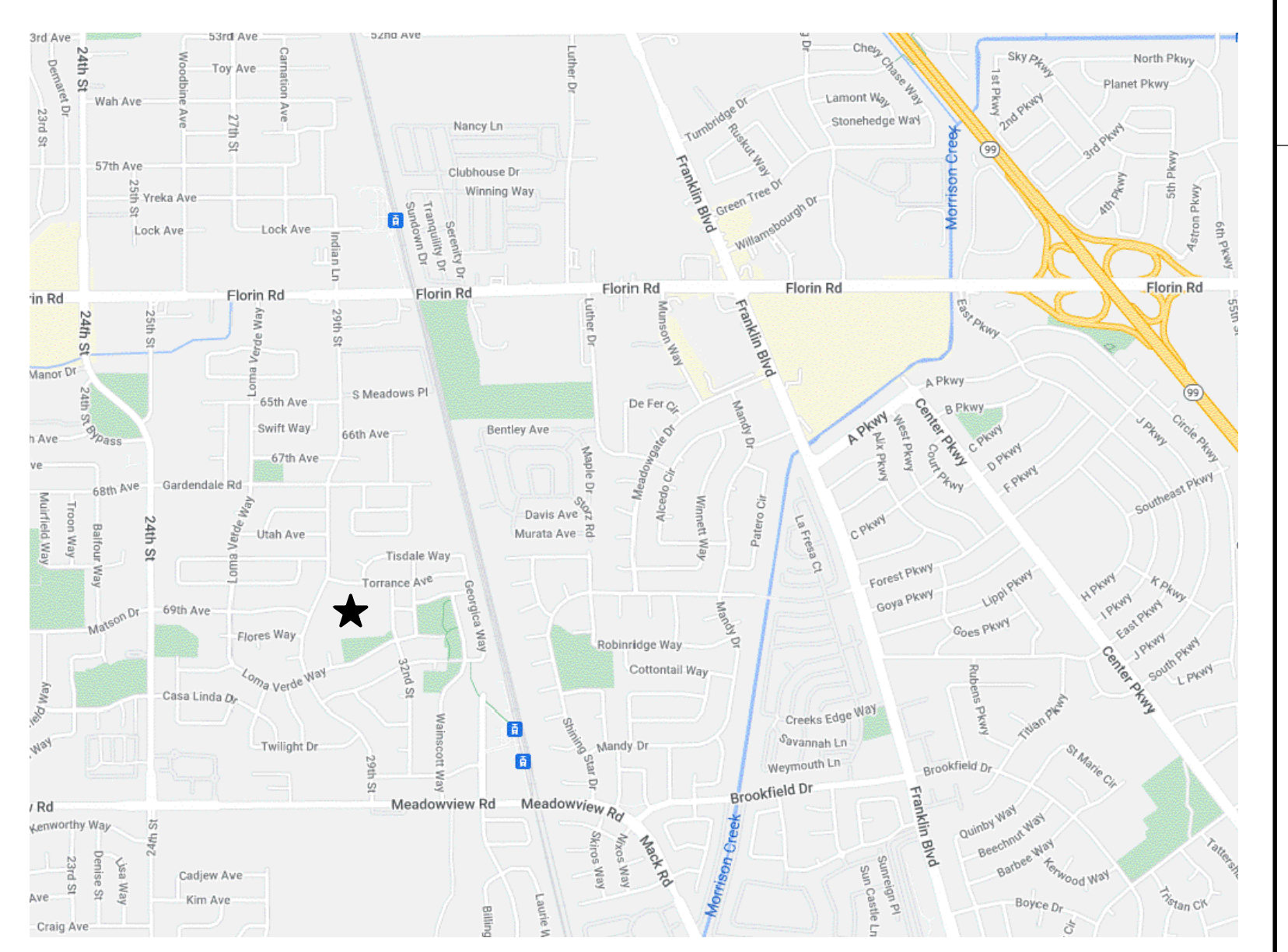
7495 29TH STREET SACRAMENTO, CA 95822 TORRANCE AVE.



SITE PLAN SCALE = 1" = 50'-0"

GENERAL NOTES

- General notes detailing construction requirements, safety protocols, and utility handling. Includes a '811 Know what's below. Call before you dig.' logo.



VICINITY MAP NO SCALE

SHEET INDEX

Table listing sheet numbers and titles, such as 'GENERAL CIVIL INFO', 'CIVIL TITLE SHEET', and 'SURVEY INFORMATION SHEET'.

WATER FLUSHING NOTES:

- Notes regarding water flushing procedures, including requirements for residual chlorine, turbidity, and pH levels.

GENERAL PAVING SURFACE NOTES:

- Notes regarding paving surface requirements, including broom finish, slope, and joint specifications.

LIONAKIS logo and contact information: 2025 Nineteenth Street, Sacramento, CA 95818.

WC logo for Warren Consulting Engineers, Inc. and a professional engineer seal for Anthony J. Tassano.

KEMBLE-CHAVEZ ELEMENTARY SCHOOL - PORTABLE RELOCATION INCREMENT 1

7495 29TH ST SACRAMENTO, CA 95822

Table with columns for MARK, DATE, and DESCRIPTION, showing a revision on 6-30-2023.

Management table with columns for LIONAKIS PROJECT NO., CLIENT PROJECT NO., and COPYRIGHT.

Agency table with columns for AGENCY and TITLE.

CIVIL COVER SHEET

SHEET 1C101

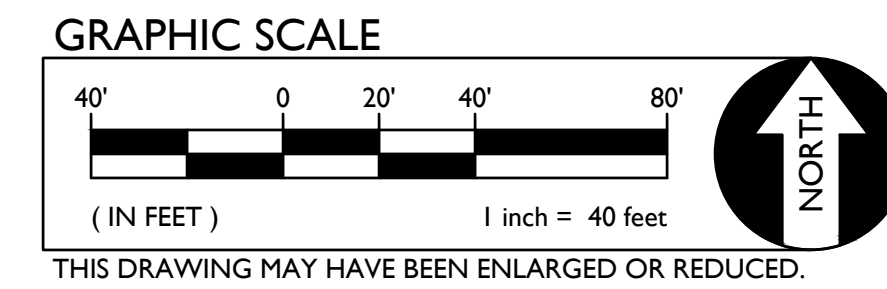
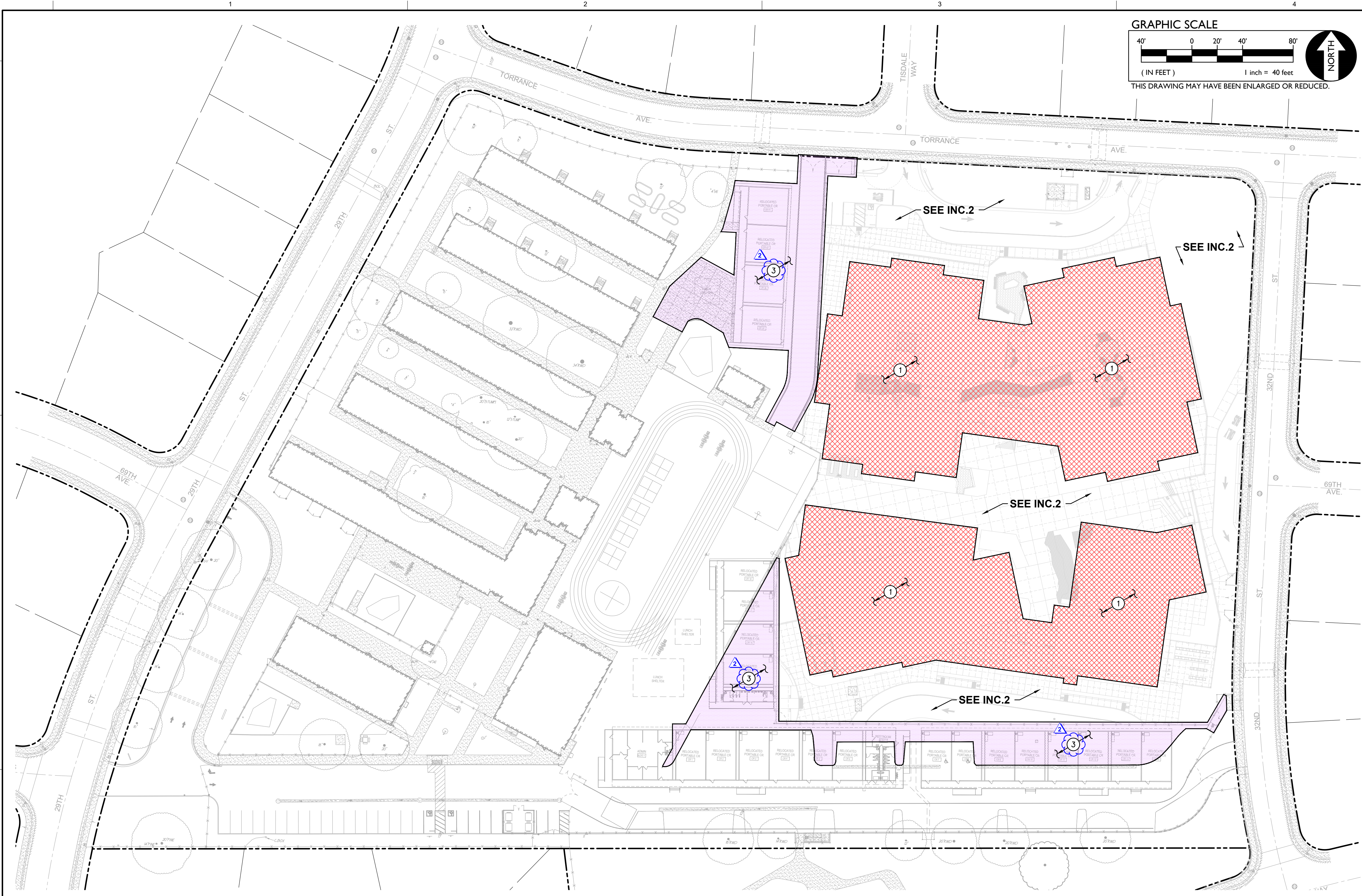
IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT - SCALE ACCORDINGLY

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ENGINEERED FILL LEGEND	
	<b>BUILDING PAD AREA SUBGRADE PREPARATION</b> FOLLOWING THE SITE DEMOLITION AND STRIPPING AS OUTLINED IN THESE PLANS AND PROJECT SPECIFICATIONS, EXCAVATE AS NEEDED TO PROPOSED SUBGRADE ELEVATION. CONTRACTOR SHALL CONSULT ON-SITE GEOTECHNICAL ENGINEER TO ENSURE THAT NO LOOSE FILLS ARE PRESENT AT THIS STAGE WHICH REQUIRE ADDITIONAL EXCAVATION. IF PRESENT, CONTRACTOR SHALL OVER-EXCAVATE TO FIRM NATIVE SOILS. OVER-EXCAVATION DEPTH SHALL BE UNIFORM AND NO "SLOT CUTTING" BELOW FOUNDATIONS ELEMENTS WILL BE ALLOWED. BACKFILL SUCH OVER-EXCAVATIONS WITH NON-EXPANSIVE ENGINEERED FILL PER SECTION 31 00 00.  FOLLOWING EXCAVATION TO SUBGRADE, CONTRACTOR SHALL TREAT, GRADE AND COMPACT THE UPPER 18" (MINIMUM) WITH LIME IN ACCORDANCE WITH SECTION 31 32 00.  FOLLOWING LIME TREATMENT AND CURING, CONTRACTOR SHALL COVER AND PROTECT BUILDING PADS FROM MOISTURE LOSS IF INTENDED TO SIT FOR LONG PERIODS (EXCESS OF 1 WEEK). COVERINGS/METHODS SHALL BE PLASTIC SHEETING OR OTHER COVERINGS, OR BASE ROCK OR OTHER CAPILLARY BREAK APPROVED BY THE SITE GEOTECHNICAL ENGINEER.  THE LIMITS OF SUBGRADE PREPARATION SHALL EXTEND AT LEAST 5 FEET BEYOND EDGE OF PROPOSED BUILDING OR FOUNDATION ELEMENTS. THIS TREATMENT SHALL OVERRIDE ALL TREATMENTS LISTED BELOW WHEN OVERLAPPING CONDITIONS EXIST.  UTILITIES SHOULD BE INSTALLED PRIOR TO LIME TREATMENT TO THE MAXIMUM PRACTICAL EXTENT. HOWEVER, DUE TO PROJECT INCREMENT SCOPE, MANY UTILITIES WITHIN THE PROPOSED PAD AREAS ARE EXPECTED TO BE TRENCHED AFTER LIME TREATMENT, OR THE BUILDING PAD WORK SHOWN ABOVE POSTPONED UNTIL INC.2 PLANS ARE APPROVED, AND UTILITIES CAN BE INSTALLED. REGARDLESS OF PROCESS, ANY TRENCHING PERFORMED THROUGH THE LIME SHALL COMPLY WITH SECTION 31 32 00 AND 31 23 33. LIME TREATED AND CURED SOIL THAT IS RE-EXCAVATED MAY NOT BE RE-USED UNLESS RE-TREATED AND RE-CURED WITH LIME. IT IS RECOMMENDED IT BE REMOVED FROM THE SITE. CONTRACTOR MAY BE REQUIRED TO MIX THIS SOIL WITH NON-LIME TREATED SOIL UNTIL THE PH IS AT AN ACCEPTABLE LEVEL TO BE RECEIVED, AND CONTRACTOR SHALL PERFORM THIS STEP AS NEEDED.
	<b>CONCRETE FLATWORK SUBGRADE PREPARATION</b> SEE INC. 2
	<b>TEMPORARY ASPHALT PAVING, CONCRETE FLATWORK AND AGGREGATE BASE SURFACING</b> FOLLOWING THE SITE DEMOLITION AND STRIPPING AS OUTLINED IN THESE PLANS AND PROJECT SPECIFICATIONS, EXCAVATE AS NEEDED TO PROPOSED SUBGRADE ELEVATION. CONTRACTOR SHALL CONSULT ON-SITE GEOTECHNICAL ENGINEER TO ENSURE THAT NO LOOSE FILLS ARE PRESENT AT THIS STAGE WHICH REQUIRE ADDITIONAL EXCAVATION. IF PRESENT, CONTRACTOR SHALL OVER-EXCAVATE TO FIRM NATIVE SOILS. OVER-EXCAVATION DEPTH SHALL BE UNIFORM AND NO "SLOT CUTTING" BELOW FOUNDATIONS ELEMENTS WILL BE ALLOWED. BACKFILL SUCH OVER-EXCAVATIONS WITH NON-EXPANSIVE ENGINEERED FILL PER SECTION 31 00 00.  FOLLOWING EXCAVATION TO SUBGRADE, CONTRACTOR SHALL MAY PROCEED WITH EITHER OF THE FOLLOWING OPTIONS:  <b>OPTION 1</b> TREAT, GRADE AND COMPACT THE UPPER 12" (MINIMUM) WITH LIME IN ACCORDANCE WITH SECTION 31 32 00.  FOLLOWING LIME TREATMENT AND CURING, CONTRACTOR SHALL COVER AND PROTECT BUILDING PADS FROM MOISTURE LOSS IF INTENDED TO SIT FOR LONG PERIODS (EXCESS OF 1 WEEK). COVERINGS/METHODS SHALL BE PLASTIC SHEETING OR OTHER COVERINGS, OR BASE ROCK OR OTHER CAPILLARY BREAK APPROVED BY THE SITE GEOTECHNICAL ENGINEER.  UTILITIES SHOULD BE INSTALLED PRIOR TO LIME TREATMENT TO THE MAXIMUM PRACTICAL EXTENT. ANY TRENCHING PERFORMED THROUGH THE LIME SHALL COMPLY WITH SECTION 31 32 00 AND 31 23 33. LIME TREATED AND CURED SOIL THAT IS RE-EXCAVATED MAY NOT BE RE-USED UNLESS RE-TREATED AND CURED WITH LIME. IT IS RECOMMENDED IT BE REMOVED FROM THE SITE. CONTRACTOR MAY BE REQUIRED TO MIX THIS SOIL WITH NON-LIME TREATED SOIL UNTIL THE PH IS AT AN ACCEPTABLE LEVEL TO BE RECEIVED, AND CONTRACTOR SHALL PERFORM THIS STEP AS NEEDED.  <b>OPTION 2</b> CONTINUE TO OVER-EXCAVATE TO 12" BELOW SUBGRADE ELEVATION. SCARIFY THE UNDERLYING SOIL TO A DEPTH OF 12", MOISTURE CONDITION TO 2% ABOVE THE OPTIMUM AND RE-COMPACT TO 90% RELATIVE COMPACTION. IF SHALLOW UTILITIES MAKE SCARIFICATION AND RE-COMPACTMENT REASONABLY DIFFICULT, CONTRACTOR MAY REDUCE SCARIFICATION AND RE-COMPACT TO 6" DEEP (OR LESS WITH ON-SITE GEOTECHNICAL ENGINEER APPROVAL), AND USE ONLY A STATIC ROLLER.  ONCE COMPACTED, IF 90% IS NOT ACHIEVED, OR SCARIFICATION DEPTH IS REDUCED BELOW 12", PROVIDE TENSAR BX1100 OR TX140 GEOGRID AND 12" OF CALTRANS CLASS II AB, IN 6" LIFTS, EACH MOISTURE CONDITION AND COMPACTED TO 95% UNTIL SUBGRADE ELEVATION IS ACHIEVED.  THE LIMITS OF SUBGRADE PREPARATION SHALL EXTEND AT LEAST 2 FEET BEYOND EDGE OF PROPOSED PAVEMENT OR FLATWORK LIMITS. THIS TREATMENT SHALL OVERRIDE ALL TREATMENTS LISTED BELOW WHEN OVERLAPPING CONDITIONS EXIST.
	<b>OTHER NON-PAVING EARTHWORK AREAS (LANDSCAPING)</b> SEE INC. 2
	<b>BIO-RETENTION BASIN</b> SEE INC. 2

1 ENGINEERED FILL PLAN SCALE 1" = 40'-0"

ENGINEERED FILL GENERAL NOTES

- THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE GEOTECHNICAL ENGINEERING REPORT: GEOTECHNICAL ENGINEERING STUDY AND GEOLOGICAL HAZARDS STUDY CHAVEZ - KEMBLE ELEMENTARY SCHOOL  
COMPANY: Atlas Technical Consultants LLC REPORT DATE: DECEMBER 7, 2022  
CONTACT: Nick Anastasio, PE PHONE: (925) 314-7100 PROJ NO. 91-63784-PW
- IN THE EVENT THAT ANY UNUSUAL CONDITIONS NOT COVERED BY THE GEOTECHNICAL INVESTIGATION REPORT OR ARE ENCOUNTERED DURING GRADING OPERATIONS THE GEOTECHNICAL ENGINEER AND THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTIONS.
- NO BURNING OR BLASTING SHALL BE PERMITTED, UNLESS APPROVED BY THE ARCHITECT AND CITY ENGINEER, AND GEOTECHNICAL ENGINEER OF RECORD.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, WARREN CONSULTING ENGINEERS CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY THE DISTRICT TWO (2) WORKING DAYS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK IN ORDER TO VERIFY TO THE GREATEST EXTENT POSSIBLE THE EXISTING UTILITY LINES, CONFLICTS AND PROPOSED UTILITY CONNECTION POINTS.
- NATIVE SOILS ARE EXPECTED TO BE CLAYEY IN NATURE WITH HIGH TO MEDIUM EXPANSION POTENTIAL AND NOT SUITABLE FOR DIRECT SUPPORT OF INTERIOR AND EXTERIOR FLATWORK AND SUBGRADES WITHOUT PROCESSING AND TREATMENT, OR SIGNIFICANT BASE/PAVEMENT SECTIONS AS INDICATED. SOILS MAY BE WET WHEN EXCAVATED AND WILL NEED MOISTURE CONDITIONING PROCEDURES PRIOR TO EFFECTIVE GRADING AND COMPACTION.
- SITE SHALL BE CLEARED AND STRIPPED IN ACCORDANCE WITH THE DEMOLITION PLAN AND PROJECT SPECIFICATIONS. ANY ABNORMAL CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR DIRECTION.
- DUE TO PROJECT SCHEDULE, WEATHER OR OTHER SITUATIONS, OTHER SUBGRADE STABILIZATION METHODS MAY BE ENTERTAINED THROUGH THE RFI PROCESS, BUT SHALL BE REVIEWED AND BASED ON RECOMMENDATIONS BY THE SITE GEOTECHNICAL ENGINEER PROVIDE TO FILING THE REQUEST. INCLUDE FIELD REPORT WITH RECOMMENDATIONS FROM SITE GEOTECHNICAL ENGINEER IN REQUEST.
- ALL FILL MATERIAL, NATIVE PROCESSED ON-SITE MATERIAL OR IMPORTED, SHALL BE REVIEWED AND APPROVED BY THE SITE GEOTECHNICAL ENGINEER BEFORE USED AS ENGINEERED FILL.
- SURFACE AND SUBSURFACE SOILS ARE NOT CONSIDERED TO BE SIGNIFICANTLY CORROSIVE TO BURIED METAL OR CONCRETE ELEMENTS OR COMPONENTS OF THE SITE DEVELOPMENT SUCH AS UTILITIES. SPECIAL MITIGATION MEASURES OR PROTECTION SYSTEMS ARE NOT FOUND NECESSARY FOR THIS REASON.
- IF IMPORTED MATERIALS ARE TO BE USED AS FILLS, IT SHALL MEET THE FOLLOWING CHARACTERISTICS:
  - PLASTICITY INDEX SHALL BE 15 OR LESS.
  - AN EXPANSION INDEX OF 20 OR LESS
  - SHALL NOT CONTAIN ROCKS OR PARTICLES LARGER THAN 3 INCHES IN DIAMETER.
  - CONTAIN SUFFICIENT BINDER TO PREVENT CAVING WHEN EXCAVATED.
  - SHALL BE DOCUMENTED CLEAN OF CONTAMINATION OR SIGNIFICANT CONCENTRATIONS OF ORGANIC MATERIAL, NO MORE THAN 3% BY WEIGHT.
  - SHALL BE DOCUMENTED OR CERTIFIED NON-CORROSIVE, WITHIN ACCEPTABLE LIMITS; (LESS THAN 0.05% SULFATES BY WEIGHT AND MIN. RESISTIVITY OF >3,000 OHMS-CM.
  - MEETS OR EXCEEDS DTSC REQUIREMENTS FOR USE ON A SCHOOL SITE.

ALL IMPORTED FILLS SHALL BE APPROVED BY THE SITE GEOTECHNICAL ENGINEER PRIOR TO TRANSPORTATION TO THE SITE, AND PRIOR TO ACQUISITION BY THE CONTRACTOR. NO ADDITIONAL COSTS WILL BE GRANTED TO THE CONTRACTOR FOR EXTRA PROCUREMENT WORK AS A RESULT OF REJECTED IMPORT SOILS.
- TEMPORARY CONTRACTOR STAGING / LAY DOWN SPACES TO BE UTILIZED BY CONTRACTOR SHALL BE RETURNED TO EXISTING CONDITIONS OR GREATER TO THE SATISFACTION OF THE SCHOOL DISTRICT, AND SHALL BE COMPLETED AT THE CONTRACTOR'S EXPENSE. CONTRACTOR SHALL TEST IRRIGATION SYSTEMS WITH OWNER PRIOR TO THE START OF CONSTRUCTION TO DETERMINE ALL OPERATIONAL AND NON-OPERATIONAL SYSTEMS. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ALL IRRIGATION SYSTEMS WITHIN THE LIMITS OF WORK BROKEN DURING CONSTRUCTION.
- ALL DAMAGE CAUSED DURING THE COURSE OF CONSTRUCTION TO ROADS AND ACCESS WAYS USED BY CONSTRUCTION EQUIPMENT INTO AND OUT OF THE SITE SHALL BE REPAIRED AFTER CONSTRUCTION IS COMPLETE. IT IS HIGHLY RECOMMENDED PHOTO DOCUMENTATION OF EXISTING CONDITIONS IS PERFORMED BY CONTRACTOR PRIOR TO CONSTRUCTION.

ORGANIC STRIPPINGS

STRIPPINGS AND SOIL CONTAINING ORGANIC MATERIAL (>3%) SHOULD NOT BE USED IN GENERAL FILL CONSTRUCTION AREAS SUPPORTING STRUCTURES, INTERIOR/EXTERIOR CONCRETE SLABS, AND ASPHALT AND CONCRETE FLATWORK. WITH PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT ON A CASE-BY-CASE BASIS, AND FOLLOWING REVIEW OF FIELD SOILS CONDITIONS, STRIPPINGS AND SOIL CONTAINING ORGANIC MATERIAL MAY BE USED IN LANDSCAPE AREAS, PROVIDED THEY ARE KEPT AT LEAST FIVE FEET FROM THE BUILDING PADS AND OTHER SURFACE IMPROVEMENTS, MOISTURE CONDITIONED, AND COMPACTED.

SOIL MOISTURE

ON-SITE SOILS WILL LIKELY BE MORE SATURATED IN FALL, WINTER AND SPRING MONTHS. SOILS BENEATH EXISTING PAVEMENTS MAY BE SATURATED REGARDLESS OF TIME OF YEAR. THEY WILL NOT BE COMPATIBLE WITHOUT AERATION, CHEMICAL TREATMENT OR REMOVAL AND REPLACEMENT. CONTRACTOR SHOULD ANTICIPATE THIS IN THE CONSTRUCTION SCHEDULE AND MAKE ARRANGEMENTS TO PERFORM THIS WORK AS NEEDED. OFTEN, A PERIOD OF AT LEAST ONE MONTH OF WARM AND DRY WEATHER IS NECESSARY TO ALLOW THE SITE TO DRY SUFFICIENTLY SO THAT HEAVY GRADING EQUIPMENT CAN OPERATE EFFECTIVELY AND REQUIRED COMPACTION CAN BE ACHIEVED. CONVERSELY, DURING THE SEASONAL DRY PERIOD (TYPICALLY SUMMER AND FALL), DRY SOILS MAY REQUIRE ADDITIONAL GRADING EFFORT (DISCING OR OTHER MEANS) TO ATTAIN PROPER MOISTURE CONDITIONING.

Table 5: Project Compaction Requirements

Description	Min. Percent Relative Compaction (per ASTM D1557)	Recommended Minimum Percent Above (or Below) Optimum Moisture Content
Fill Areas, Engineered Fill, Onsite Soil	90	3
Fill Areas, Engineered Fill, Select Fill	90	2
Building Pads, Onsite Soil - Scarified Subgrade prior to Fill	87-92	3
Building Pads, Onsite Soil - Structural General Fill	90	3
Building Pads, Baseroack or Select (non-expansive) Engineered Fill	90	±2
Building Pads - Treated Soil	90	2
Vehicular Pavement, Subgrade, Upper 8"	95	3
Vehicular Pavement, Onsite Soil or Fill (8" or deeper)	90	3
Vehicular Pavement, Class 2 Baseroack	95	2
Concrete Flatwork, Subgrade Soil	87-92	3
Concrete Flatwork, Baseroack	90	±2
Underground Utility Backfill	90	3
Underground Utility Trench Backfill, Upper 3' Feet below Existing Pavement Sections (where applicable)	95	3



APPROVED BY THE STATE ARCHITECT  
APP: 02-120663 INC.  
RENEWED FOR  
68 ID PLSD ACS ID  
DATE: 08/03/2023

**LIONAKIS**

2025 Ninth Street  
Sacramento, CA 95818  
P. 916.558.1900  
www.lionakis.com

CONSULTANT

**WCE**  
WARREN CONSULTING ENGINEERS, INC.  
1117 WINDFIELD WAY, SUITE 110  
EL DORADO HILLS, CA 95762 | (916) 985-1870

REGISTERED PROFESSIONAL ENGINEER  
**ANTHONY J. TASSANO**  
CALIFORNIA  
06/08/2023

SEAL

PROJECT  
**KEMBLE-CHAVEZ  
ELEMENTARY SCHOOL -  
PORTABLE RELOCATION  
INCREMENT 1**  
7495 29TH ST  
SACRAMENTO, CA 95822

CLIENT  
SACRAMENTO CITY UNIFIED SCHOOL  
DISTRICT  
5735 47TH AVE, SACRAMENTO CA 95824

MARK	DATE	DESCRIPTION
	6-30-2023	CCD NO. 2

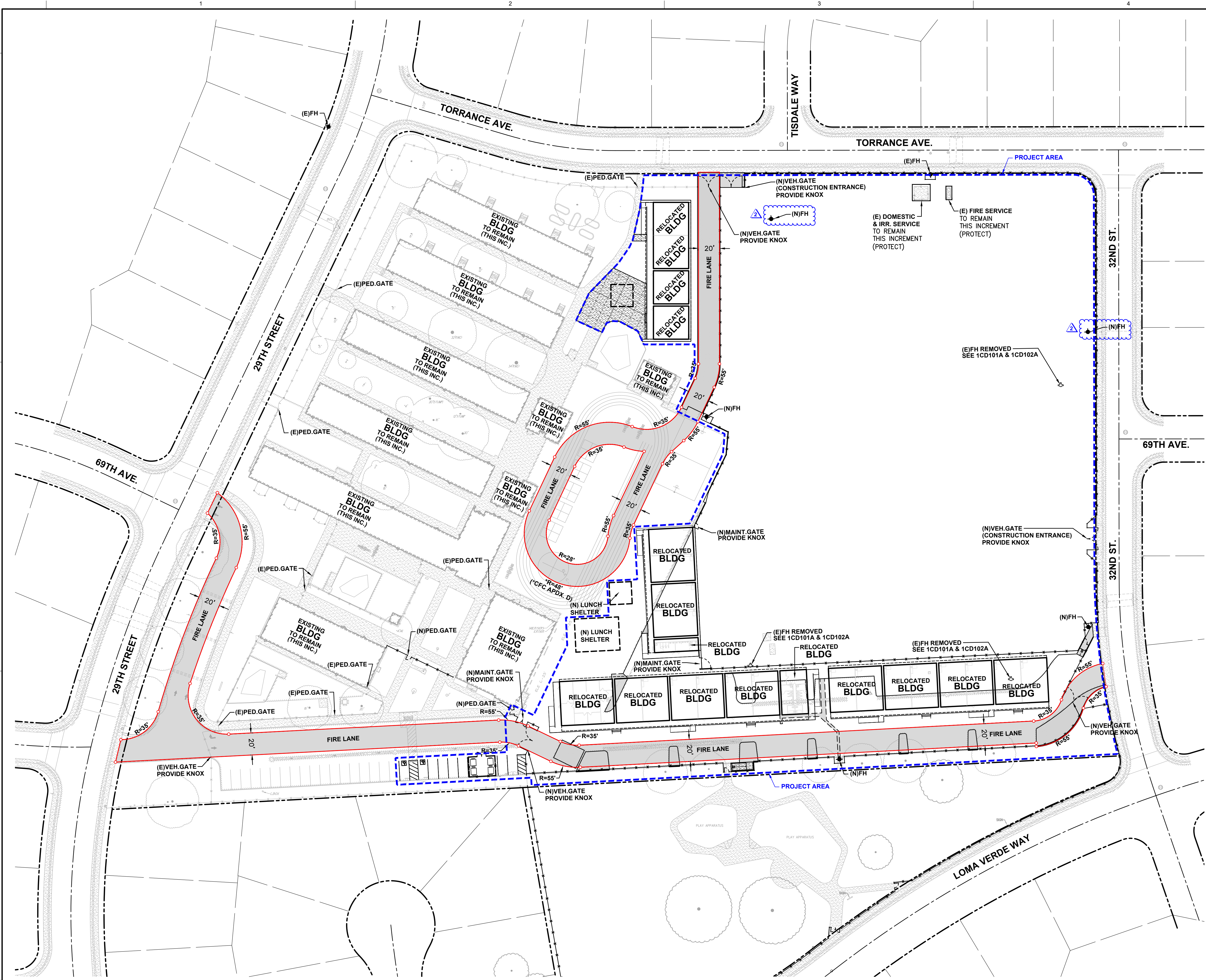
MANAGEMENT	LIONAKIS PROJECT NO.	022093
CLIENT PROJECT NO.		
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AGENCY

TITLE  
**ENGINEERED  
FILL PLAN**

SHEET  
**1CG101**  
NEW SHEET

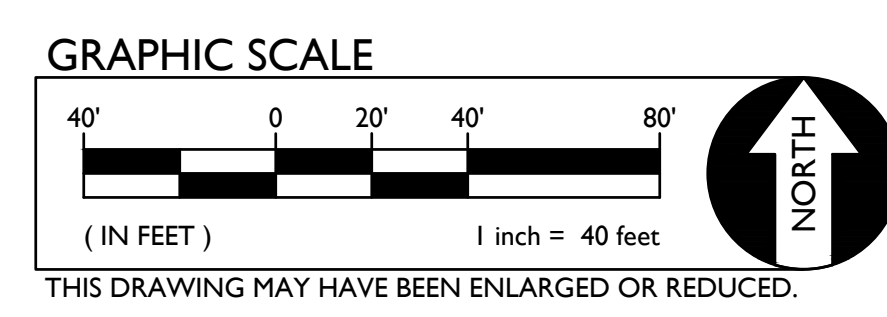
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 IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT - SCALE ACCORDINGLY  
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**1 FIRE ACCESS PLAN**

**TYPICAL FIRE LANE**

CLEAR WIDTH	20 FEET
CLEAR HEIGHT	13.5 FEET
INSIDE RADIUS	35 FEET MIN.
OUTSIDE RADIUS	55 FEET MIN.



**KNOX NOTES**

ALL GATES WHICH CROSS THE FIRE LANE AS DESIGNATED BY THIS PLAN SHALL BE OUTFITTED WITH A LOW LEVEL KNOX LOCK.

ALL FIRE CONTROL ROOMS FOR THIS PROJECT SHALL BE OUTFITTED WITH A HIGH LEVEL KNOX BOX AT A LOCATION WHICH IS APPROVED BY THE SACRAMENTO METROPOLITAN FIRE DISTRICT INSPECTOR.

**PAVEMENT NOTES**

FIRE ACCESS ROADWAYS SHALL BE BUILT TO BEAR A MINIMUM OF 75,000 POUNDS IN ACCORDANCE WITH CFC 2019, APPENDIX D.

**ERRC NOTE**

NEW BUILDINGS SHALL BE PROVIDED WITH EMERGENCY RESPONDER RADIO COVERAGE IN ACCORDANCE WITH CALIFORNIA FIRE CODE SECTION 510. THE PROJECT ARCHITECT (AOR) SHALL CONTACT THE LOCAL FIRE DEPARTMENT AND/OR EMERGENCY COMMUNICATIONS AUTHORITY TO OBTAIN DESIGN, EQUIPMENT SPECIFICATIONS, TESTING AND ACCEPTANCE CRITERIA. PLANS AND REQUESTED DOCUMENTATION SHALL BE SUBMITTED TO THE LOCAL AUTHORITY HAVING JURISDICTION FOR REVIEW AND APPROVAL. UPON COMPLETION, COPIES OF THE APPROVED PLANS, EQUIPMENT DATA SHEETS, TESTING AND ACCEPTANCE DOCUMENTATION SHALL BE PROVIDED TO THE SCHOOL DISTRICT.

**FIRE LANE DESIGNATION**

ALL FIRE LANES ON THIS PLAN SHALL BE DESIGNATED IN ACCORDANCE WITH THE STRIPING PLANS, UTILIZING ONE OF THE FOLLOWING APPROVED MEANS:

- CURBS - PAINT CURB TOP AND FACE RED WITH COMMERCIAL GRADE RED TRAFFIC PAINT. ON FACE OF CURB, PAINT 4" TALL WHITE LETTERING STATING "NO PARKING - FIRE LANE" AT 25' O.C. CENTERED ON FACE.
- PAVING - PAINT 6" WIDE RED STRIPE ON PAVEMENT WITH COMMERCIAL GRADE RED TRAFFIC PAINT, CENTERED IN STRIPE, PAINT 4" TALL WHITE LETTERING STATING "NO PARKING - FIRE LANE" AT 25' O.C.
- SIGNAGE - POSTING OF SIGNS COMPLIANT WITH CFC 2019, APPENDIX D103.6 EVERY 50 FEET.

EXCEPTIONS:

- STREETS 20' WIDE TO 26' WIDE SHALL BE MARKED ON BOTH SIDES AS STATED ABOVE.
- STREETS GREATER THAN 26' WIDE NEED ONLY MARKING ON ONE SIDE AS STATED ABOVE.
- EDGES OF FIRE LANES AT PARKING DO NOT REQUIRE DESIGNATION.

SEE STRIPING PLAN FOR ACTUAL REQUIRED STRIPING.

**FIRE & LIFE SAFETY SITE CONDITIONS SUBMITTAL**

Division of the State Architect (DSA) documents referenced within this publication are available on the [DSA Forms](#) or [DSA Publications](#) webpages.

To facilitate the Division of the State Architect's (DSA) fire and life safety plan review of project site conditions, DSA requires the design professional to provide the following information at time of project submittal for projects consisting of construction of a new campus, construction of new building(s), additions to existing buildings, and for site alternate design means for fire department emergency vehicle access, and fire suppression water supply. Information associated with compliance items 1 through 3 below is to be provided for all project types indicated above. Information associated with items 4 through 7 is to be completed when an alternate means is utilized. Acknowledgement by the school district and signature from the Local Fire Authority (LFA) is only required when an alternate design means is being requested.

The Project Information and Fire & Life Safety Information sections are to be completed for all projects and imaged onto the fire access site plan. When an alternate design/means is proposed, all sections on pages 1 and 2 are to be completed and imaged on the fire access site plan.

For additional information refer to the instructions at the end of this form and DSA Policy PL 09-01: Fire Flow for Buildings.

**PROJECT INFORMATION**

School District/Owner:	SACRAMENTO CITY UNIFIED SCHOOL DISTRICT
Project Name/School:	EDWARD KEMBLE & CESAR CHAVEZ ELEMENTARY SCHOOL - INTERIM HOUSING
Project Address:	7495 29TH STREET, SACRAMENTO, CA 95822

**FIRE & LIFE SAFETY INFORMATION**

1. Has a fire hydrant flow test been performed within the past 12 months? (If yes, provide a copy of the test data.)	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
2. Was the fire hydrant water flow test performed as part of this LFA review?	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
3. Is the project located within a designated fire hazard severity zone (FHSZ) as established by Cal-Fire? (If yes, indicate FHSZ classification below.)	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>	
Refer to the following website for FHSZ locations: <a href="http://regis.fire.ca.gov/FHSZ/">http://regis.fire.ca.gov/FHSZ/</a>	Moderate <input type="checkbox"/>	High <input type="checkbox"/>	Very High <input type="checkbox"/>
Wildland Interface Area (WIFA) (If any designations are checked, project design must meet the requirements of CBC Chapter 7A.)	WIFA <input type="checkbox"/>		

**DSA 810 FIRE & LIFE SAFETY SITE CONDITIONS SUBMITTAL**

CONDITION MEANS AND METHODS RESOLUTION	ALTERNATE ACCEPTED			
	Yes	No	N/A	N/R
4. Emergency vehicle access roadways do not meet CFC requirements.			<input checked="" type="checkbox"/>	
4a. Acceptable Alternate: Emergency vehicle and personnel access as proposed by the project architect is acceptable for providing fire suppression and protection of life and property.				
5. Fire Hydrants: Number and spacing does not meet CFC requirements.			<input checked="" type="checkbox"/>	
5a. Acceptable Alternate: Number of fire hydrants and spacing as proposed by the project architect is acceptable for fire suppression and protection of life and property.				
6. Fire Hydrants: Water flow and pressure are less than CFC minimum.			<input checked="" type="checkbox"/>	
6a. Acceptable Alternate: The available flow and pressure is acceptable for providing fire suppression and protection of life and property.				
7. Location of fire department connection(s) serving fire sprinkler systems or standpipe systems does not meet CFC requirements.			<input checked="" type="checkbox"/>	
7a. Acceptable Alternate: The location of fire department connection serving the fire sprinkler system and/or standpipe system is acceptable for providing fire suppression and protection of life and property.				

**School District Acceptance of Acceptable Design Alternates**

By signing this form, the school district acknowledges and accepts the proposed design as an alternative to California Building Code (CBC) and California Fire Code (CFC) minimum requirements, as indicated by one or more of the conditions indicated at items 4a, 5a, 6a or 7a, for providing fire and life safety protection of life and property.

Accepted by: N/A - NO VARIANCE PROPOSED Title: \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**LOCAL FIRE AUTHORITY (LFA) INFORMATION**

LFA Agency Name:	City of Sacramento Fire Department		
LFA Review Official:	King Tunson		
Title:	Program Specialist	Work Phone:	(916) 808-1358
Work Email:	ktunson@sfd.cityofsacramento.org		

LFA Reviewer's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**FIRE FLOW TEST INFO**

MODEL RUN/TEST DATE:	12/28/2022
FLOW TESTS TYPE:	FIELD FLOW TEST
PREPARED BY:	CITY OF SACRAMENTO
STATIC PRESSURE:	50 PSI
RESIDUAL PRESSURE:	40 PSI
FLOW AT RESIDUAL:	1,860 GPM
FLOW AT 20 PSI:	2,478 GPM

**FIRE HYDRANT ANALYSIS**

FIRE FLOW REQUIREMENT (FROM APPENDIX BB)	1,500 GPM
MIN. NUMBER OF HYDRANTS (CFC 2016 - APPENDIX C)	1
HYDRANT SPACING (AVERAGE) (CFC 2016 - APPENDIX C)	500 LF
FIRE LANE TO HYDRANT, MAX. DIST. (CFC 2016 - APPENDIX C)	250 LF
FIRE LANE TO HYDRANT, MAX. DIST. (METRO FIRE)	150 LF

**NOTE:**  
 All new and existing fire lanes are asphalt or concrete paved unless otherwise stated.

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 EL DORADO HILLS, CA 95762 | (916) 985-1870



SEAL

**PROJECT**  
**KEMBLE-CHAVEZ ELEMENTARY SCHOOL - PORTABLE RELOCATION INCREMENT 1**  
 7495 29TH ST  
 SACRAMENTO, CA 95822

**CLIENT**  
 SACRAMENTO CITY UNIFIED SCHOOL DISTRICT  
 5735 47TH AVE, SACRAMENTO CA 95824

**ISSUED**

MARK	DATE	DESCRIPTION
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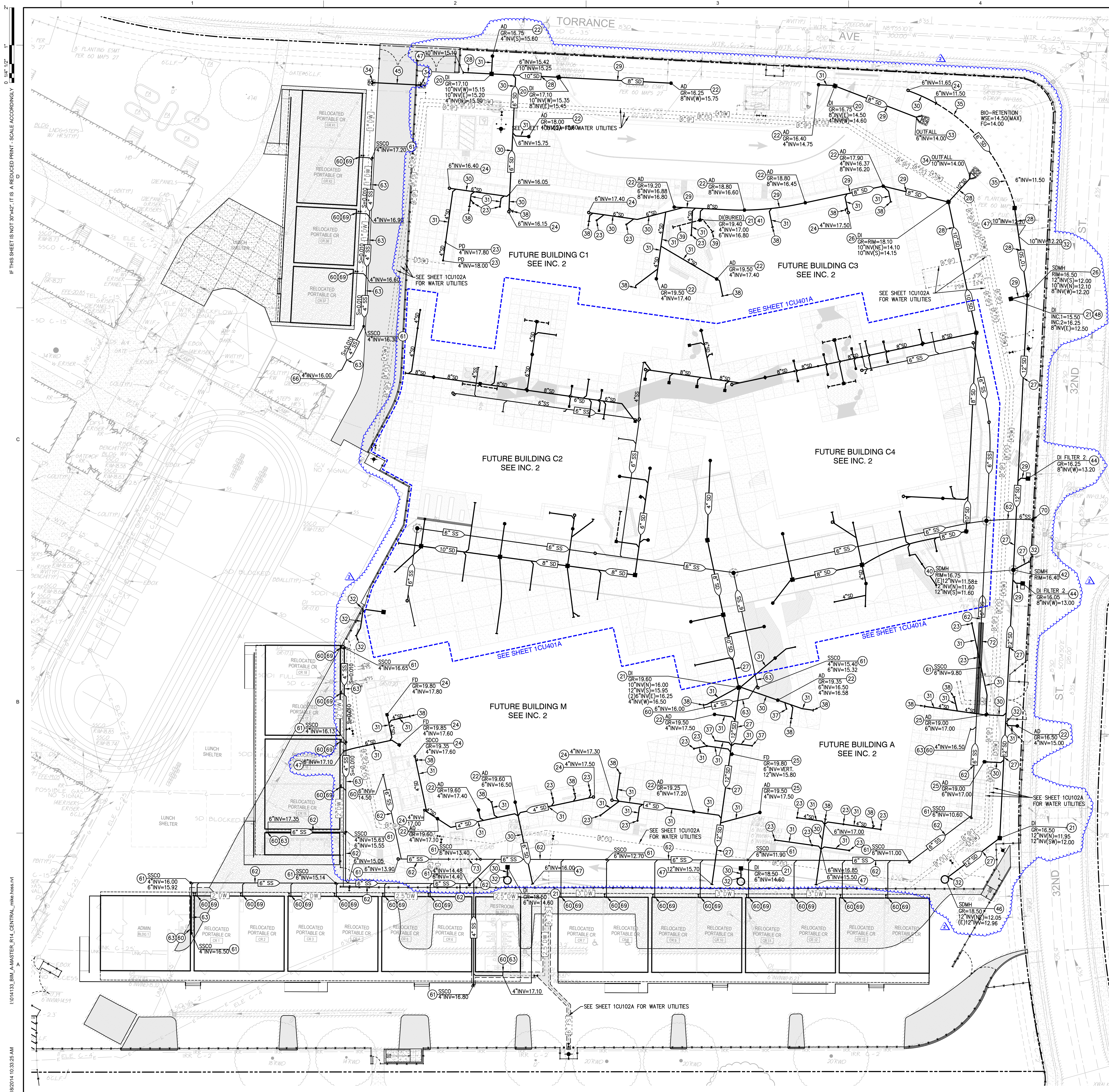
**MANAGEMENT**  
 LIONAKIS PROJECT NO.: 022083  
 CLIENT PROJECT NO.: \_\_\_\_\_  
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**AGENCY**

**TITLE**  
**SITE FIRE ACCESS PLAN**

**SHEET**  
**1CS101**





**UTILITY VERIFICATION NOTE**  
 PRIOR TO THE START OF CONSTRUCTION, POTHOLE AND VERIFY ALL UTILITY POINTS OF CONNECTION TO EXISTING UTILITIES FOR LOCATION, DEPTH, AND SIZE. IF CONFLICT IS FOUND, CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION.

**7 DRAINAGE CONSTRUCTION NOTES**

- NOTE: NOT ALL OF THESE NOTES MAY BE USED ON THIS SHEET
- CONSTRUCT HOODED CURB INLET PER THE DETAIL PROVIDED. (1) (CSS503)
  - CONSTRUCT DROP INLET STRUCTURE PER THE DETAIL PROVIDED. (1) (CSS507)
  - CONSTRUCT AREA DRAIN PER THE DETAIL PROVIDED. (2) (CSS507)
  - CONSTRUCT PLANTER DRAIN PER THE DETAIL PROVIDED. (3) (CSS507)
  - CONSTRUCT STORM DRAIN CLEANOUT PER THE DETAIL PROVIDED. (4) (CSS507)
  - CONSTRUCT FLOOR DRAIN PER THE DETAIL PROVIDED. (4) (CSS507)
  - CONSTRUCT 24" STORM DRAIN MANHOLE PER THE DETAIL PROVIDED. (14) (CSS507)
  - PROVIDE AND INSTALL 12" STORM DRAIN, PVC SDR-26. SLOPE VARIES PER INVERTS SHOWN, BUT 0.0025 MIN. (0.25%) (3) (CSS507)
  - PROVIDE AND INSTALL 10" STORM DRAIN, PVC SDR-26. SLOPE VARIES PER INVERTS SHOWN, BUT 0.0035 MIN. (0.35%) (3) (CSS507)
  - PROVIDE AND INSTALL 8" STORM DRAIN, PVC SDR-26. SLOPE VARIES PER INVERTS SHOWN, BUT 0.005 MIN. (0.50%) (3) (CSS507)
  - PROVIDE AND INSTALL 6" STORM DRAIN, PVC SDR-26. SLOPE VARIES PER INVERTS SHOWN, BUT 0.010 MIN. (1.00%) (3) (4) (CSS507)
  - PROVIDE AND INSTALL 4" STORM DRAIN, PVC SDR-26. SLOPE VARIES PER INVERTS SHOWN, BUT 0.0150 MIN. (1.50%) (3) (4) (CSS507)
  - CONNECT TO EXISTING STORM DRAIN PIPE OR INLET STRUCTURE AS SHOWN. POTHOLE TO VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION. IF CONFLICT FOUND CONTACT ARCHITECT FOR DIRECTION. PROVIDE ALL FITTINGS AND ADAPTORS TO MAKE CONNECTION. (5) (CSS507)
  - CONSTRUCT LARGE OUTLET STRUCTURE PER THE DETAIL PROVIDED. (5) (CSS507)
  - CONSTRUCT SMALL OUTLET STRUCTURE PER THE DETAIL PROVIDED. (5) (CSS507)
  - CONSTRUCT BIO RETENTION PLANTER WITH SUBDRAIN PER THE DETAIL PROVIDED. (19) (CSS507)
  - CONSTRUCT BIO RETENTION INLET STRUCTURE WITH TRASH SCREEN PER THE DETAIL PROVIDED. (20) (21) (CSS507)
  - PROVIDE AND INSTALL DOWNSPOUT CONNECTION WITH DRAIN INLET PER THE DETAIL PROVIDED. CONTRACTOR SHALL COORDINATE DRAIN CONSTRUCTION WITH FOUNDATION CONSTRUCTION SO CUTTING OF FOUNDATION FOR PROPER DRAIN PLACEMENT IS NOT REQUIRED. (6) (7) (CSS507)
  - CONNECT TO BUILDING DRAINAGE CONNECTION POINT. COORDINATE INSTALLATION WITH BUILDING PLUMBING PLANS AND BUILDING PLUMBING INSTALLER. IF CONFLICT FOUND, CONTACT ARCHITECT IMMEDIATELY FOR DIRECTION. (8) (CSS507)
  - CONSTRUCT 4" PERFORATED SUBDRAIN WITH DRAIN ROCK AND FILTER FABRIC BENEATH PLAY APPARATUS PER THE DETAIL PROVIDED. (8) (CSS507)
  - CONSTRUCT 48" MANHOLE PER THE DETAIL PROVIDED. (10) (CSS507)
  - SET DRAIN INLET AT BOTTOM OF PLAY APPARATUS/PLAY AREA BASE PER THE DETAIL PROVIDED. (9) (CSS507)
  - ADJUST MANHOLE/RAIN OR OTHER STRUCTURE TO FINISHED GRADE PER THE DETAIL PROVIDED. (10) (CSS507)
  - CONSTRUCT TRENCH DRAIN WITH ACCESSIBLE COVER PER THE DETAIL PROVIDED. (11) (CSS507)
  - CONSTRUCT DRAIN INLET WITH FILTER PER THE DETAIL PROVIDED. (12) (CSS507)
  - PROVIDE AND INSTALL 4" STORM DRAIN CULVERT UNDER ACCESS DRIVE, DUCTILE OR CAST IRON, OR APPROVED EQUAL. SLOPE VARIES PER INVERTS SHOWN, BUT 0.010 MIN. (1.00%) (4) (CSS507)
  - REMOVE DRAIN FRAME AND COVER AND PROVIDE SLOTTED DRAIN COVER IN CONCRETE COLLAR PER THE DETAIL PROVIDED. (12) (CSS507)
  - CAP AND MARK END FOR FUTURE CONNECTION. SEE INCREMENT 2.
  - TEMPORARILY SET DRAIN AT ELEVATION SHOWN, TO BE ADJUSTED TO NEW GRADE SHOWN IN INC.2

**8 SANITARY SEWER NOTES**

- NOTE: NOT ALL OF THESE NOTES MAY BE USED ON THIS SHEET
- CONNECT TO BUILDING SEWER SERVICE POINT. COORDINATE LOCATION, DEPTH AND LAYOUT WITH THE PLUMBING PLANS AND PLUMBING INSTALLER. PROVIDE 2-WAY CLEANOUT WITH BOX, SEE PLUMBING PLANS, CONFORM TO CPC CURRENT EDITION.
  - CONSTRUCT SEWER CLEANOUT PER THE DETAIL PROVIDED. (2) (CSS507)
  - PLACE 6" SEWER LINE, PVC SDR-35, SLOPE VARIES, 1.00% MIN. UNLESS SPECIFICALLY NOTED OTHERWISE. (3) (4) (CSS507)
  - PLACE 4" SEWER LINE, PVC SDR-35, SLOPE VARIES, 1.50% MIN. UNLESS SPECIFICALLY NOTED OTHERWISE. (3) (4) (CSS507)
  - CONNECT TO EXISTING SEWER PIPELINE OR STRUCTURE AS SHOWN. POTHOLE TO VERIFY LOCATION, DEPTH, SIZE AND CONDITION OF EXISTING SEWER PRIOR TO TRENCHING. PROVIDE ALL FITTINGS, COUPLERS AND ADAPTORS AS NEEDED TO MAKE CONNECTION. IF CONFLICTS FOUND, CONTACT ARCHITECT FOR DIRECTION.
  - CONSTRUCT 48" SEWER MANHOLE PER THE DETAIL PROVIDED. (18) (CSS507)
  - CONSTRUCT 24" SEWER DRAIN MANHOLE PER THE DETAIL PROVIDED. (14) (CSS507)
  - PLACE 2" SEWER LINE, ABS, SLOPE VARIES, PAINT OR WRAP ALL ABOVE GRADE PIPE TO PREVENT SUN DAMAGE. 2.00% MIN. UNLESS SPECIFICALLY NOTED OTHERWISE. (3) (4) (CSS507)
  - EXISTING SEWAGE SERVICE TO BE REPLACED AS PART OF FRONTAGE IMPROVEMENTS IN INCREMENT 2. TEMPORARILY HUB UP & CONNECT TO EXISTING SEWER SERVICE AT PROPERTY LINE. THIS INCREMENT.
  - STUB AND CAP SEWER FOR FUTURE CONNECTION IN INC.2
  - BACKFILL TRENCH WITH 2-SACK SLURRY PER SECTION 31 23 33 WITHIN LIMITS SHOWN. SLURRY SHALL EXTEND VERTICALLY UP TO ELEVATION 15.00.
  - INSTALL PIPE SECTION AFTER SMUD TRANSFORMER/ELECTRICAL PANEL REMOVAL.

**DOWNSPOUT NOTE**

PROVIDE AND INSTALL SPLASH BLOCK BELOW ALL RELOCATED PORTABLE DOWNSPOTS PER THE DETAIL PROVIDED. (16) (CSS507)

**811** Know what's below. Call before you dig.

**GRAPHIC SCALE**  
 0 10' 20' 40'  
 (IN FEET) 1 inch = 20 feet

THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED.

**LIONAKIS**

2025 Nineteenth Street  
 Sacramento, CA 95818  
 P. 916.558.1900  
 www.lionakis.com

CONSULTANT



SEAL

PROJECT  
**KEMBLE-CHAVEZ  
 ELEMENTARY SCHOOL -  
 PORTABLE RELOCATION  
 INCREMENT 1**  
 7495 29TH ST  
 SACRAMENTO, CA 95822

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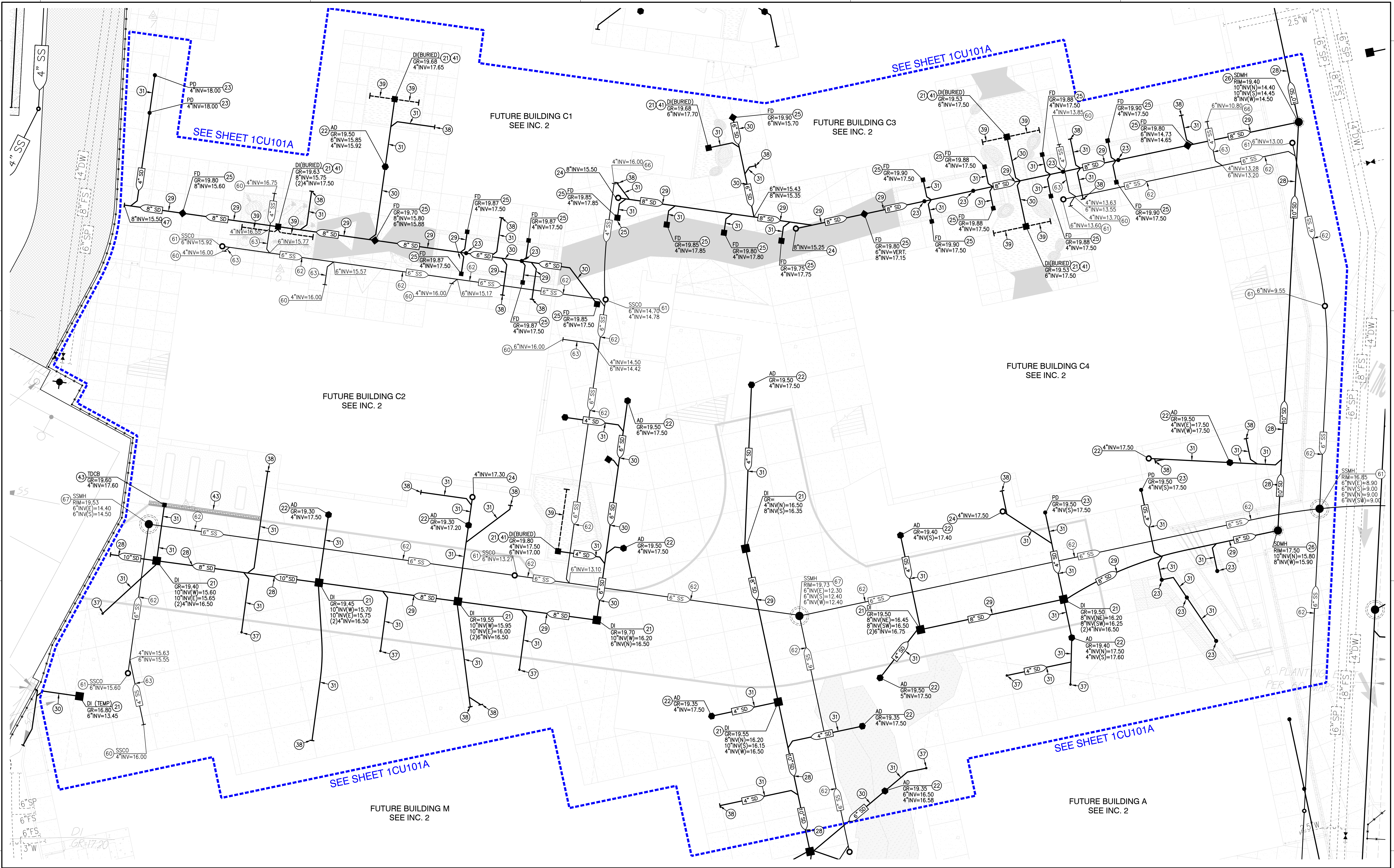
MARK	DATE	DESCRIPTION
▲	6-30-2023	CCD NO.2

MANAGEMENT  
 LIONAKIS PROJECT NO: 022083  
 CLIENT PROJECT NO:  
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AGENCY

TITLE  
**DRAINAGE AND  
 SEWER PLAN**

SHEET  
**1CU101A**



**UTILITY VERIFICATION NOTE**  
 PRIOR TO THE START OF CONSTRUCTION, POTHOLE AND VERIFY ALL UTILITY POINTS OF CONNECTION TO EXISTING UTILITIES FOR LOCATION, DEPTH, AND SIZE. IF CONFLICT IS FOUND, CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION.

- ④ DRAINAGE CONSTRUCTION NOTES**  
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  - CONSTRUCT DROP INLET STRUCTURE PER THE DETAIL PROVIDED.
  - CONSTRUCT AREA DRAIN PER THE DETAIL PROVIDED.
  - CONSTRUCT PLANTER DRAIN PER THE DETAIL PROVIDED.
  - CONSTRUCT STORM DRAIN CLEANOUT PER THE DETAIL PROVIDED.
  - CONSTRUCT FLOOR DRAIN PER THE DETAIL PROVIDED.
  - CONSTRUCT 24" STORM DRAIN MANHOLE PER THE DETAIL PROVIDED.
  - PROVIDE AND INSTALL 12" STORM DRAIN, PVC SDR-26. SLOPE VARIES PER INVERTS SHOWN, BUT 0.0025 MIN. (0.25%)
  - PROVIDE AND INSTALL 10" STORM DRAIN, PVC SDR-26. SLOPE VARIES PER INVERTS SHOWN, BUT 0.0035 MIN. (0.35%)

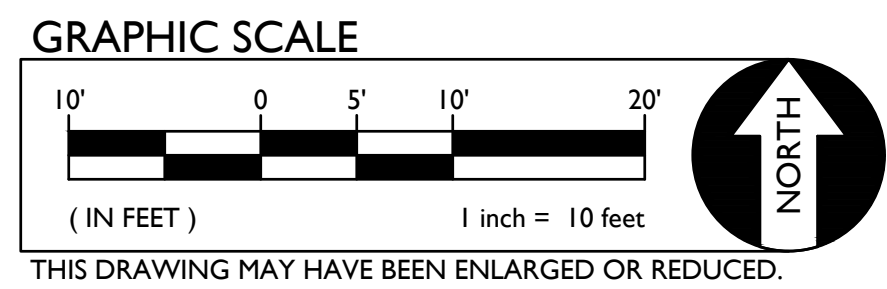
- PROVIDE AND INSTALL 8" STORM DRAIN, PVC SDR-26. SLOPE VARIES PER INVERTS SHOWN, BUT 0.005 MIN. (0.50%)
- PROVIDE AND INSTALL 6" STORM DRAIN, PVC SDR-26. SLOPE VARIES PER INVERTS SHOWN, BUT 0.010 MIN. (1.00%)
- PROVIDE AND INSTALL 4" STORM DRAIN, PVC SDR-26. SLOPE VARIES PER INVERTS SHOWN, BUT 0.0150 MIN. (1.50%)
- CONNECT TO EXISTING STORM DRAIN PIPE OR INLET STRUCTURE AS SHOWN. POTHOLE TO VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION. IF CONFLICT FOUND CONTACT ARCHITECT FOR DIRECTION. PROVIDE ALL FITTINGS AND ADAPTORS TO MAKE CONNECTION.
- CONSTRUCT LARGE OUTLET STRUCTURE PER THE DETAIL PROVIDED.
- CONSTRUCT SMALL OUTLET STRUCTURE PER THE DETAIL PROVIDED.
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- CONSTRUCT BIO RETENTION INLET STRUCTURE WITH TRASH SCREEN PER THE DETAIL PROVIDED.
- PROVIDE AND INSTALL DOWNSPOUT CONNECTION WITH DRAIN INLET PER THE DETAIL PROVIDED. CONTRACTOR SHALL COORDINATE DRAIN CONNECTION WITH FOUNDATION CONSTRUCTION SO CUTTING OF FOUNDATION FOR PROPER DRAIN PLACEMENT IS NOT REQUIRED.
- CONNECT TO BUILDING DRAINAGE CONNECTION POINT. COORDINATE INSTALLATION WITH BUILDING PLUMBING PLANS AND BUILDING PLUMBING INSTALLER. IF CONFLICT FOUND, CONTACT ARCHITECT IMMEDIATELY FOR DIRECTION.

- CONSTRUCT 4" PERFORATED SUBDRAIN WITH DRAIN ROCK AND FILTER FABRIC BENEATH PLAY APPARATUS PER THE DETAIL PROVIDED.
- CONSTRUCT 48" MANHOLE PER THE DETAIL PROVIDED.
- SET DRAIN INLET AT BOTTOM OF PLAY APPARATUS/PLAY AREA BASE PER THE DETAIL PROVIDED.
- ADJUST MANHOLE/DRAIN OR OTHER STRUCTURE TO FINISHED GRADE PER THE DETAIL PROVIDED.
- CONSTRUCT TRENCH DRAIN WITH ACCESSIBLE COVER PER THE DETAIL PROVIDED.
- CONSTRUCT DRAIN INLET WITH FILTER PER THE DETAIL PROVIDED.
- PROVIDE AND INSTALL 4" STORM DRAIN CULVERT UNDER ACCESS DRIVE, DUCTILE OR CAST IRON, OR APPROVED EQUAL. SLOPE VARIES PER INVERTS SHOWN, BUT 0.010 MIN. (1.00%)
- REMOVE DRAIN FRAME AND COVER AND PROVIDE SLOTTED DRAIN COVER IN CONCRETE COLLAR PER THE DETAIL PROVIDED.
- CAP AND MARK END FOR FUTURE CONNECTION. SEE INCREMENT 2.
- TEMPORARILY SET DRAIN AT ELEVATION SHOWN, TO BE ADJUSTED TO NEW GRADE SHOWN IN INC.2

- ⑧ SANITARY SEWER NOTES**  
 NOTE: NOT ALL OF THESE NOTES MAY BE USED ON THIS SHEET
- CONNECT TO BUILDING SEWER SERVICE POINT. COORDINATE LOCATION, DEPTH AND LAYOUT WITH THE PLUMBING PLANS AND PLUMBING INSTALLER. PROVIDE 2-WAY CLEANOUT WITH BOX, SEE PLUMBING PLANS, CONFORM TO CPC CURRENT EDITION.
  - CONSTRUCT SEWER CLEANOUT PER THE DETAIL PROVIDED.
  - PLACE 6" SEWER LINE, PVC SDR-35, SLOPE VARIES, 1.00% MIN. UNLESS SPECIFICALLY NOTED OTHERWISE.
  - PLACE 4" SEWER LINE, PVC SDR-35, SLOPE VARIES, 1.50% MIN. UNLESS SPECIFICALLY NOTED OTHERWISE.
  - CONNECT TO EXISTING SEWER PIPELINE OR STRUCTURE AS SHOWN. POTHOLE TO VERIFY LOCATION, DEPTH, SIZE AND CONDITION OF EXISTING SEWER PRIOR TO TRENCHING. PROVIDE ALL FITTINGS, COUPLERS AND ADAPTORS AS NEEDED TO MAKE CONNECTION. IF CONFLICTS FOUND, CONTACT ARCHITECT FOR DIRECTION.
  - CONSTRUCT 48" SEWER MANHOLE PER THE DETAIL PROVIDED.
  - CONSTRUCT 24" SEWER DRAIN MANHOLE PER THE DETAIL PROVIDED.
  - PLACE 2" SEWER LINE, ABS, SLOPE VARIES, PAINT OR WRAP ALL ABOVE GRADE PIPE TO PREVENT SUN DAMAGE. 2.00% MIN. UNLESS SPECIFICALLY NOTED OTHERWISE.
  - EXISTING SEWAGE SERVICE TO BE REPLACED AS PART OF FRONTAGE IMPROVEMENTS IN INCREMENT 2. TEMPORARILY HUB UP & CONNECT TO EXISTING SEWER SERVICE AT PROPERTY LINE THIS INCREMENT.
  - STUB AND CAP SEWER FOR FUTURE CONNECTION IN INC.2

- BACKFILL TRENCH WITH 2-SACK SLURRY PER SECTION 31 23 33 WITHIN LIMITS SHOWN. SLURRY SHALL EXTEND VERTICALLY UP TO ELEVATION 15.00.
- INSTALL PIPE SECTION AFTER SMUD TRANSFORMER/ELECTRICAL PANEL REMOVAL.

**DOWNSPOUT NOTE**  
 PROVIDE AND INSTALL SPLASH BLOCK BELOW ALL RELOCATED PORTABLE DOWNSPOUTS PER THE DETAIL PROVIDED.





**UTILITY VERIFICATION NOTE**  
 PRIOR TO THE START OF CONSTRUCTION, POT-HOLE AND VERIFY ALL UTILITY POINTS OF CONNECTION TO EXISTING UTILITIES FOR LOCATION, DEPTH, AND SIZE. IF CONFLICT IS FOUND, CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION.

**MATERIAL TRANSITION NOTE**  
 WHEN TRANSITIONING FROM METALLIC WATER PIPE TO PLASTIC WATER PIPE (3" AND SMALLER), THREADED COUPLERS MAY BE USED BUT FEMALE ENDS MUST BE METALLIC AND MALE ENDS MUST BE PLASTIC. THIS IS TRUE FOR VALVES AND OTHER UNIONS AS WELL.

**UTILITY INTERRUPTIONS**  
 CONTRACTOR SHALL NOTIFY SCHOOL AT LEAST 72 HOURS IN ADVANCE OF SERVICE SHUT-OFFS. INTERRUPTIONS OF SERVICES SHALL BE LIMITED TO LESS THAN 24 HOURS UNLESS OTHERWISE NEGOTIATED WITH DISTRICT. INTERRUPTIONS OF LONGER DURATION SHALL BE PROVIDED WITH TEMPORARY SERVICE CONNECTIONS WHICH ARE THE RESPONSIBILITY OF THE CONTRACTOR.  
 UNDER NO CIRCUMSTANCES SHALL FIRE PROTECTION SYSTEMS BE INTERRUPTED OVERNIGHT WITHOUT CONTACTING THE LOCAL FIRE AUTHORITY. CONTRACTOR WILL BE RESPONSIBLE FOR ALL REQUIRED "FIRE WATCH" REQUIREMENTS AND ASSOCIATED FEES FROM LOCAL FIRE DEPARTMENT.

**DOMESTIC WATER CONSTRUCTION NOTES**

40. PLACE 1" PVC, COPPER TYPE K (HARD), OR PVC SCH 80, OR APPROVED EQUAL. REFER TO TRENCHING DETAIL PROVIDED. (7) (9) (CCSS07) (CCSS07)
41. PLACE 2" PVC, COPPER TYPE K (HARD), OR PVC SCH 80, OR APPROVED EQUAL. REFER TO TRENCHING DETAIL PROVIDED. (7) (9) (CCSS07) (CCSS07)
42. PLACE 2.5" PVC, COPPER TYPE K (HARD), OR PVC SCH 80, OR APPROVED EQUAL. REFER TO TRENCHING DETAIL PROVIDED. (7) (9) (CCSS07) (CCSS07)
43. INSTALL WATER VALVE AND TRAFFIC RATED VALVE BOX PER THE DETAIL PROVIDED. (6) (8) (CCSS07) (CCSS07)
44. CONNECT TO EXISTING WATER MAIN. POT-HOLE TO VERIFY LOCATION, SIZE AND CONDITION PRIOR TO CONSTRUCTION. IF CONFLICT IS FOUND, CONTACT ARCHITECT FOR DIRECTION.
45. CONNECT TO BUILDING DOMESTIC WATER SERVICE POINT. PROVIDE ALL NECESSARY FITTINGS, COUPLERS, PIPE, AND ADAPTORS NECESSARY TO MAKE CONNECTION. IF CONFLICT IS FOUND, CONTACT THE ARCHITECT FOR DIRECTION.
46. STUB AND CAP WATER LINE FOR FUTURE CONNECTION. LINES 4" AND LARGER SHALL BE PROVIDED WITH APPROPRIATE THRUST BLOCKING PER THE DETAIL PROVIDED. (9) (CCSS07)
47. PLACE 4" PVC, C900, DR 18, OR APPROVED EQUAL. REFER TO TRENCHING DETAIL PROVIDED. (7) (9) (CCSS07) (CCSS07)
48. PLACE 3.0" PVC, COPPER TYPE K (HARD), OR APPROVED EQUAL. REFER TO TRENCHING DETAIL PROVIDED. (NO PVC SCH 80) (7) (9) (CCSS07) (CCSS07)
49. CAP AND MARK END WITH RESTRAINT COUPLER FOR FUTURE CONNECTION. PROVIDE RESTRAINT COUPLER AT DOWNSTREAM TEE AS WELL.
50. PLACE 2.5" PVC, COPPER TYPE K (HARD), OR APPROVED EQUAL. REFER TO TRENCHING DETAIL PROVIDED. (NO PVC SCH 80) (7) (9) (CCSS07) (CCSS07)
51. PLACE 3.0" PVC, COPPER TYPE K (HARD), OR SCH 80 PVC OR APPROVED EQUAL. REFER TO TRENCHING DETAIL PROVIDED. RUN THIS LINE AS CLOSE TO MINIMUM COVER AS POSSIBLE SO IT CAN BE REMOVED IN INC. 2. (7) (9) (CCSS07) (CCSS07)

**PRIVATE FIRE SYSTEM NOTES**

71. TRENCH AND INSTALL 8" PVC C900 DR 18 OR DIP CL350 WATER MAIN WITH THRUST BLOCKING AT ALL BENDS, FITTINGS AND JUNCTIONS PER THE DETAILS PROVIDED. (7) (9) (CCSS07) (CCSS07)
72. TRENCH AND INSTALL 6" PVC C900 DR 18, OR DIP CL350, WATER MAIN WITH THRUST BLOCKING AT ALL BENDS, FITTINGS AND JUNCTIONS PER THE DETAILS PROVIDED. (7) (9) (CCSS07) (CCSS07)
73. CONSTRUCT MAIN WATER VALVE WITH TRAFFIC RATED VALVE BOX AND THRUST BLOCKING PER THE DETAIL PROVIDED. VALVE SIZE SHALL MATCH LINE SIZE. (8) (CCSS07)
74. CONSTRUCT FIRE HYDRANT PER THE DETAIL PROVIDED. (12) (CCSS07)
75. CAP AND MARK END WITH RESTRAINT COUPLER FOR FUTURE CONNECTION. PROVIDE RESTRAINT COUPLER AT DOWNSTREAM TEE AS WELL.
76. CONSTRUCT PROTECTIVE PIPE BOLLARDS PER THE DETAIL PROVIDED. (11) (CCSS07)
77. CONNECT TO EXISTING WATER MAIN. POT-HOLE TO VERIFY LOCATION, DEPTH, SIZE AND CONDITION OF EXISTING MAIN PRIOR TO TRENCHING. IF CONFLICT FOUND, CONTACT ARCHITECT. PROVIDE ALL FITTINGS AND COUPLERS AS NEEDED TO MAKE CONNECTION.
78. BACKFILL TRENCH WITH 2 SACK LEAN MIX SLURRY WITHIN LIMITS SHOWN.
79. CAP PIPE END WITH BLIND FLANGE AND THRUST BLOCK.
80. TRENCH AND INSTALL 6" FIRE SPRINKLER LINE, PVC C900 DR 14, OR DIP CL350, WATER MAIN WITH THRUST BLOCKING AT ALL BENDS, FITTINGS AND JUNCTIONS PER THE DETAILS PROVIDED. NOTE: THESE LINES TO REMAIN UNPRESSURIZED UNTIL INC. 2. (7) (9) (CCSS07) (CCSS07)
81. STUB AND CAP FIRE SPRINKLER LINES FOR FIRE PUMP INSTALLATION IN INCREMENT 2.
82. OFF 8" GATE VALVE, INSTALL FLANGED 8"x6" REDUCER AND 6" LATERAL LINE TO NEW FIRE HYDRANT. THIS FIRE HYDRANT TO BE TEMPORARY. THIS INCREMENT AND TO BE RELOCATED IN INC. 2.
83. INSTALL SECTION OF WATER MAIN ONCE SMUD TRANSFORMER/PANEL IS REMOVED.
84. PROVIDE TAMPER SWITCH ON BOTH OS&Y VALVES. PROVIDE 3/4" RMC CONDUIT RISER THROUGH VALVE SLAB TO BETWEEN 18" AND 24" ABOVE GRADE WITH APPROVED JUNCTION BOX. AND FROM BOX PROVIDE 1/2" RMC CONDUIT TO EACH TAMPER. SEE ELECTRICAL PLANS FOR 3/4" CONDUIT AND FIRE ALARM CONDUCTORS TO SITE FIRE ALARM SYSTEM.
85. CONSTRUCT FIRE DEPARTMENT CONNECTION WITH SIGNAGE PER THE DETAILS PROVIDED. (17) (18) (CCSS07) (CCSS07)

**811**  
 Know what's below.  
 Call before you dig.

**GRAPHIC SCALE**  
 20' 0 10' 20' 40'  
 (IN FEET) 1 inch = 20 feet  
 THIS DRAWING MAY HAVE BEEN ENLARGED OR REDUCED.

**N**  
 NORTH

APPROVED  
 BY THE STATE ARCHITECT  
 APP: 02-120663 INC.  
 REVIEWED FOR  
 PLANS BY ACS: E  
 DATE: 08/03/2023

**LIONAKIS**

2025 Nineteenth Street  
 Sacramento, CA 95818  
 P. 916.558.1900  
 www.lionakis.com

CONSULTANT

**WCE**  
 WARREN CONSULTING ENGINEERS, INC.  
 1117 WINDFIELD WAY, SUITE 110  
 EL DORADO HILLS, CA 95762 | (916) 985-1870

REGISTERED PROFESSIONAL ENGINEER  
**ANTHONY J. TASSANO**  
 No. 17492  
 State of California  
 06/08/2023

SEAL

PROJECT  
**KEMBLE-CHAVEZ  
 ELEMENTARY SCHOOL -  
 PORTABLE RELOCATION  
 INCREMENT 1**  
 7495 29TH ST  
 SACRAMENTO, CA 95822

CLIENT  
 SACRAMENTO CITY UNIFIED SCHOOL  
 DISTRICT  
 5735 47TH AVE, SACRAMENTO CA 95824

MARK	DATE	DESCRIPTION
△	6-30-2023	CCD NO. 2

MANAGEMENT  
 LIONAKIS PROJECT NO.: 022083  
 CLIENT PROJECT NO.:  
 COPYRIGHT: LIONAKIS 2021

AGENCY

TITLE  
**DOMESTIC WATER AND  
 FIRE PLAN**

SHEET  
**1CU102A**

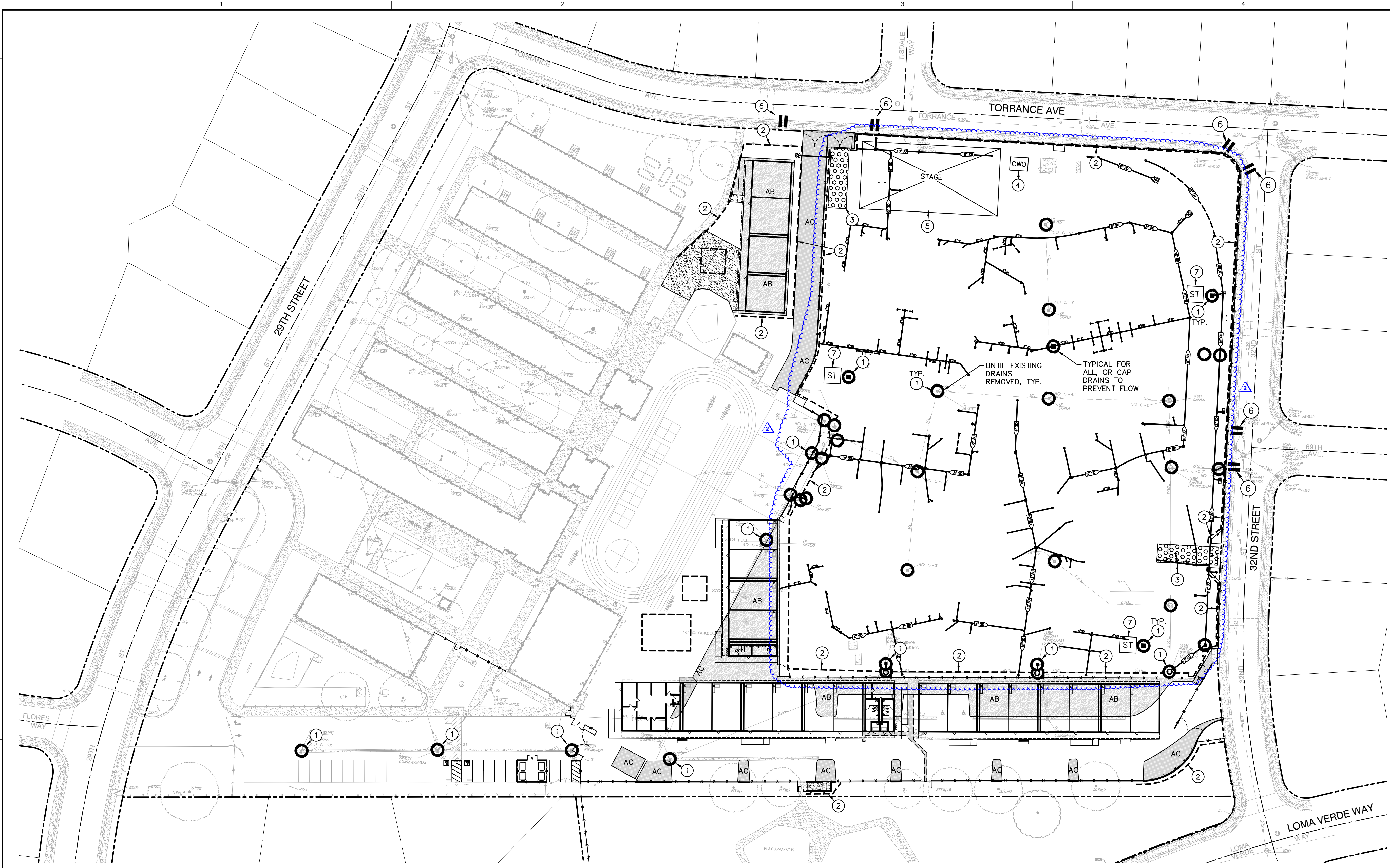


IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT - SCALE ACCORDINGLY

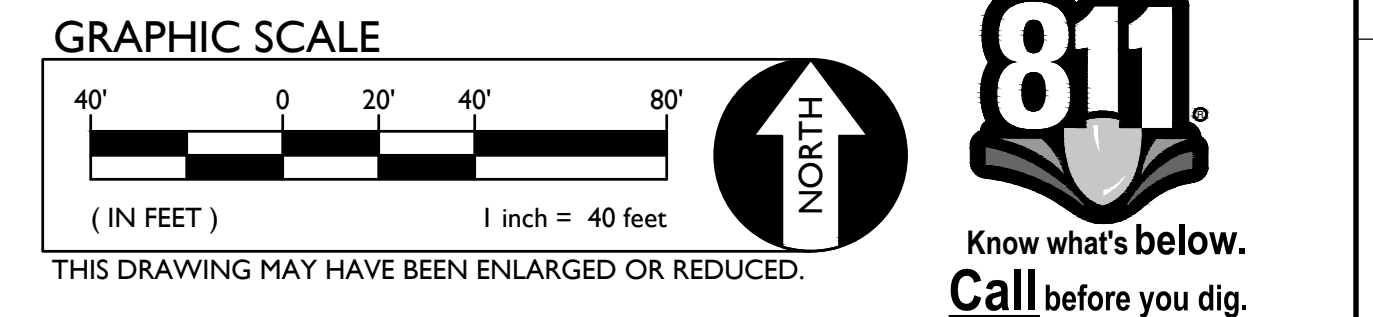
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- LEGEND**
- NEW EX
  - 1. CONTRACTOR SHALL PROVIDE STRAW WATTLE BARRIER AT ALL INLETS (NEW AND/OR EXIST.) IN AREAS OF WORK, OR AS REQUIRED BY CONTRACTOR'S SWPPP. FOR INLETS WITHIN PROPOSED PAVED AREAS, USE STRAW WATTLE FILTERS UNTIL JUST PRIOR TO PAVING OPERATIONS, THEN REPLACE WITH FILTER BAGS PER THE DETAILS PROVIDED. FILTER BAGS ARE NOT ALLOWED IN UNPAVED AREAS.
  - 2. CONTRACTOR SHALL PROVIDE STRAW WATTLES AT PERIMETER OF SITE AND IN AREAS REQUIRED TO ELIMINATE OR IMPED THE FLOW OF SEDIMENT. IN PAVED AREAS, WATTLES CAN BE PLACED OVER PAVING AND HELD IN PLACE WITH SANDBAGS AT 6' O.C.
  - 3. CONTRACTOR SHALL PROVIDE STABILIZED CONSTRUCTION SITE ACCESS PER DETAIL AT LOCATIONS REQUIRED FOR CONSTRUCTION ACTIVITIES.
  - 4. CONTRACTOR SHALL CONSTRUCT AND UTILIZE A CONCRETE WASH-OUT IN ACCORDANCE WITH WM-8 OF THE CALIFORNIA STORMWATER QUALITY ASSOCIATION BMP HANDBOOK.
  - 5. CONTRACTOR SHALL CONSTRUCT AND UTILIZE A STAGING AREA IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS IN SECTION 4 OF THE CALIFORNIA STORMWATER QUALITY ASSOCIATION BMP HANDBOOK. SIZE AS NEEDED. AFTER CONSTRUCTION COMPLETE, RETURN AREA TO NATURAL CONDITION. REMOVE AND REPLACE ALL DAMAGED PAVEMENT. HYDROSEED IF NECESSARY COVER ANY UN-SURFACED AREAS.
  - 6. CONTRACT SAND BAG OR STRAW WATTLE DAMS IN GUTTER TO CAPTURE ANY SEDIMENT LADEN RUN-OFF FROM ESCAPING THE SITE TO INLETS.
  - 7. TO CAPTURE RUNOFF AND PROTECT FROM DISCHARGE, SEDIMENT TRAPS PER STADNARD SE-3 ARE RECOMMENDED IN LOW AREAS COLLECTING SIGNIFICANT RAINFALL.



APPROVED BY THE STATE ARCHITECT  
APP: D2-120663 INC.  
REVIEWED FOR  
SS ID: PLS ID: ACS ID  
DATE: 08/03/2023

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Sacramento, CA 95818  
P. 916.558.1900  
www.lionakis.com

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REGISTERED PROFESSIONAL ENGINEER  
ANTHONY J. TASSANO  
C.E.C. 17492  
CALIFORNIA 96002023

PROJECT  
**KEMBLE-CHAVEZ  
ELEMENTARY SCHOOL -  
PORTABLE RELOCATION  
INCREMENT 1**

7495 29TH ST  
SACRAMENTO, CA 95822

CLIENT  
SACRAMENTO CITY UNIFIED SCHOOL  
DISTRICT  
5735 47TH AVE, SACRAMENTO CA 95824

**1 EROSION CONTROL**

- IF NOT SPECIFICALLY SHOWN, CONTRACTOR SHALL ADD THESE ITEMS TO THIS MAP AS THEY ARE LOCATED IN THE FIELD
- CONSTRUCTION TRAILER.
  - VEHICLE/EQUIPMENT MAINTENANCE AND FUELING AREA.
  - COVERED WASTE STORAGE (DUMPSTERS).
  - STAGING AREA
  - MATERIAL STORAGE
  - SOIL STOCKPILES.
  - CONCRETE WASHOUT.

- MONITORING SCHEDULE**
- WITHIN 2 BUSINESS DAYS (48 HOURS) PRIOR TO EACH QUALIFYING RAIN EVENT.
  - EVERY 24 HOURS DURING A QUALIFYING RAIN EVENT.
  - WITHIN 2 BUSINESS DAYS (48 HOURS) AFTER EACH QUALIFYING RAIN EVENT RESULTING IN 0.50 INCHES OF RAIN OR MORE.
  - RECORD THE TIME, DATE AND RAIN GAUGE READING OF ALL QUALIFYING RAIN EVENTS.
  - QUARTERLY NON-STORM WATER DISCHARGE INSPECTIONS.
  - WEEKLY INSPECTIONS.

**FINAL STABILIZATION NOTE**

ALL DISTURBED AREAS, WHICH ARE NOT PAVED OR SURFACED AS PART OF THESE PLANS, OR LANDSCAPED AS PART OF THE LANDSCAPE PLANS, EVEN THOSE AREAS NOT SHOWN TO BE DISTURBED BY THIS SET OF PLANS BUT ARE OTHERWISE DISTURBED BY CONSTRUCTION OR ACCESS BY EQUIPMENT, SHALL BE STABILIZED BY ONE OF THE FOLLOWING METHODS:

- HYDROSEED (ACCEPTABLE ONLY IF SUFFICIENT TIME IS PRESENT TO ENSURE VEGETATION ESTABLISHMENT PRIOR TO RAIN EVENTS.)
- HYDROSEED WITH EROSION CONTROL BLANKETS OR MATS.
- STRAW MULCH WITH SOIL BINDERS.
- METHODS MAY BE APPROVED BY THE COUNTY AFTER REVIEW WITH COUNTY INSPECTOR.

**S.W.P.P. CONTACTS**

S.W.P.P. PREPARED BY (OSD): \_\_\_\_\_ PHONE: \_\_\_\_\_  
 S.W.P.P. PREPARED BY (OSD): \_\_\_\_\_ PHONE: \_\_\_\_\_  
 S.W.P.P. ENFORCED BY (OSP): \_\_\_\_\_ PHONE: \_\_\_\_\_

RESPONSIBLE PARTY: \_\_\_\_\_  
 CONTACT NAME: \_\_\_\_\_  
 CONTACT PHONE: \_\_\_\_\_

**EARTHWORK ESTIMATES**

NET CUT QUANTITY	24,000	CY
NET FILL QUANTITY	29,000	CY
NET CUT/FILL	5,000	CY FILL

NOTE: THESE EARTHWORK VALUES ARE ONLY ESTIMATES BASED ON PERFECT CONDITIONS AND ARE INTENDED FOR PLAN CHECK PURPOSES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALCULATE HIS/HER OWN EARTHWORK VALUES IN PREPARING BIDS. USE OF THESE VALUES FOR BID PURPOSES WILL BE AT YOUR OWN RISK.

**ON/OFF HAUL GENERAL NOTE**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY AND ALL PERMITS, GRADING, EROSION, OR OTHER, NECESSARY FOR THE SITE IN WHICH SOIL IS ON-HAULED FROM, OR OFF-HAULED TO. LARGE QUANTITIES OF SOIL BEING HAULED MAY BE SUBJECT TO HAUL ROUTE APPROVAL AND SHALL BE DISCUSSED WITH SITE INSPECTOR. IF HAUL ROUTE APPROVAL IS REQUIRED, IT IS THE CONTRACTORS RESPONSIBILITY TO DEVELOP THIS PLAN AND GAIN APPROVAL.

PHASE OF CONSTRUCTION	EROSION AND SEDIMENT CONTROL MEASURES																
	WET SEASON							WET & DRY SEASON									
	HYDRO SEEDING	STRAW MULCHING (TYPICAL)	SOIL BINDERS	PRESERVATION OF EXISTING VEGETATION	BLANKETS MATS & GEOTEXTILES	FIBER ROLLS	DUST CONTROL	OUTLET PROTECTION	SILT FENCING	SAND/GRAVEL BAG BARRIERS	STORM DRAIN INLET PROTECTION	SEDIMENT BASIN	SEDIMENT TRAP	DEWATERING	STABILIZED CONSTRUCTION ENTRANCE	MATERIAL & WASTE DISPOSAL LOCATION	CONCRETE WASHOUT
PRE-GRADING				X			X										
CUT-FILL ACTIVITIES	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
UNDERGROUND WORK	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
STORM IMPROVEMENTS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
CURB AND GUTTER	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
STREET IMPROVEMENTS	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X	X
PAVE OUT	X			X	X		X	X		X	X			X		X	X
POST CONSTRUCTION	X	X	X	X													

SITE CONDITION	DUST CONTROL PRACTICES									
	PERMANENT VEGETATION	MULCHING	WET SUPPRESSION (WATERING)	CHEMICAL DUST SUPPRESSION	GRAVEL OR ASPHALT	SILT FENCES	TEMPORARY GRAVEL CONSTRUCTION ENTRANCES AND EQUIPMENT WASHDOWN	HAUL TRUCK COVERS	MINIMIZE EXTENT OF DISTURBED AREA	
DISTURBED AREAS (TRAFFIC)	X	X	X	X	X	X	X	X	X	
DISTURBED AREAS (NON-TRAFFIC)		X	X	X	X	X	X	X	X	
MATERIAL STOCKPILE AND STABILIZATION	X	X	X	X	X	X	X	X	X	
DEMOLITION			X	X			X	X	X	
CLEARING AND EXCAVATING	X	X	X	X	X	X	X	X	X	
TRUCK TRAFFIC ON UNPAVED ROADS			X	X	X		X	X	X	
MUD AND DIRT CARRY-OUT	X	X	X	X	X	X	X	X	X	

**PROJECT INFORMATION**

PROJECT NAME:  
**EDWARD KEMBLE & CESAR CHAVEZ  
ELEMENTARY SCHOOL - INTERIM HOUSING**

SWPPP REQUIRED: **YES**

RISK LEVEL: **2**

PARCEL AREA: \_\_\_\_\_ ACRES  
 ON-SITE DISTURBED AREA: \_\_\_\_\_ ACRES  
 OFF-SITE DISTURBED AREA: \_\_\_\_\_ ACRES  
 TOTAL DISTURBED AREA: \_\_\_\_\_ ACRES

**CONSTRUCTION SCHEDULE (ESTIMATED)**

ACTIVITY	DATE	DATE
GRADING/UTILITIES	-	-
FINAL STABILIZATION	-	-

**THIS IS NOT A S.W.P.P.**

THE PURPOSE OF THIS PLAN IS TO AID THE CONTRACTOR IN THE DEVELOPMENT OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP). WARREN CONSULTING ENGINEERS, INC. ASSUMES NO RESPONSIBILITY FOR THE PREPARATION, IMPLEMENTATION, OR MAINTENANCE OF THE SWPPP. SHOULD A SWPPP NOT BE REQUIRED FOR THIS PROJECT, IT IS STILL THE RESPONSIBILITY OF THE CONTRACTOR TO IMPLEMENT THE APPLICABLE STORMWATER QUALITY BMP'S IN ACCORDANCE WITH STATE AND LOCAL REGULATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IMPLEMENT HIS/HER OWN METHODS AND PRODUCTS TO COMPLY WITH THESE ORDINANCES.

**ON/OFF HAUL GENERAL NOTE**

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ANY AND ALL PERMITS, GRADING, EROSION, OR OTHER, NECESSARY FOR THE SITE IN WHICH SOIL IS ON-HAULED FROM, OR OFF-HAULED TO. LARGE QUANTITIES OF SOIL BEING HAULED MAY BE SUBJECT TO HAUL ROUTE APPROVAL AND SHALL BE DISCUSSED WITH SITE INSPECTOR. IF HAUL ROUTE APPROVAL IS REQUIRED, IT IS THE CONTRACTORS RESPONSIBILITY TO DEVELOP THIS PLAN AND GAIN APPROVAL.

**SWPPP GENERAL NOTES & REQUIREMENTS**

- ANY CHANGES MADE TO THIS PLAN IN THE FIELD MUST BE SHOWN ON THIS MAP. UPDATE MAP TO REFLECT CHANGES.
- MAINTENANCE/REPAIRS OF BMP FAILURE SHALL BEGIN WITHIN 72 HOURS OF IDENTIFICATION AND CHANGES SHALL BE COMPLETED PRIOR TO THE NEXT RAIN EVENT.
- SEDIMENT AND EROSION CONTROL MEASURES ON THIS PLAN ARE MINIMUM BMP'S RECOMMENDED FOR COMPLIANCE. CONSTRUCTION SITE MUST BE MONITORED AND BMP'S SHALL BE MODIFIED DEPENDING ON CONSTRUCTION SCHEDULE AND RAIN EVENTS.

**SEE GENERAL NOTES ON SHEET 1CK001**

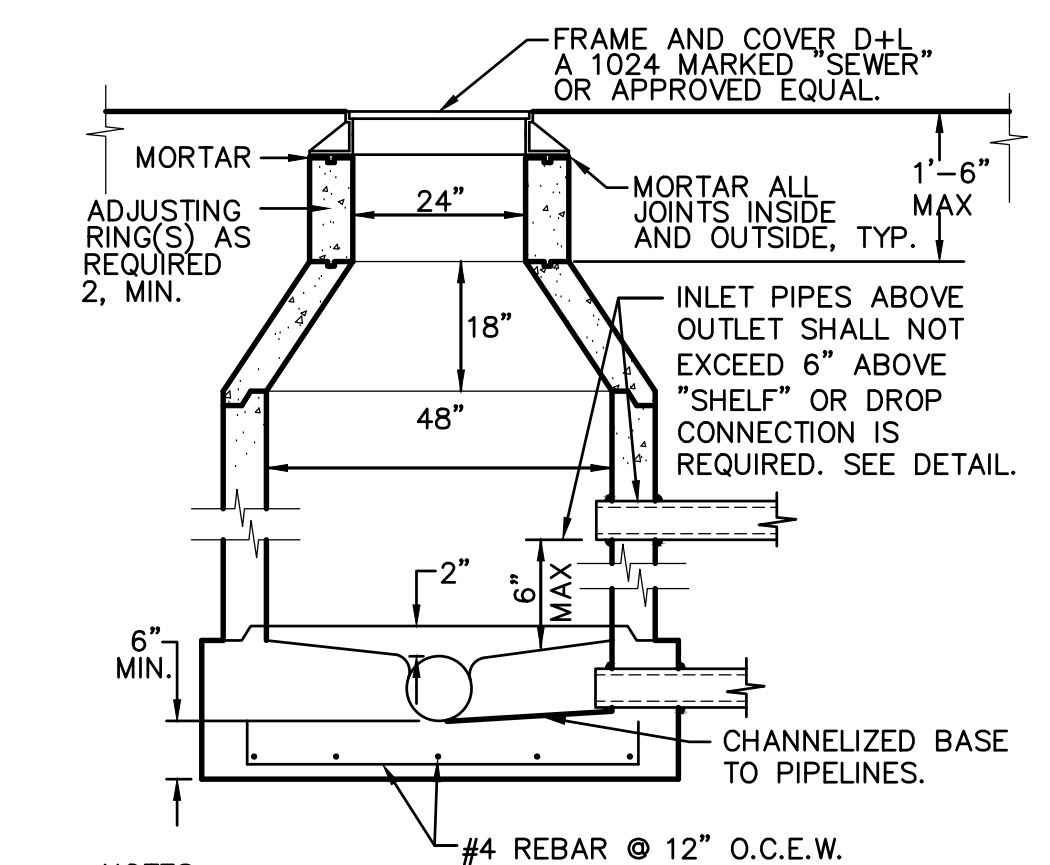
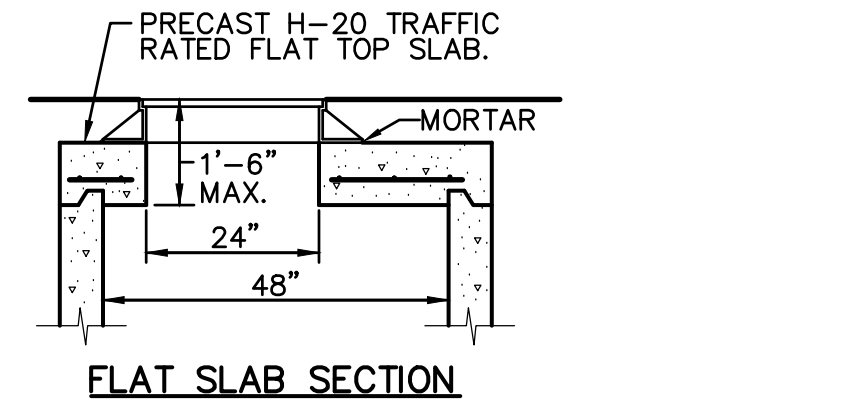
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MARK	DATE	DESCRIPTION
▲	6-30-2023	CCD NO. 2

TITLE  
**EROSION CONTROL  
PLAN**

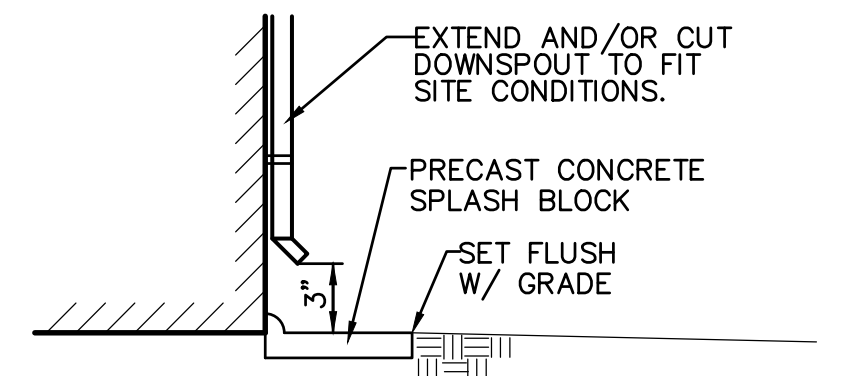
SHEET  
**1CK101**



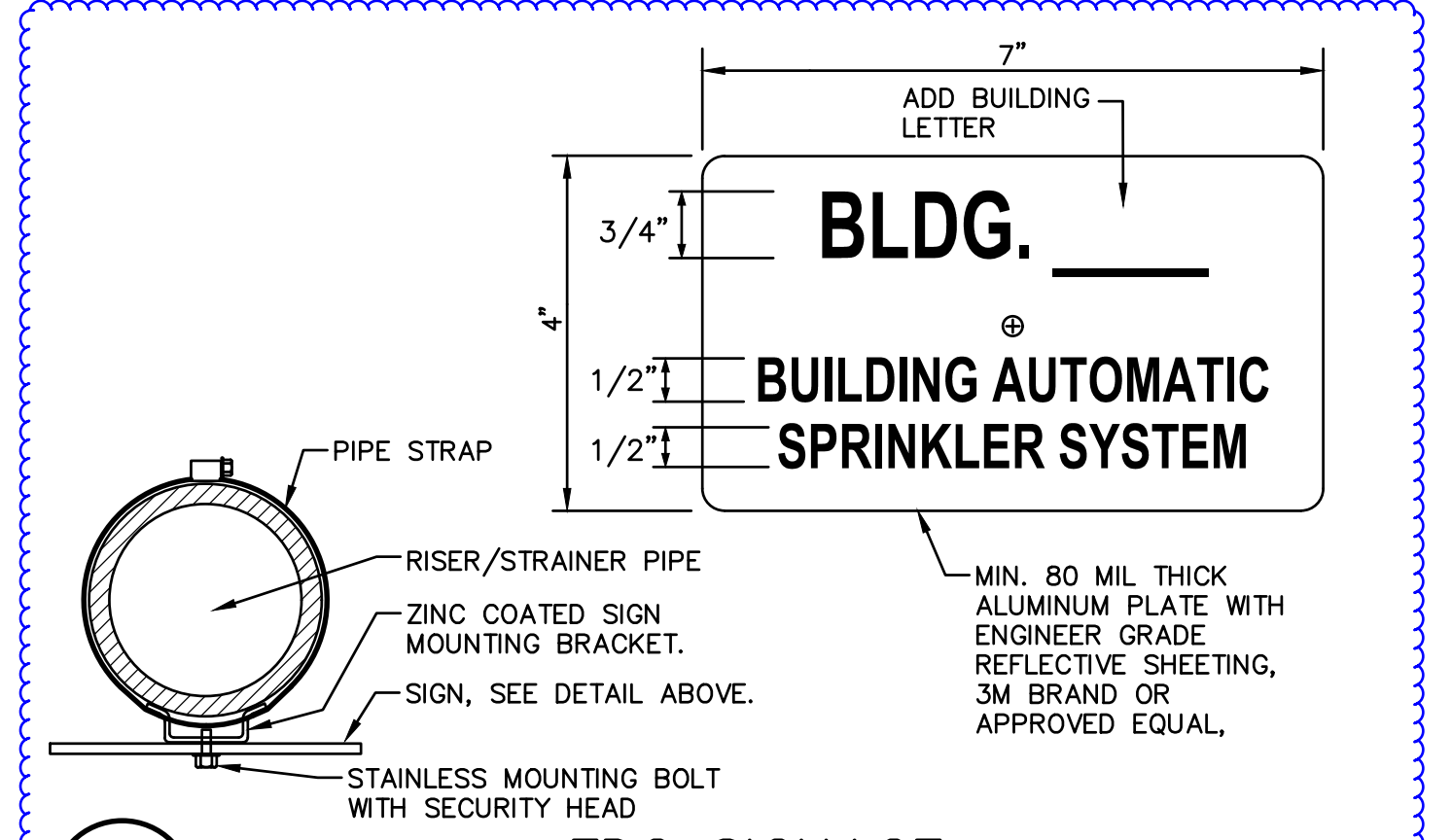


- NOTES:**
- RISER SECTIONS, CONES, AND ADJUSTING RING SHALL CONFORM TO ASTM DESIGNATION C-478.
  - FRAME SHALL BE SECURED TO RISER OR FLAT SLAB TOP WITH CEMENT MORTAR.
  - CONCRETE BASE MAY BE CAST-IN-PLACE AND POURED AGAINST UNDISTURBED MATERIAL OR PRE-CAST CONCRETE BASE ON 4" MIN. 3/4" CRUSHED ROCK PLACED ON UNDISTURBED MATERIAL.
  - ALL JOINTS SHALL BE SEALED WITH GROUT AND INSIDE OF MANHOLE SHALL BE GROUTED SMOOTH.
  - FLEXIBLE CONNECTORS SHALL BE INSTALLED ON BOTH INFLOW AND OUTFLOW PIPES PER CA. PLUMBING CODE 719.6.
  - FLAT SLAB SHALL BE USED WHEN DEPTH DOES NOT PERMIT USE OF TAPER UNIT. FLAT SLAB SHALL BE TRAFFIC RATED.

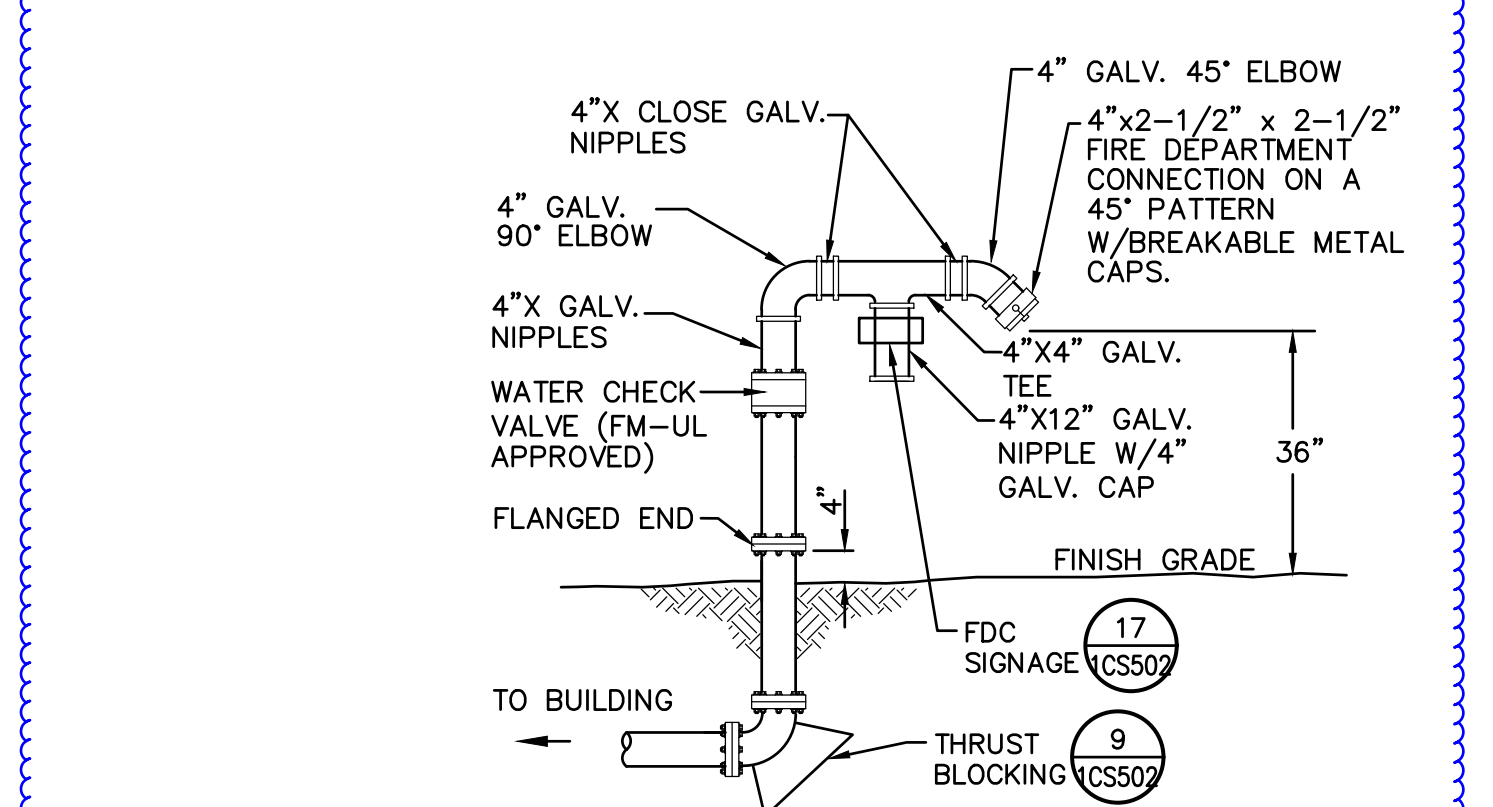
**15 SANITARY SEWER MANHOLE**  
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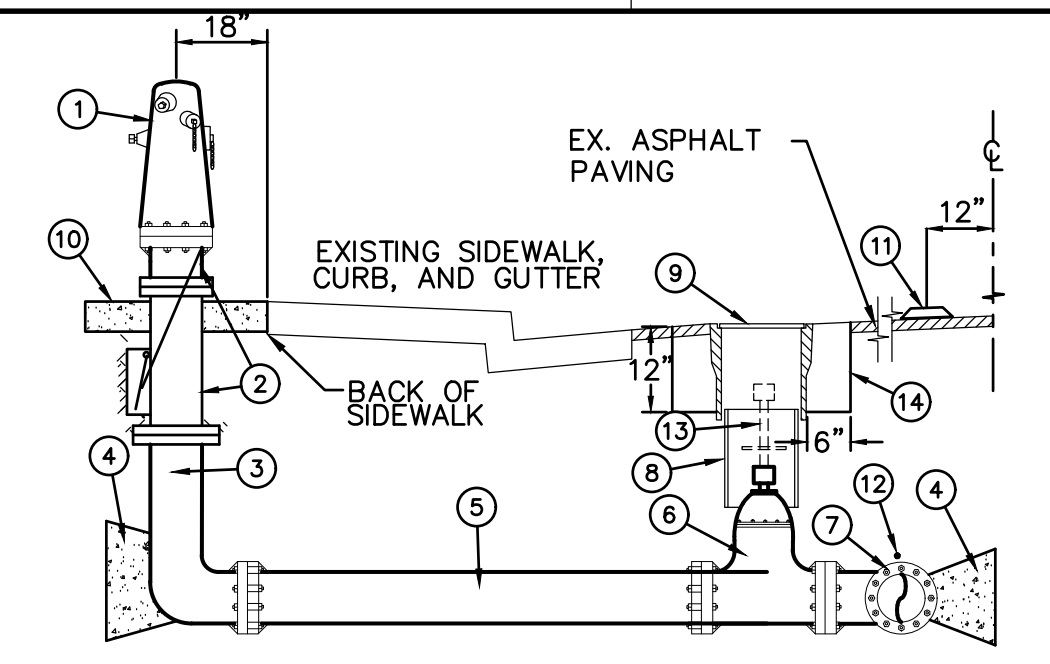
**16 SPLASH BLOCK**  
NO SCALE



**17 FDC SIGNAGE**  
NO SCALE



**18 FIRE DEPARTMENT CONNECTION**  
NO SCALE



- CONSTRUCTION NOTES**
- FIRE HYDRANT. 4 1/2 INCH OUTLET SHALL FACE THE STREET. BOLTS ATTACHING FIRE HYDRANT TO BURY SECTION OR SPOOL SHALL BE OF THE BREAK-OFF TYPE, HEX HEAD, HEAVY AMERICAN STANDARD. HYDRANT SHALL BE LOCATED AT PROPERTY LINES, OUTSIDE OF CURB RETURN AREAS AND AT LEAST 3 FEET FROM DRIVEWAYS.
  - BREAK OFF CHECK VALVE CLOW LBI 400A OR APPROVED EQUAL. BREAK-OFF GROOVE TO BE ABOVE CONCRETE. POLYWRAP SPOOL BELOW CONCRETE PAD.
  - BURY SECTION, FLANGED X MECHANICAL JOINT. (USE RESTRAINING GLAND IF REQUIRED.) POLYWRAP.
  - CLASS "A" (SIX SACK) CONCRETE THRUST BLOCK IF LATERAL HAS UNRESTRAINED JOINTS. (SEE DETAIL #W-5).
  - 6" PVC C900 OR DUCTILE IRON C151. POLYWRAP DUCTILE IRON PIPE.
  - 6" RESILIENT WEDGE GATE VALVE. FLANGED X MECHANICAL JOINT (USE RESTRAINING GLAND IF REQUIRED). POLYWRAP.
  - TEE WITH FLANGED CONNECTION FOR VALVE. POLYWRAP.
  - 8" PVC RISER. MUST BE PLUMB WITHIN 1 INCH.
  - CHRISTY TYPE G-5 TRAFFIC BOX. LID SHALL READ "WATER".
  - 4" MIN. THICKNESS CONCRETE PAD, 24"x24" SQUARE. CENTER FIRE HYDRANT IN PAD, SLOPE PAD TO MATCH SIDEWALK, CURB, OR FINISHED GRADE. (TYP. 2%)
  - REFLECTIVE BLUE MARKER (TYPE DB). AT INTERSECTIONS, TWO MARKERS SHALL BE INSTALLED PERPENDICULAR TO FIRE HYDRANT ON EACH STREET AND 12 INCHES INSIDE OF CENTERLINE.
  - TRACER WIRE.
  - PROVIDE EXTENSION IF OPERATING NUT EXCEEDS MAXIMUM OF FOUR (4) FEET FROM FINISHED GRADE. EXTENSION SHALL INCLUDE A STEADYING PLATE.
  - CONCRETE COLLAR WITH LAMP BLACK FINISH.

- GENERAL NOTES:**
- ALL NUTS, BOLTS, AND WASHERS ON FLANGED FITTINGS SHALL BE STAINLESS STEEL. PIPE AND FITTINGS SHALL BE WRAPPED AND BEDDED IN SAND.
  - WHERE NO R/W OR EASEMENT EXIST BEHIND NEW OR EXISTING SIDEWALK INSTALL CENTER OF FIRE HYDRANT 18" BEHIND FACE OF CURB.
  - CONCRETE SHALL BE CLASS "A".
  - FIRE HYDRANT SHALL BE SPRAY PAINTED AS PER SPECS.
  - LOWEST OUTLET OF FIRE HYDRANT SHALL HAVE A MIN. OF 20" CLEARANCE TO ADJACENT CONCRETE SURFACE.

**12 FIRE HYDRANT DETAIL**  
NO SCALE

**HORIZONTAL THRUST BLOCKS**  
REQUIRED BEARING AREA, IN SQ. FT.

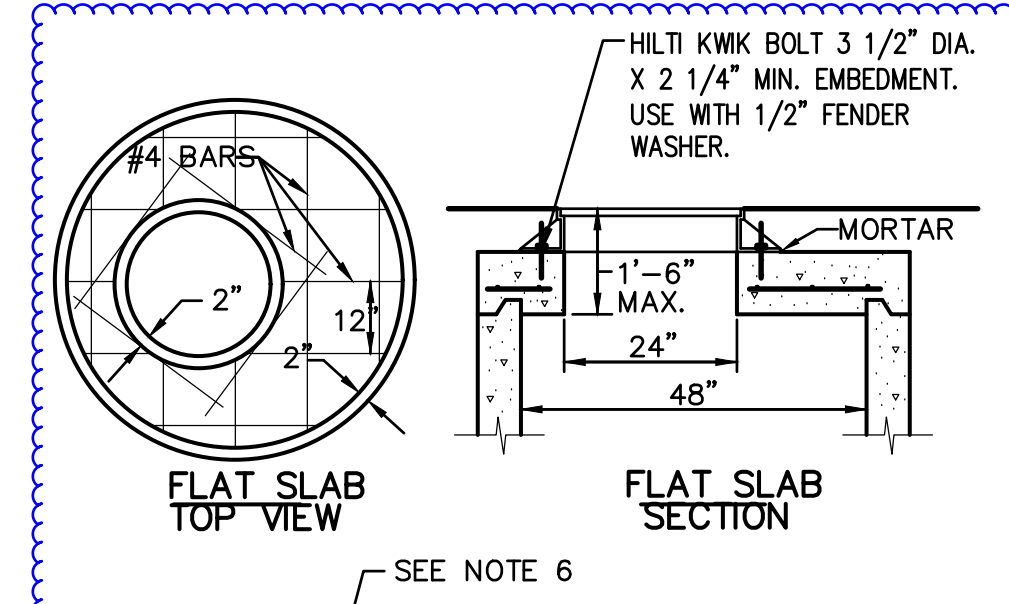
INSTALLATION	FITTING TYPE	4"	6"	8"	10"	12"
90° ELBOW	5"	11	19	28	39	
	45° ELL	3	6	10	15	21
22.5° ELL	1.5"	3	5.1	7.6	11	
	11.25° ELL	1	1.5	2.5	3.8	5.4
TEE	5"	11	19	28	39	
	W/ CAP	5	11	19	28	39
REDUCER	4"	8	13	20	28	
	VALVES	SEE VALVE DETAIL(S)				
HYDRANT	SEE HYDRANT DETAIL(S)					

**VERTICAL THRUST BLOCKS**  
REQUIRED CONCRETE VOLUME, IN CY.

INSTALLATION	FITTING TYPE	4"	6"	8"	10"	12"
90° ELBOW	1.0	2.1	3.8	5.2	8.4	
	45° ELL	0.7	1.5	2.7	4.2	6.0
22.5° ELL	0.4	0.8	1.5	2.3	3.3	
	11.25° ELL	0.2	0.5	0.8	1.2	1.6
REDUCER	0.7	1.5	2.7	4.2	6.0	
	W/ MIN. 2 #4 REBAR TIES, TYP.					

- NOTES:**
- THRUST BLOCKS ARE TO BE CONSTRUCTED OF 2500 PSI CONCRETE MIN.
  - AREAS IN TABLE HAVE BEEN DERIVED USING A WATER PRESSURE OF 200 POUNDS PER SQUARE INCH (13.8 BARS) AND SOIL RESISTANCE OF 1500 POUNDS PER SQUARE FOOT.
  - BLOCKING TO BE POURED AGAINST UNDISTURBED SOIL.
  - THRUST BLOCKS ARE TO BE FREE, SEPARATE AND INDEPENDENT OF ADJACENT OR NEARBY THRUST BLOCKS.

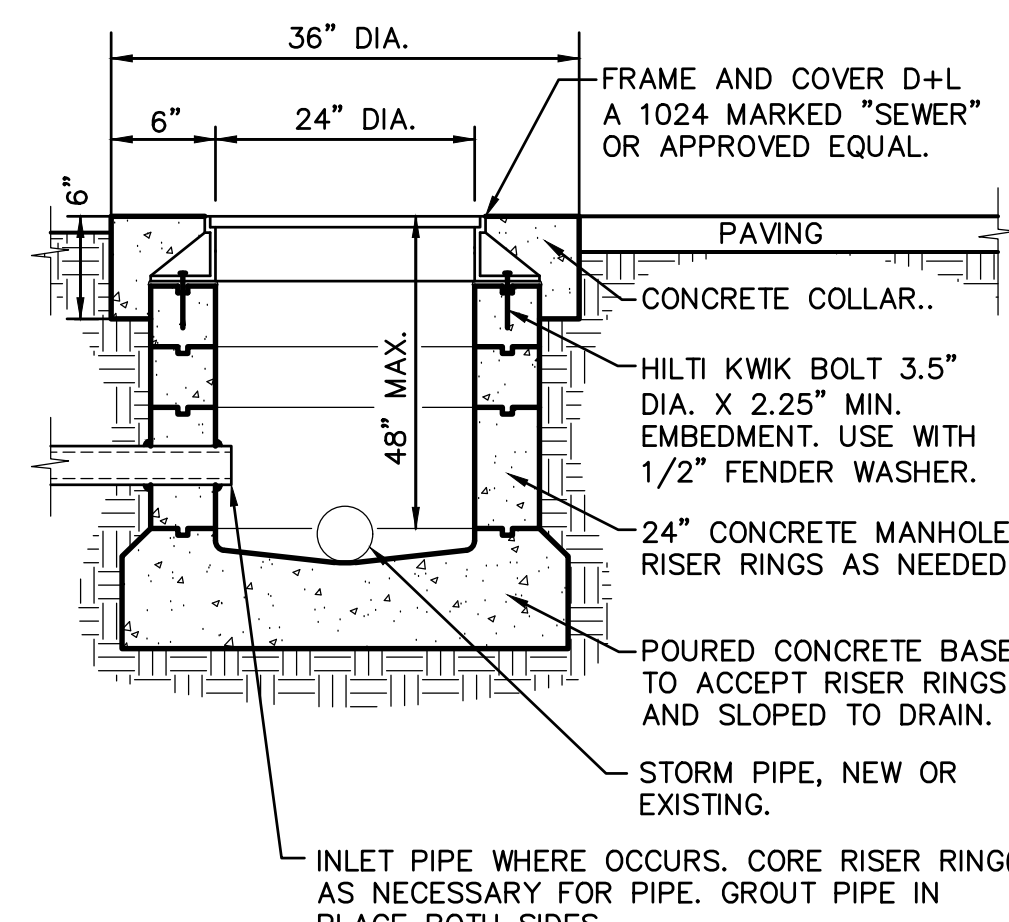
**9 THRUST BLOCKS**  
NO SCALE



**9 THRUST BLOCKS**  
NO SCALE

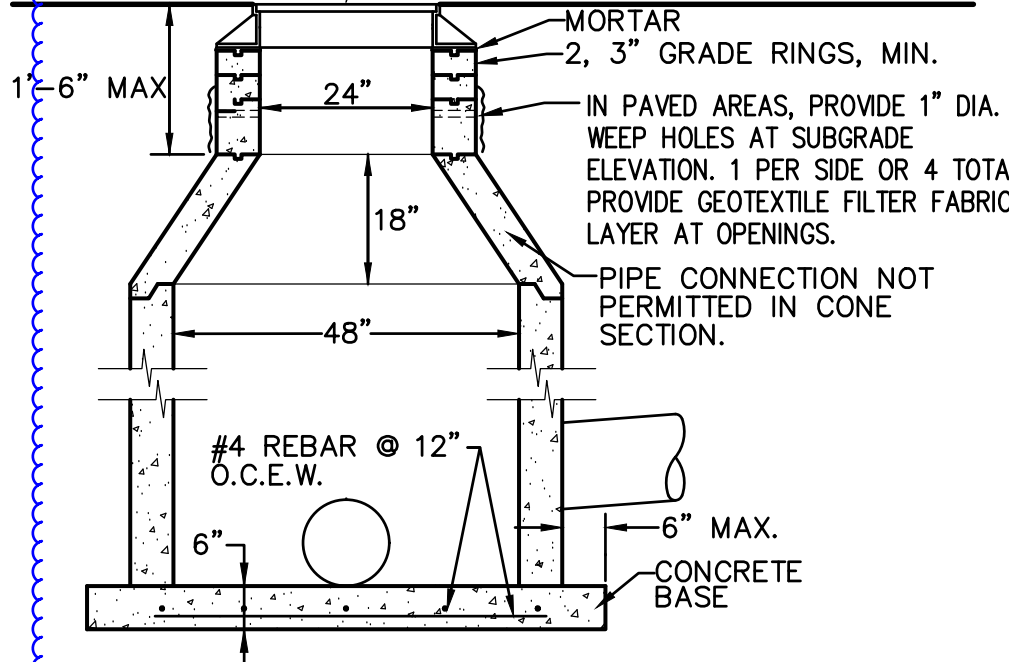


**13 STORMWATER STAMP/PLAQUE**  
NO SCALE



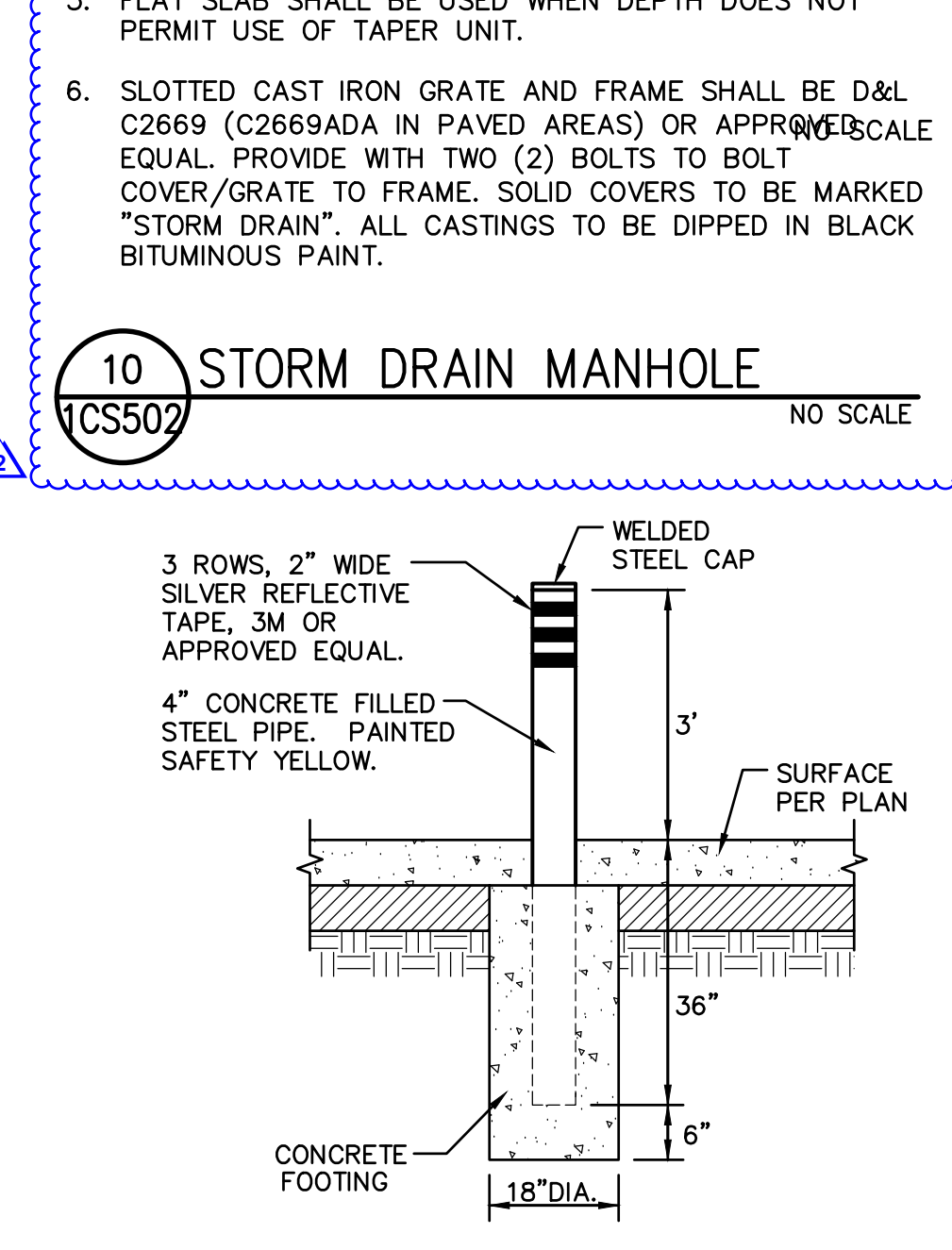
- NOTES:**
- RISER SECTIONS, CONES, AND ADJUSTING RING SHALL CONFORM TO ASTM DESIGNATION C-478.
  - FRAME SHALL BE SECURED TO RISER OR FLAT SLAB TOP WITH CEMENT MORTAR.
  - CONCRETE BASE MAY BE CAST-IN-PLACE AND POURED AGAINST UNDISTURBED MATERIAL, 3000. PSI MIN.
  - CONCRETE BASE MAY BE PRE-CAST CONCRETE SET ON 4" MIN. 3/4" CRUSHED ROCK PLACED ON COMPACTED SUBGRADE.
  - ALL JOINTS SHALL BE SEALED WITH GROUT.

**14 24" STORM MANHOLE**  
NO SCALE

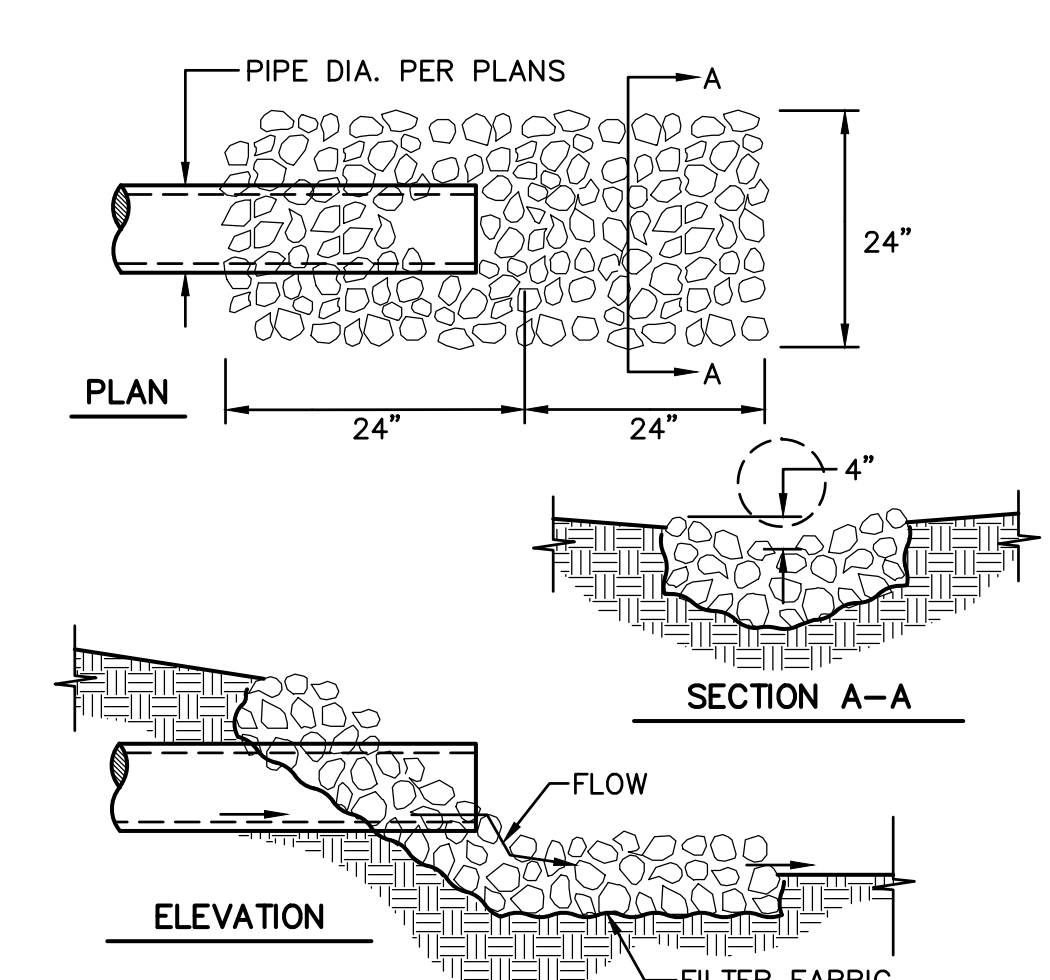


- NOTES:**
- RISER SECTIONS, CONES, AND ADJUSTING RING SHALL CONFORM TO ASTM DESIGNATION C-478.
  - FRAME SHALL BE SECURED TO RISER OR FLAT SLAB TOP WITH CEMENT MORTAR.
  - THE CONTRACTOR MAY AT HIS OPTION, CAST THE LOWER PORTION OF MANHOLE IN PLACE. THE CAST-IN-PLACE PORTION SHALL NOT BE PLACED HIGHER THAN 6 INCHES ABOVE THE OUTSIDE TOPS OF THE MAIN INCOMING AND OUTGOING PIPES.
  - ALL JOINTS SHALL BE SEALED WITH GROUT AND INSIDE OF MANHOLE SHALL BE GROUTED SMOOTH.
  - FLAT SLAB SHALL BE USED WHEN DEPTH DOES NOT PERMIT USE OF TAPER UNIT.
  - SLOTTED CAST IRON GRATE AND FRAME SHALL BE D&L C2669 (C2669ADA IN PAVED AREAS) OR APPROVED EQUAL. PROVIDE WITH TWO (2) BOLTS TO BOLT COVER/GRATE TO FRAME. SOLID COVERS TO BE MARKED "STORM DRAIN". ALL CASTINGS TO BE DIPPED IN BLACK BITUMINOUS PAINT.

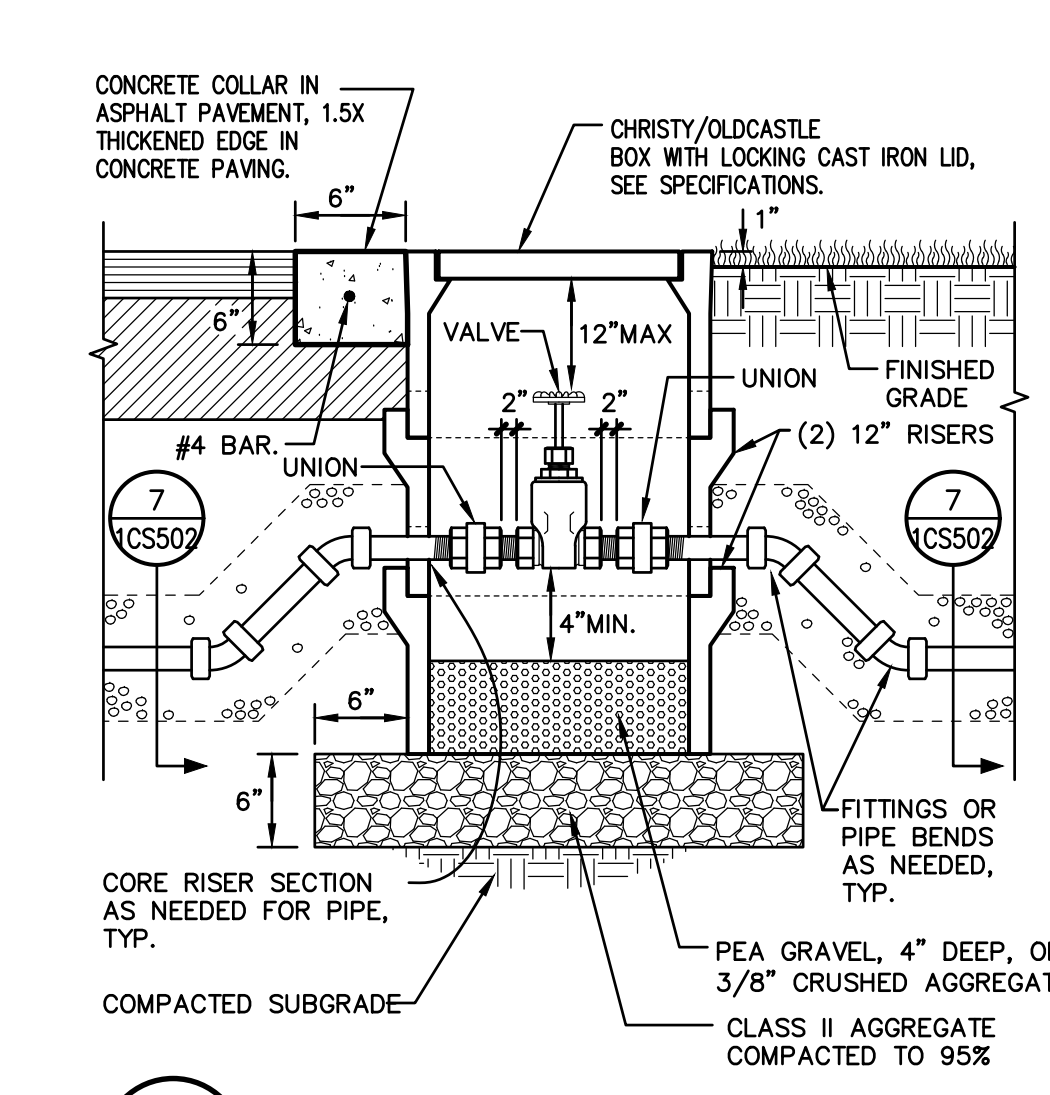
**10 STORM DRAIN MANHOLE**  
NO SCALE



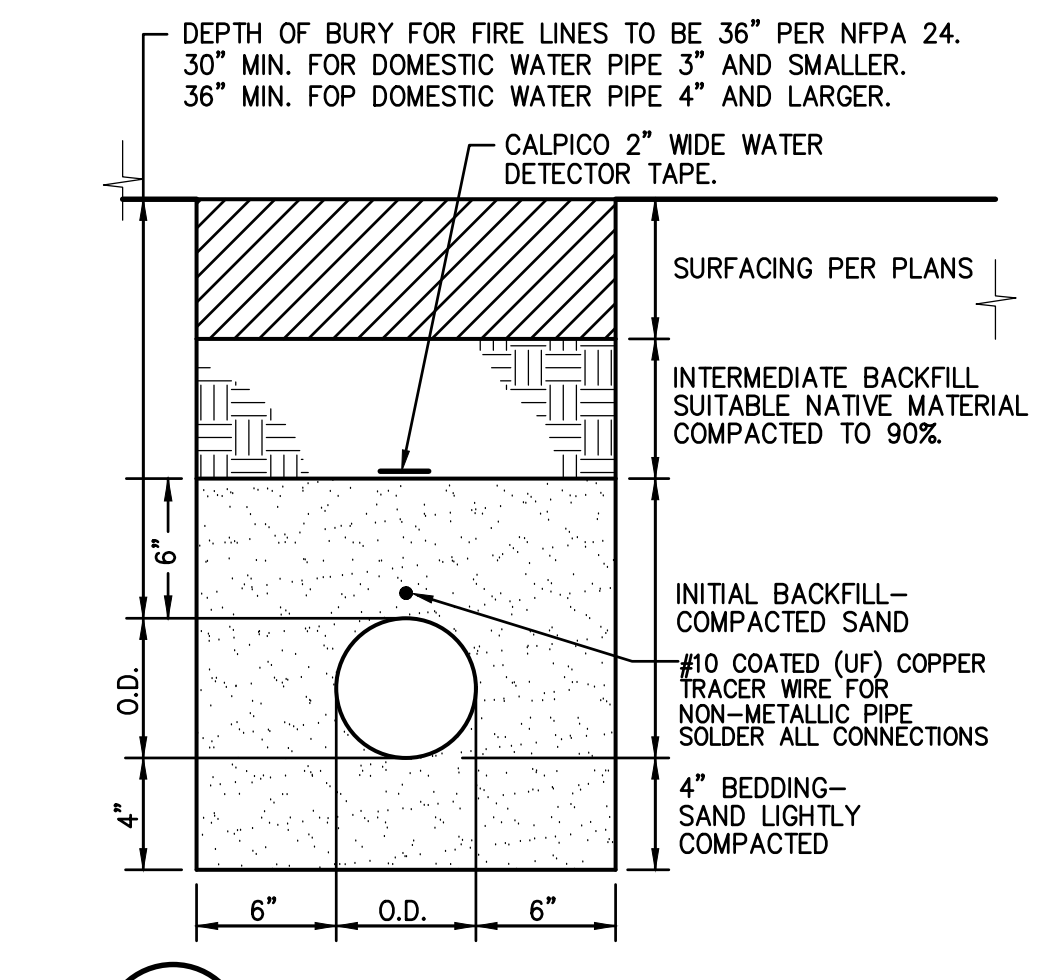
**11 PIPE BOLLARD**  
NO SCALE



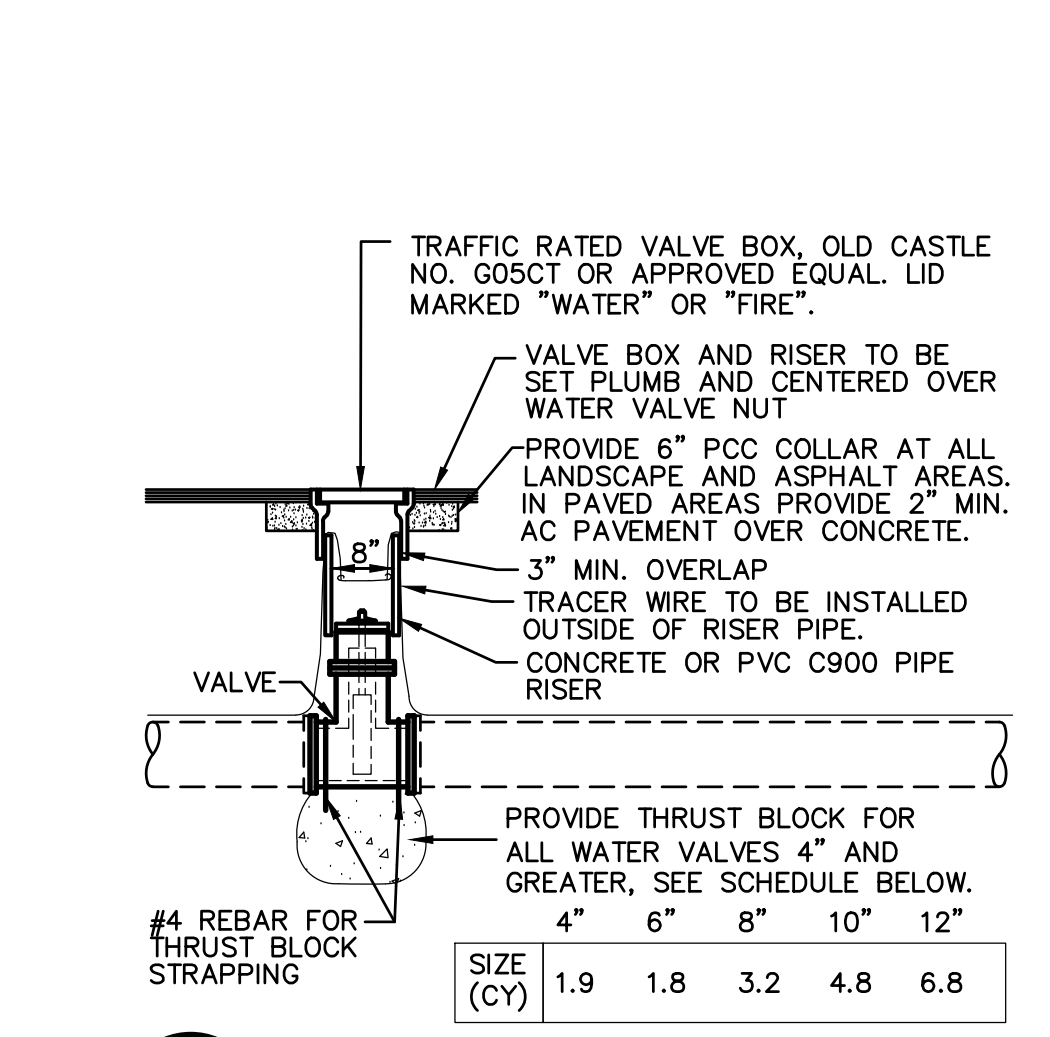
**5 OUTFALL STRUCTURE**  
NO SCALE



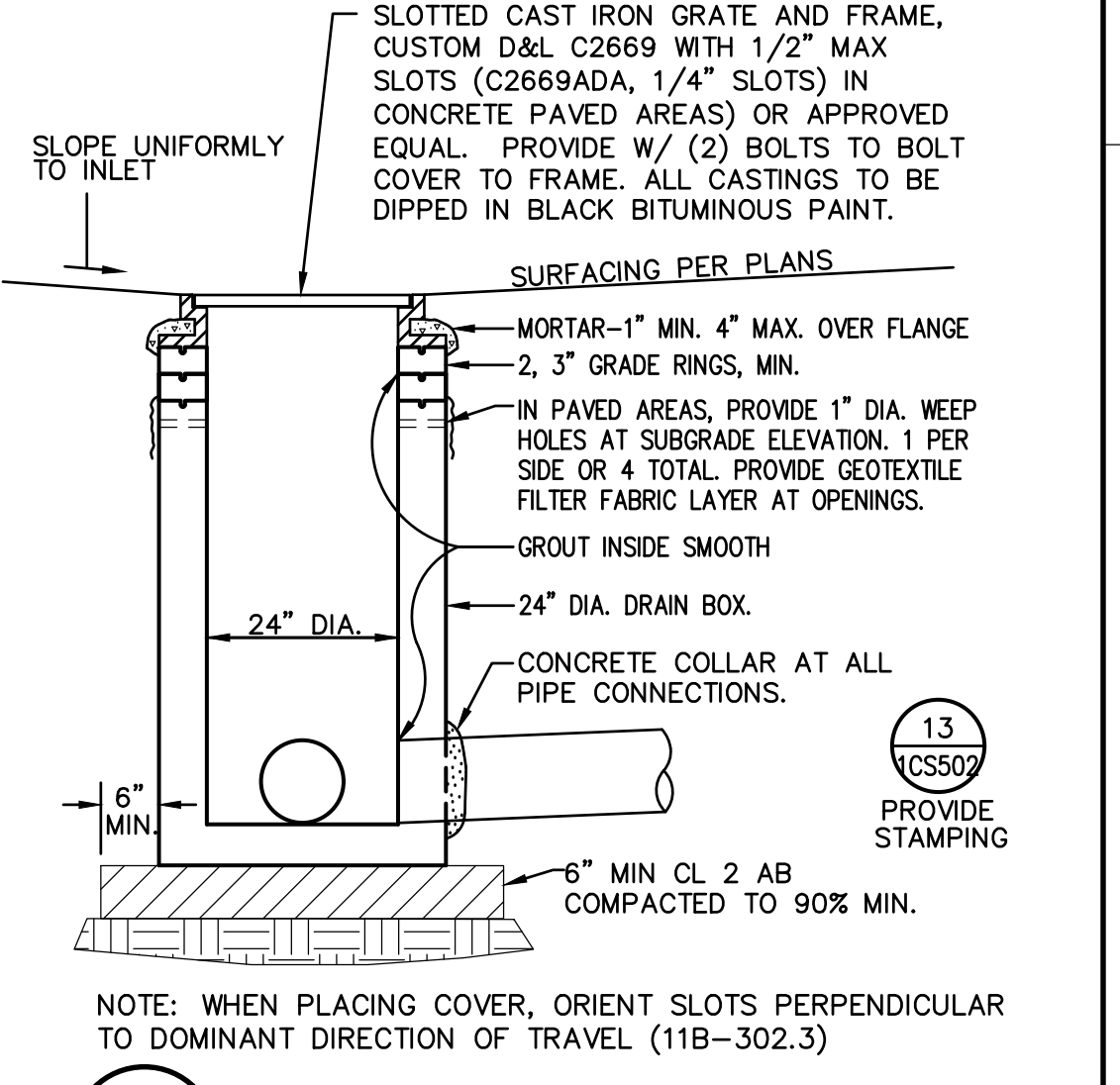
**6 WATER VALVE**  
NO SCALE



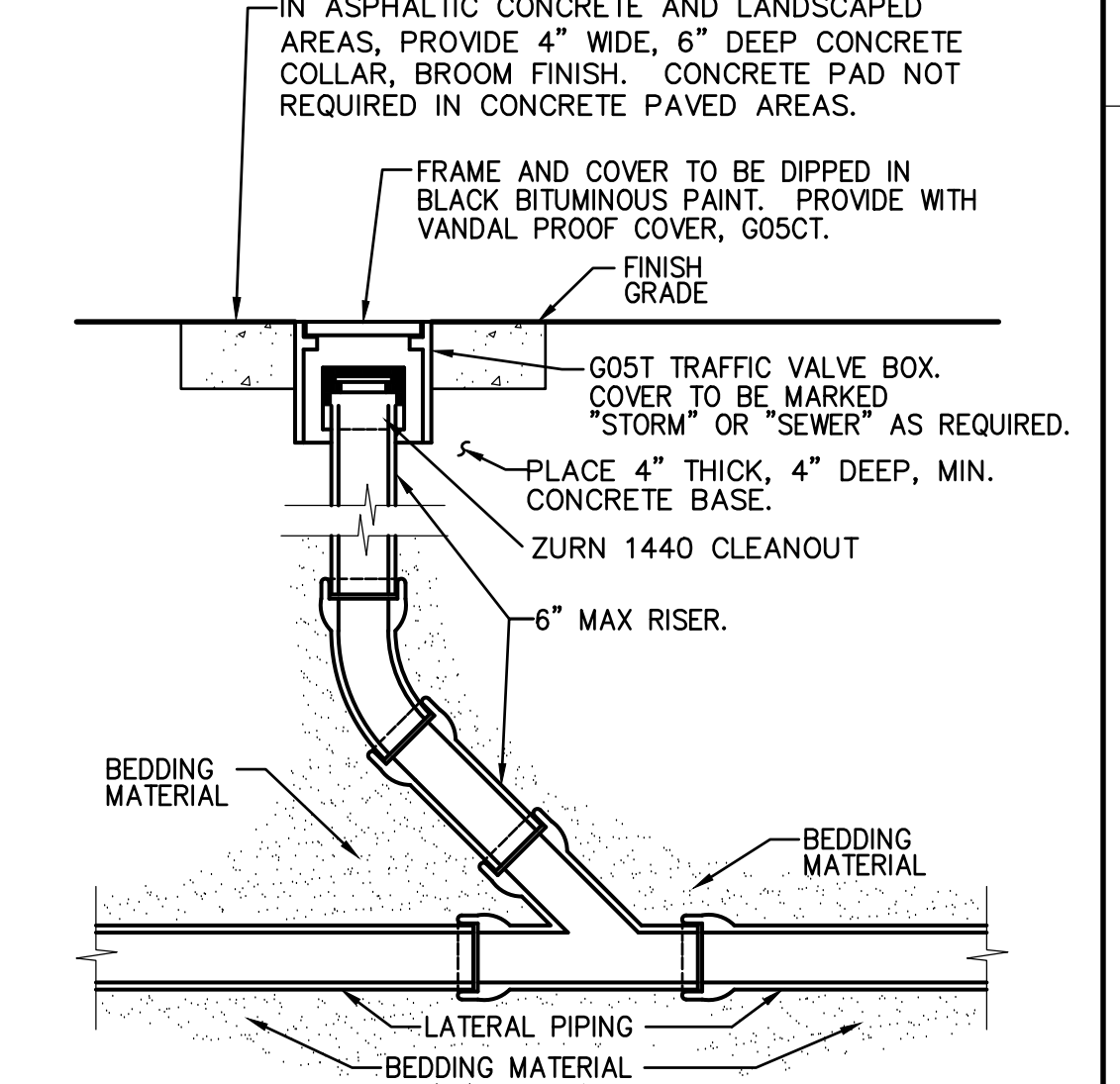
**7 WATER TRENCH**  
NO SCALE



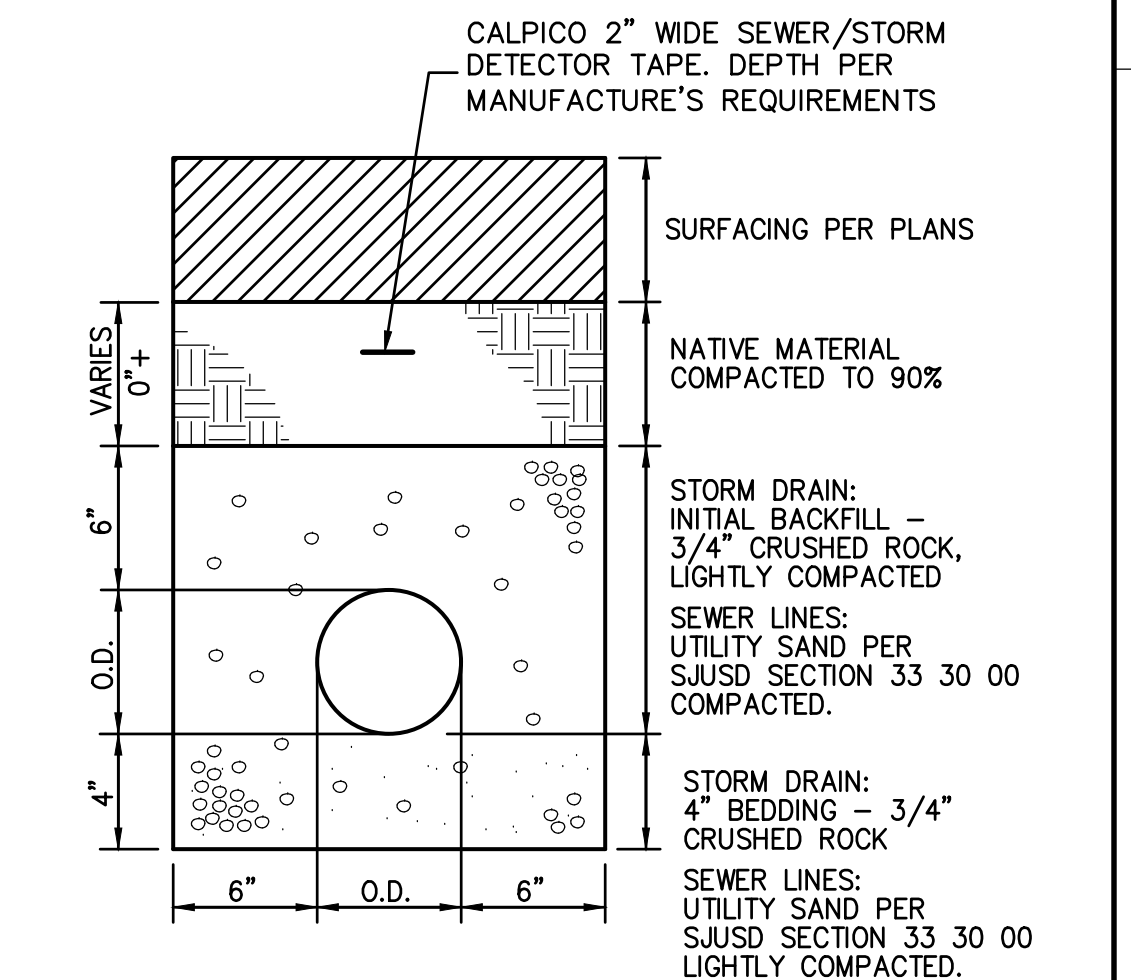
**8 WATER VALVE**  
NO SCALE



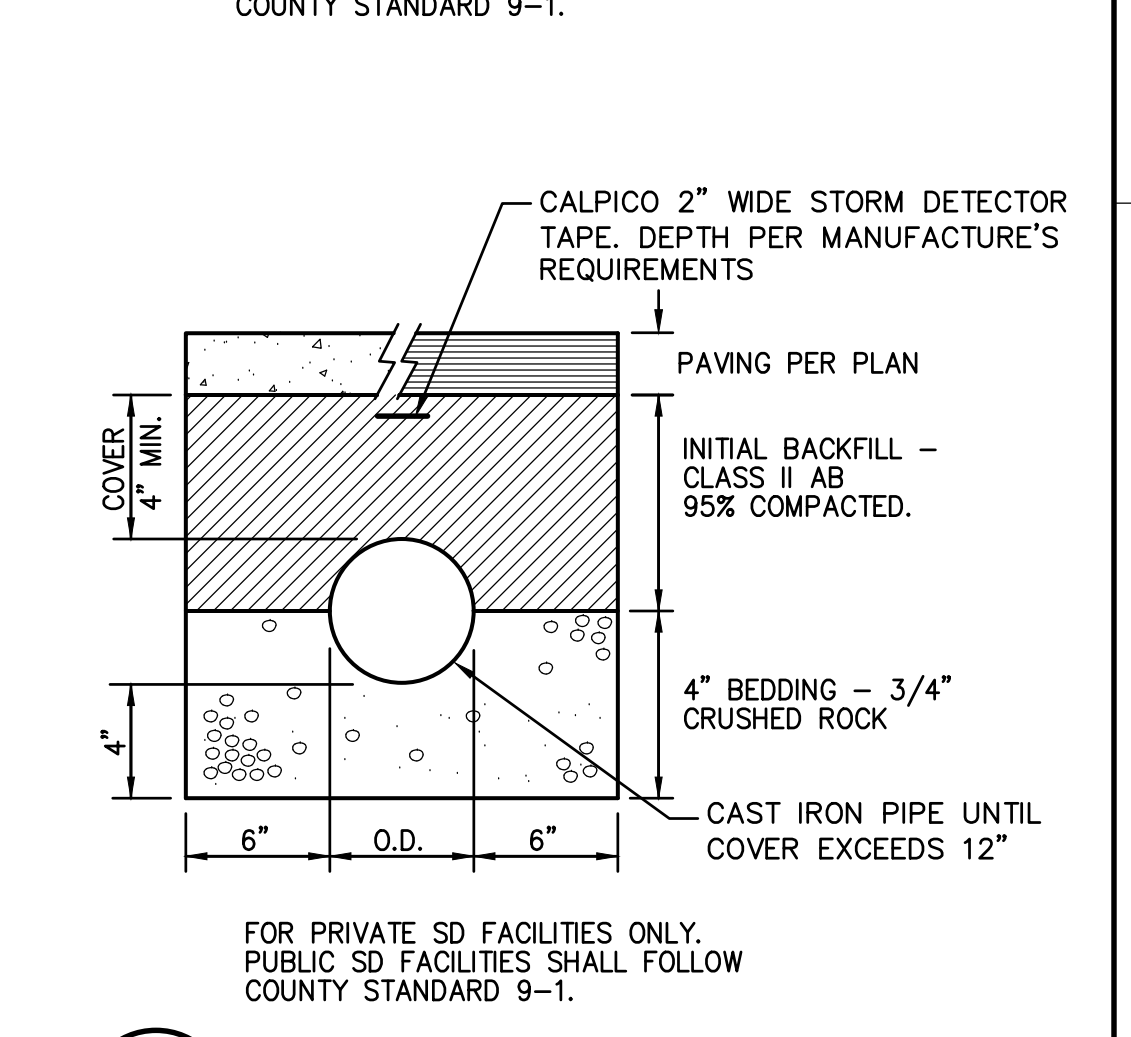
**1 DROP INLET**  
NO SCALE



**2 CLEANOUT**  
NO SCALE



**3 STORM/SEWER TRENCH**  
NO SCALE



**4 SHALLOW STORM TRENCH**  
NO SCALE

APPROVED BY THE STATE ARCHITECT  
APP: 02-120663 INC.  
REGISTERED FOR  
68 02 PLS/SD ACS/EP  
DATE: 08/03/2023

**LIONAKIS**  
2025 Nineteenth Street  
Sacramento, CA 95818  
P. 916.558.1900  
www.lionakis.com

CONSULTANT

**WC**  
WARREN CONSULTING ENGINEERS, INC.  
1117 WINDFIELD WAY, SUITE 110  
EL DORADO HILLS, CA 95762 | (916) 985-1870

REGISTERED PROFESSIONAL ENGINEER  
ANTHONY J. TASSANO  
CALIFORNIA  
96002023

SEAL

PROJECT  
**KEMBLE-CHAVEZ  
ELEMENTARY SCHOOL -  
PORTABLE RELOCATION  
INCREMENT 1**  
7495 29TH ST  
SACRAMENTO, CA 95822

CLIENT  
SACRAMENTO CITY UNIFIED SCHOOL  
DISTRICT  
5735 47TH AVE, SACRAMENTO CA 95824

ISSUED

MARK	DATE	DESCRIPTION
△	6-30-2023	CCD NO.2

MANAGEMENT  
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CLIENT PROJECT NO. LIONAKIS 2021  
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AGENCY

TITLE  
**SITE DETAILS**

SHEET  
**1CS502**

FILENAME: I:\22-108\CIVIL\DWG\INCREMENT 1 - INTERIM HOUSING\22-108 -114- 1CS501-CS504.DWG

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0 1/4" = 1'

10/14/13/2\_BML\_A-MASTER\_R-V\_L-CENTRAL\_r1.mxd

6/18/2014 10:32:25 AM

### STORMFILTER STEEL CATCHBASIN DESIGN NOTES

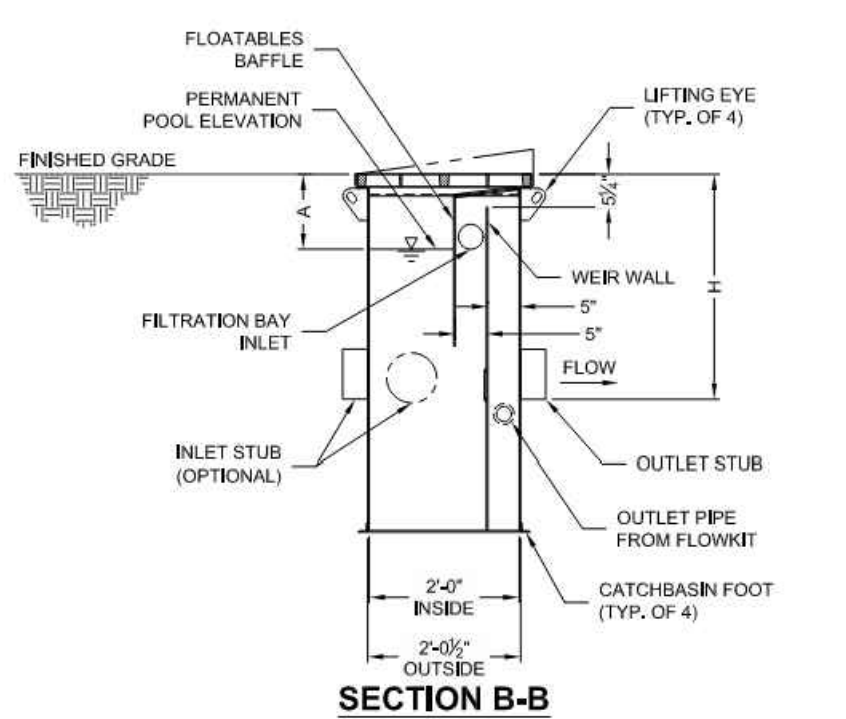
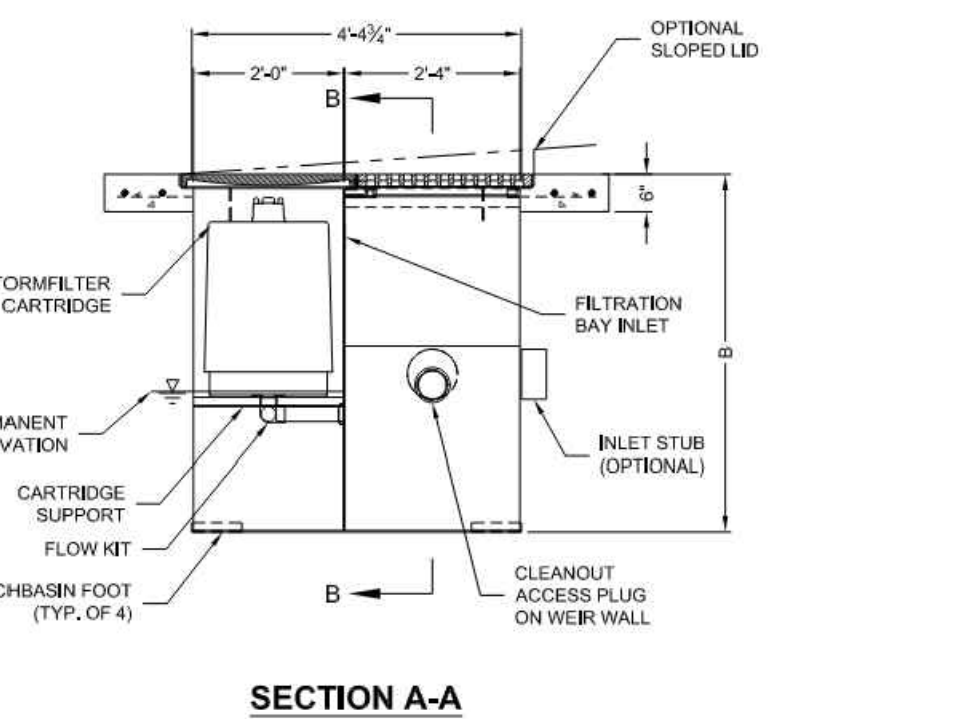
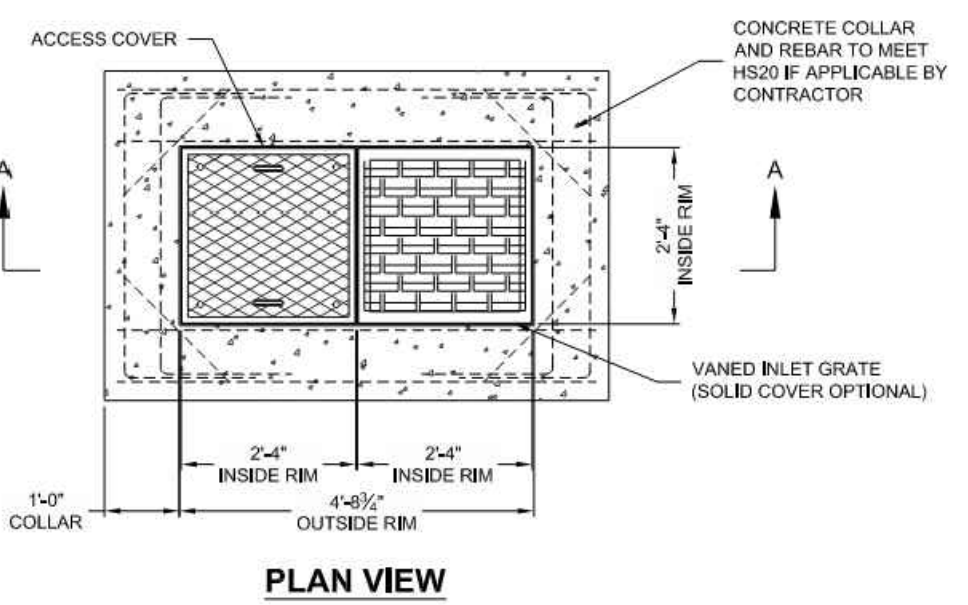
STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. 1 CARTRIDGE CATCHBASIN HAS A MAXIMUM OF ONE CARTRIDGE, SYSTEMS SHOWN WITH 2 CARTRIDGES ARE ALSO AVAILABLE WITH AN 18" CARTRIDGE. STORMFILTER CATCHBASIN CONFIGURATIONS ARE AVAILABLE WITH A DRY INLET BAY FOR VECTOR CONTROL. PEAK HYDRAULIC CAPACITY PER TABLE BELOW. IF THE SITE CONDITIONS EXCEED PEAK HYDRAULIC CAPACITY, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CATCHBASIN SELECTION

RECOMMENDED HYDRAULIC DROP (ft)	2"	3"	4"	6"	8"	10"	12"	15"	18"
SPECIFIC FLOW RATE (gpm/ft²)	2.0	2.5	3.0	4.0	5.0	6.0	7.5	9.0	11.0
CATCHBASIN FLOW RATE (gpm)	22.5	28.1	33.8	45.0	56.2	67.5	84.4	101.2	123.8
PEAK HYDRAULIC CAPACITY	1.0	1.25	1.5	2.0	2.5	3.0	3.75	4.5	5.5
INLET PERMANENT POOL LEVEL (ft)	1.0	1.25	1.5	2.0	2.5	3.0	3.75	4.5	5.5
OVERALL STRUCTURE HEIGHT (ft)	4.0	4.25	4.5	5.0	5.5	6.0	7.5	9.0	11.0

\* 1.5" (38mm) SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHORUS (PSORB) MEDIA ONLY

GENERAL NOTES:  
 1. CONTACT TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.  
 2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STORMFILTER CATCHBASIN STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE, www.contech.com  
 3. STORMFILTER CATCHBASIN WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.  
 4. INLET SHOULD NOT BE LOWER THAN OUTLET. INLET (IF APPLICABLE) AND OUTLET PIPING TO BE SPECIFIED BY ENGINEER AND PROVIDED BY CONTRACTOR.  
 5. MANUFACTURER TO APPLY A SURFACE BEAD WELD IN THE SHAPE OF THE LETTER "C" ABOVE THE OUTLET PIPE STUB ON THE EXTERIOR SURFACE OF THE STEEL SHEET.  
 6. STORMFILTER CATCHBASIN EQUIPPED WITH 4 INCH (APPROXIMATE) LONG STUDS FOR INLET (IF APPLICABLE) AND OUTLET PIPING. STANDARD OUTLET STUBS IS 8 INCHES IN DIAMETER. MAXIMUM OUTLET STUBS IS 15 INCHES IN DIAMETER. CONNECTION TO COLLECTION PIPING CAN BE MADE USING FLEXIBLE COUPLERS BY CONTRACTOR.  
 7. STEEL STRUCTURE TO BE MANUFACTURED OF 1/4 INCH STEEL PLATE. CASTINGS SHALL MEET AASH TO AASH LOAD RATINGS. TO MEET HEAD LOAD RATING ON STRUCTURE, A CONCRETE COLLAR IS REQUIRED. WHEN REQUIRED, CONCRETE COLLAR WITH REINFORCING BARS TO BE PROVIDED BY CONTRACTOR.  
 8. FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SPRING ACTUATED, RADIAL FLOW, AND SELF-CLEANING. RADIAL MEDIA DEPTH SHALL BE 4 INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.  
 9. SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).  
 INSTALLATION NOTES:  
 A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-VIBRATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.  
 B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CATCHBASIN (LIFTING CLUTCHES PROVIDED).  
 C. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



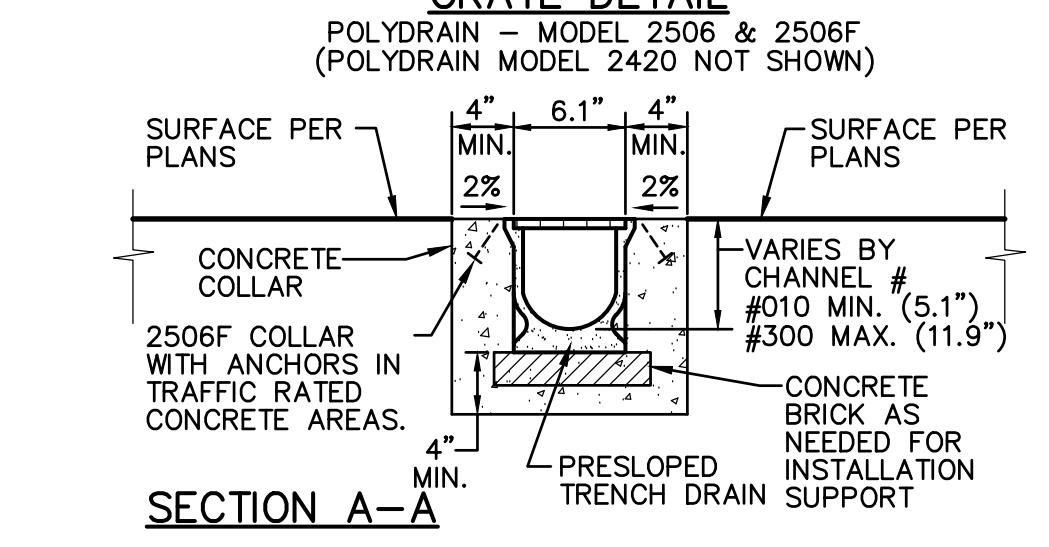
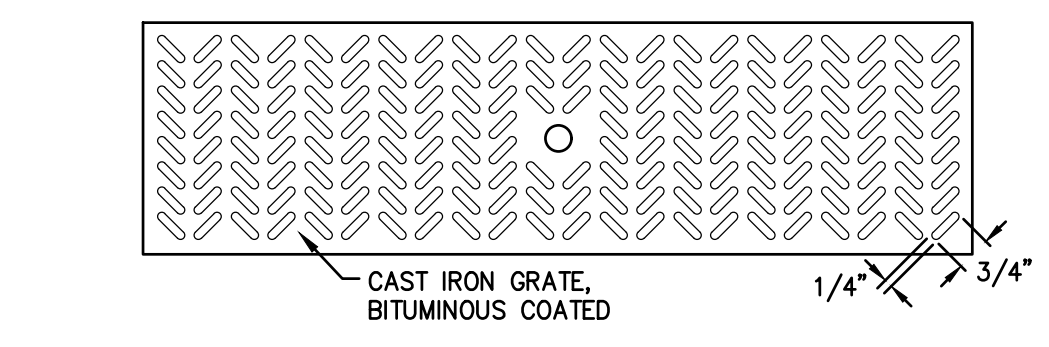
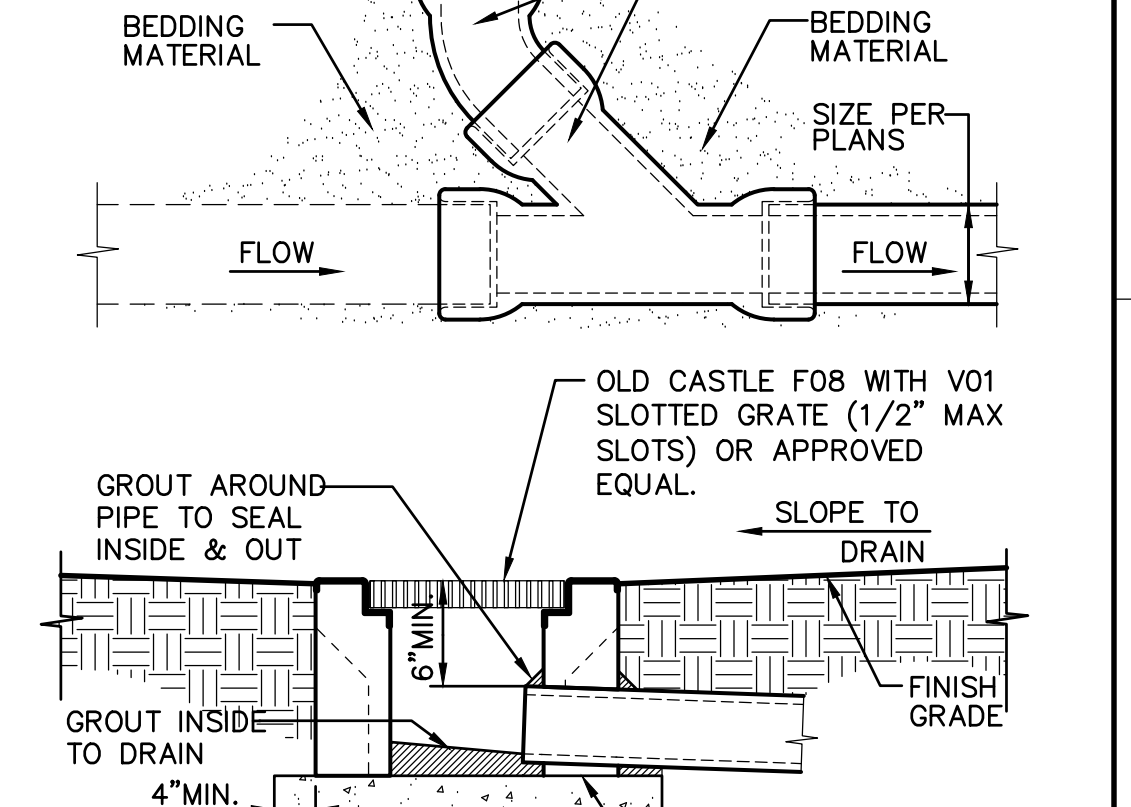
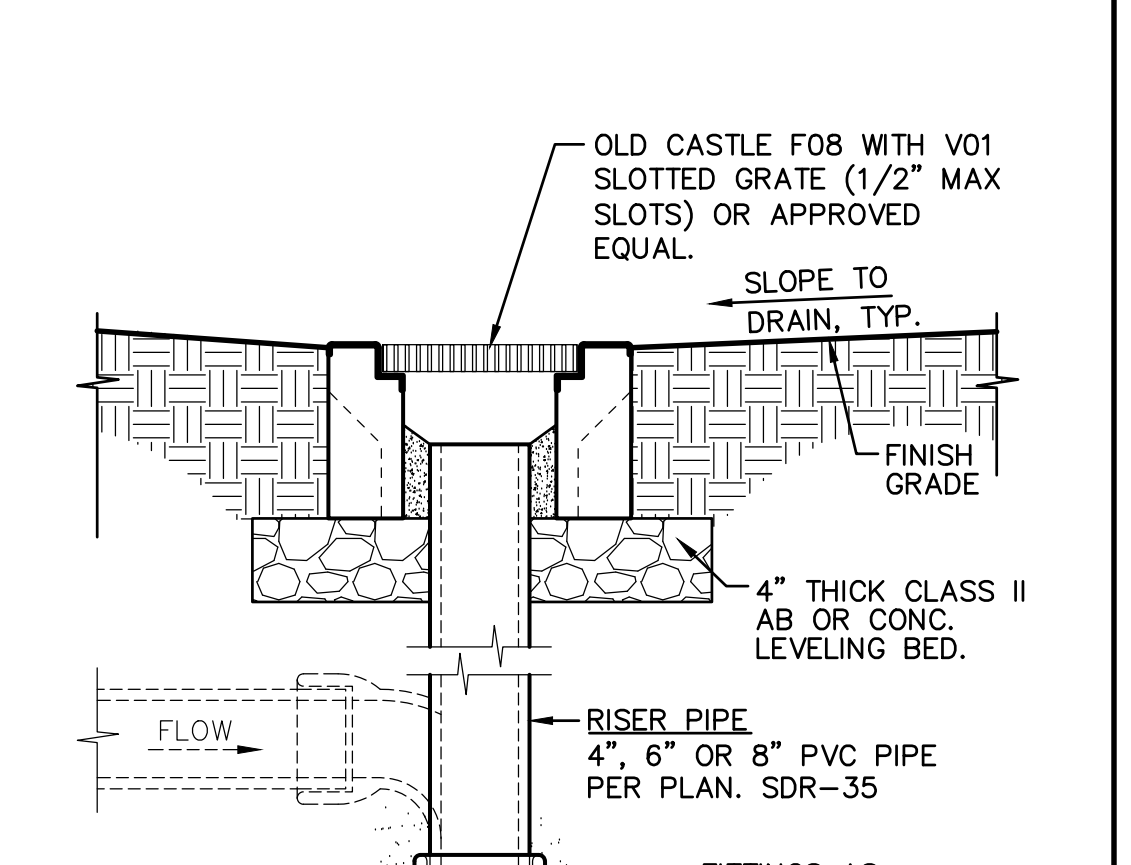
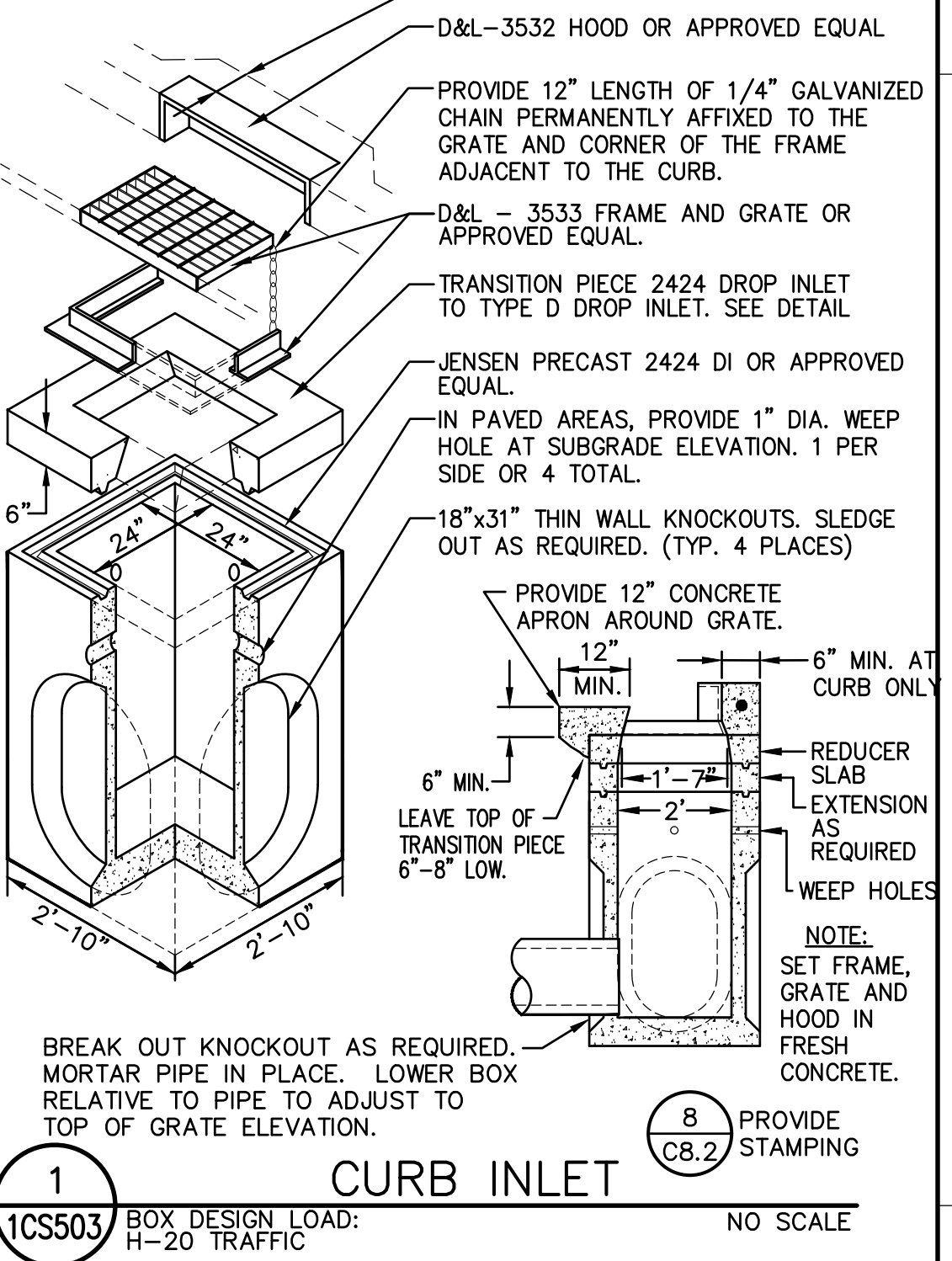
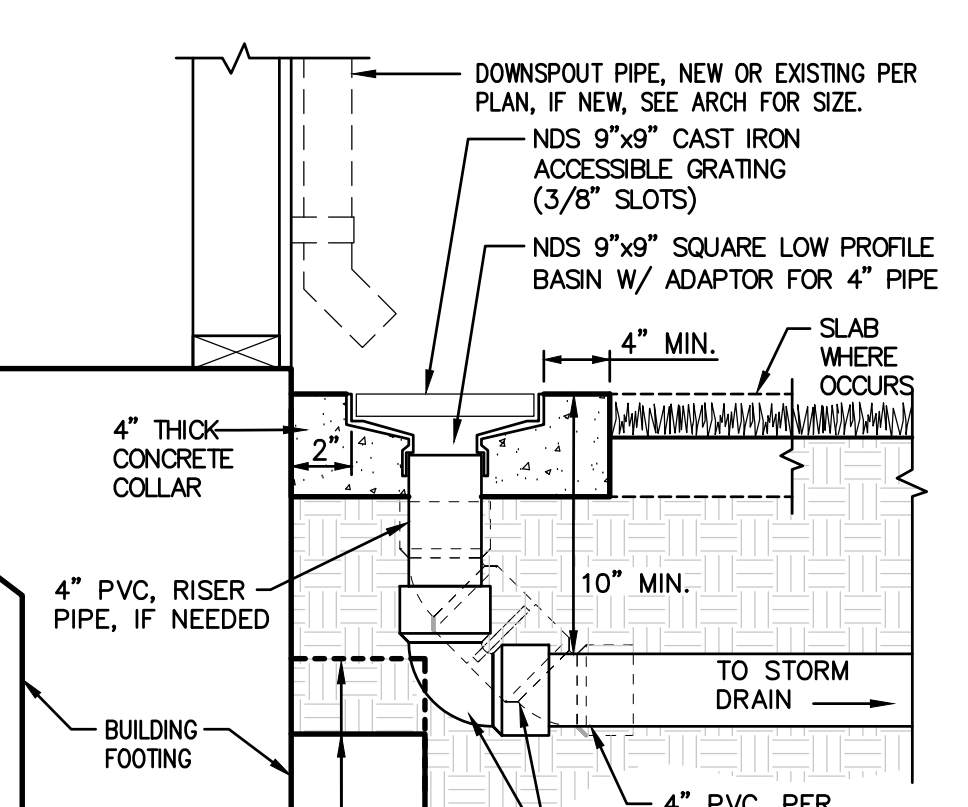
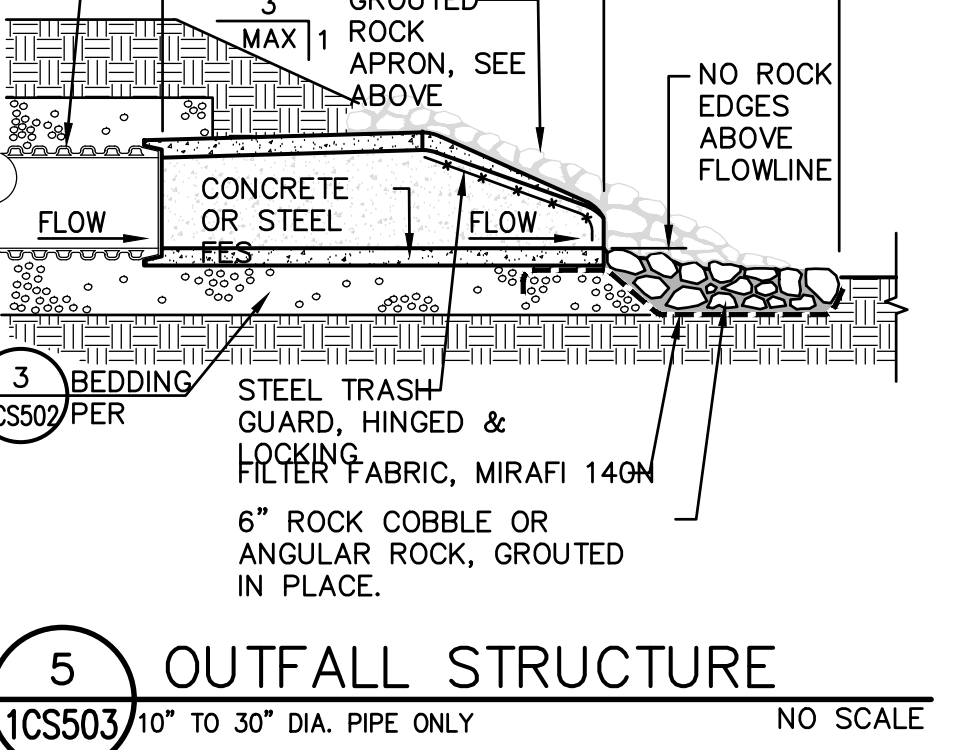
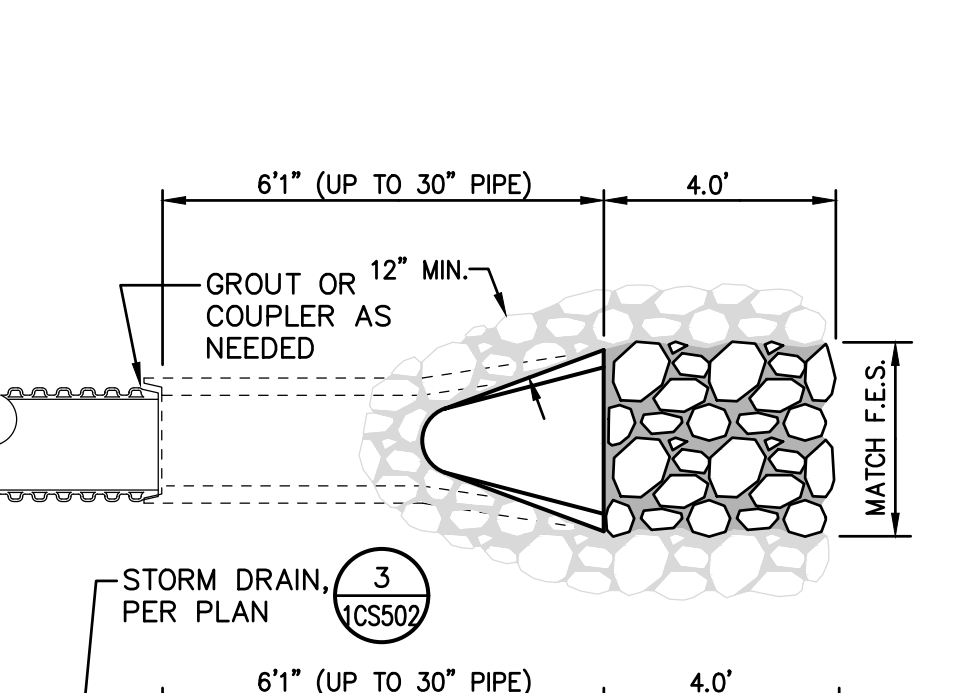
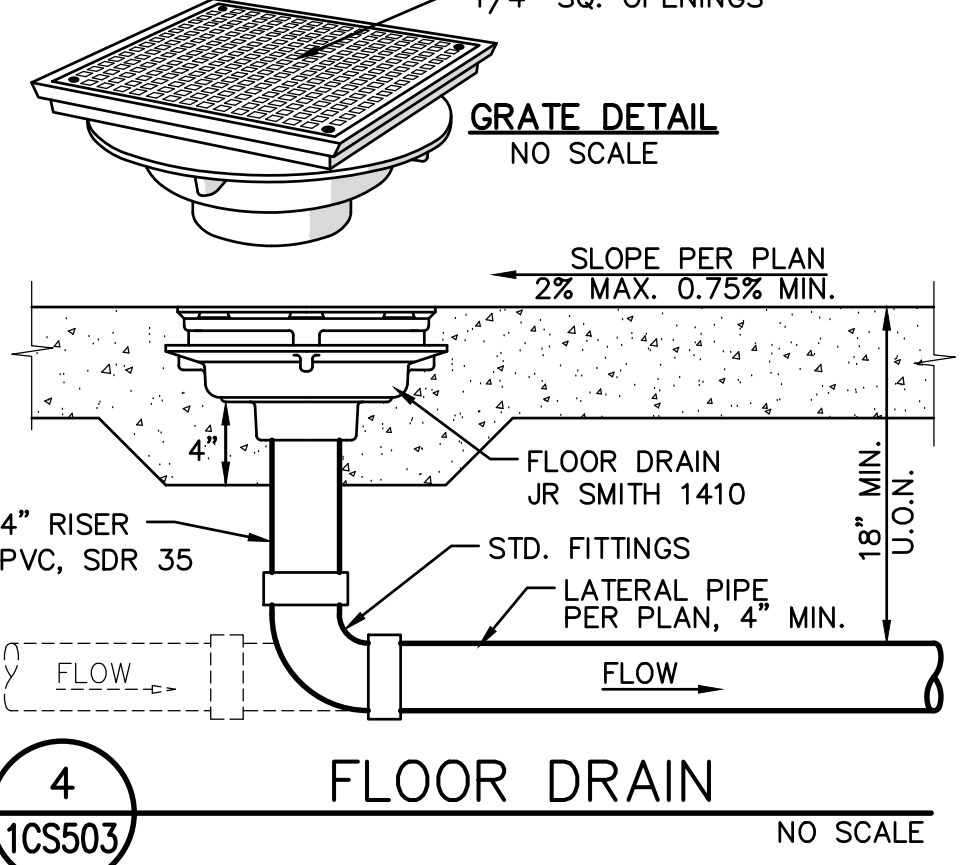
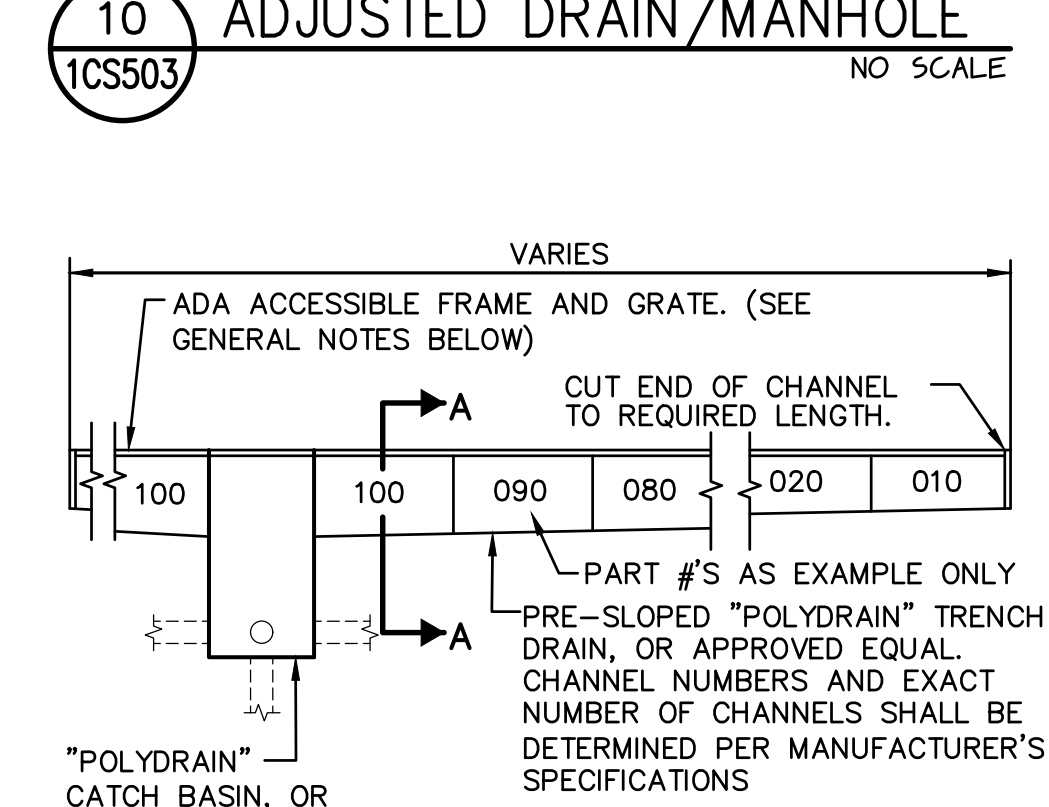
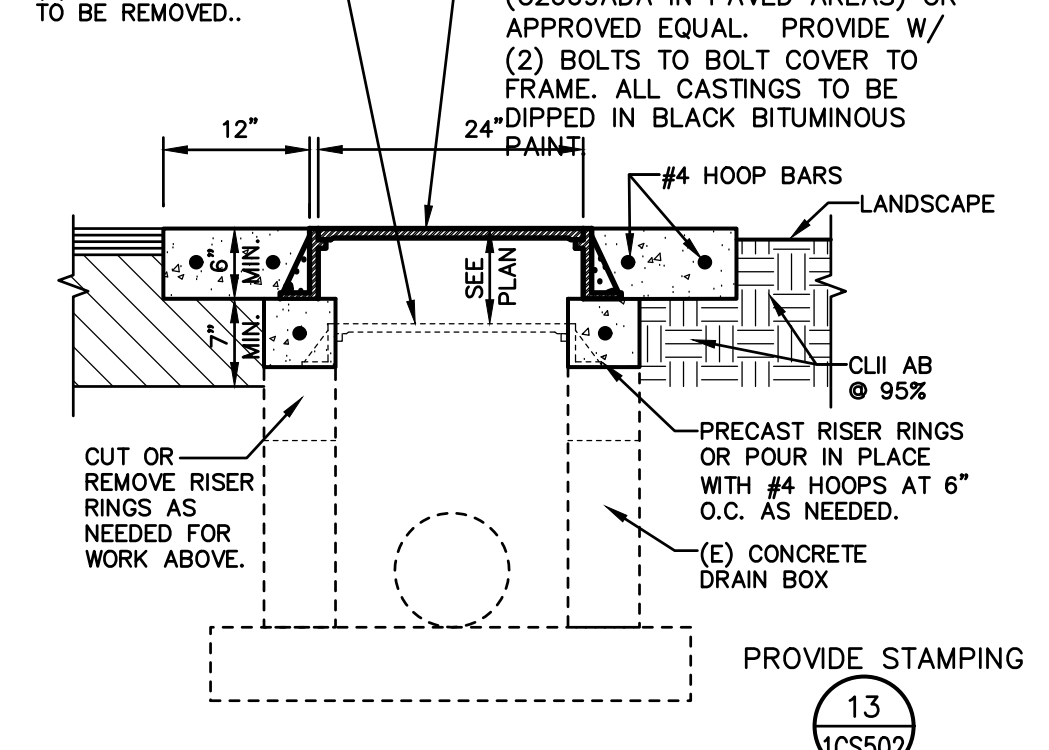
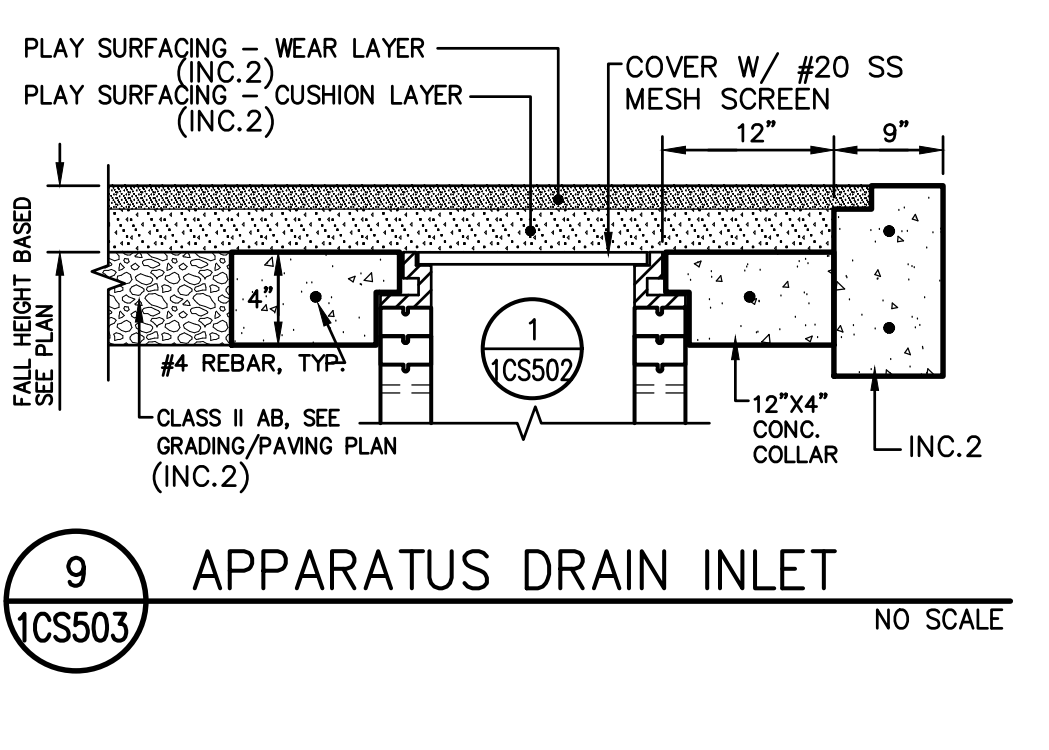
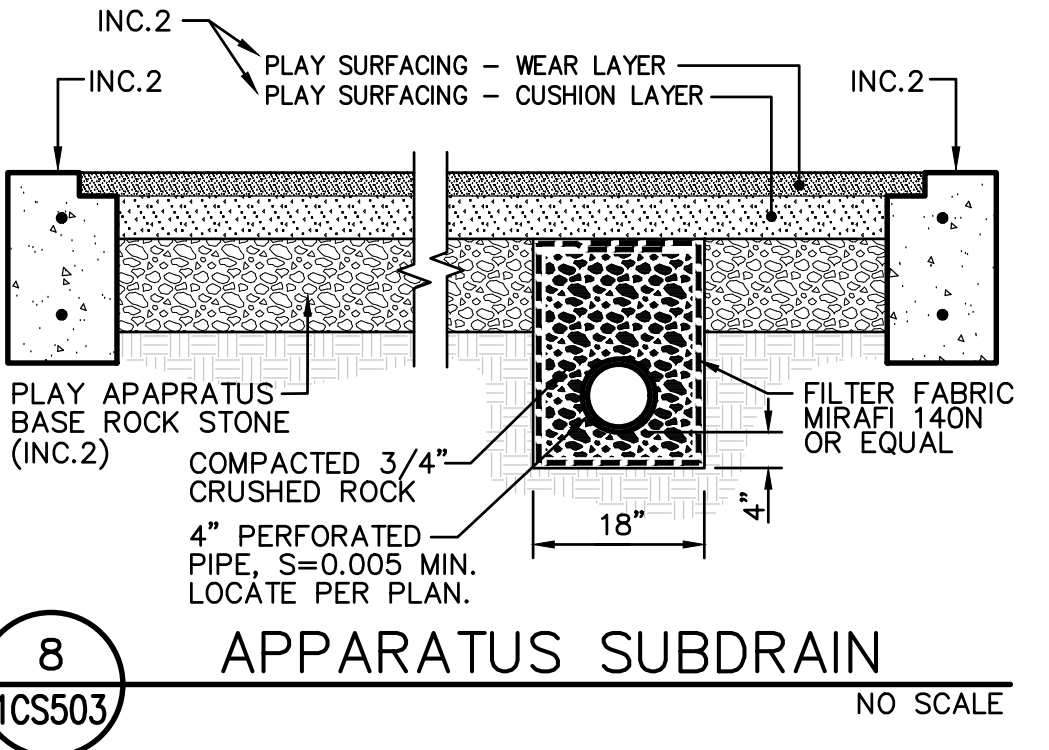
### 1-CARTRIDGE CATCHBASIN STORMFILTER DATA

STRUCTURE ID	No. 132
WATER QUALITY FLOW RATE ((cfm)(gpm))	TBD
PEAK FLOW RATE (cfs)	NOLTE
RETURN PERIOD OF PEAK FLOW (hrs)	0.2
CATCHBASIN HEIGHT (7\"/>	

PIPE DATA: INLET STUB: 3.0\"/>

CONFIGURATION: INLET: 1, OUTLET: 2

CONTECH ENGINEERED SOLUTIONS LLC  
 9033 Decker Park Blvd., Suite 100, Dublin, CA 94568  
 925.835.9999 | www.contech.com | 510.448.7870 FAX



- ### GENERAL NOTES:
- GRATE SHALL BE CAST IRON, TRAFFIC RATED (WHERE SPECIFIED), HEELPROOF, MULTI-DIRECTIONALLY ADA ACCESSIBLE GRATE WITH MANUFACTURER OR PRE-INSTALLATION APPLIED RUST INHIBITIVE BLACK COATING. NON-TRAFFIC MAINTENANCE AREAS MAY BE GALVANIZED STEEL. SEE BELOW.  
 POLYDRAIN - MODEL 2506 ALL PEDESTRIAN AREAS  
 POLYDRAIN - MODEL 2506F ALL TRAFFIC AREAS  
 POLYDRAIN - MODEL 2420 NON-TRAFFIC MAINT. AREAS
  - CONTRACTOR SHALL PURCHASE AND INSTALL A MODEL 810A LOCKING DEVICE, OR APPROVED EQUAL, FOR ALL TRENCH DRAIN GRATES.
  - CONTRACTOR SHALL PURCHASE AND FURNISH THE MAINTENANCE/OPERATIONS DEPARTMENT OF THE SCHOOL WITH 1 MODEL 2231 TRENCH DRAIN SHOVEL HEAD, WITH STANDARD WOOD, OR COMPOSITE HANDLES.
  - ALL MITERED JOINTS SHALL BE SEALED WITH POLYDRAIN "POLYSEAL" CAULKING OR APPROVED EQUAL.

LIONAKIS  
 2025 Nineteenth Street  
 Sacramento, CA 95818  
 P. 916.558.1900  
 www.lionakis.com

WARREN CONSULTING ENGINEERS, INC.  
 1117 WINDFIELD WAY, SUITE 110  
 EL DORADO HILLS, CA 95762 | (916) 985-1870

ANTHONY J. TASSANO  
 REGISTERED PROFESSIONAL ENGINEER  
 STATE OF CALIFORNIA  
 96002023

PROJECT  
**KEMBLE-CHAVEZ  
 ELEMENTARY SCHOOL -  
 PORTABLE RELOCATION  
 INCREMENT 1**  
 7495 29TH ST  
 SACRAMENTO, CA 95822

CLIENT  
 SACRAMENTO CITY UNIFIED SCHOOL  
 DISTRICT  
 5735 47TH AVE, SACRAMENTO CA 95824

MARK	DATE	DESCRIPTION
△	6-30-2023	CCD NO. 2

MANAGEMENT  
 LIONAKIS PROJECT NO: 022093  
 CLIENT PROJECT NO:  
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AGENCY

TITLE  
**SITE DETAILS**

SHEET  
**1CS503**  
 NEW SHEET

IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT - SCALE ACCORDINGLY  
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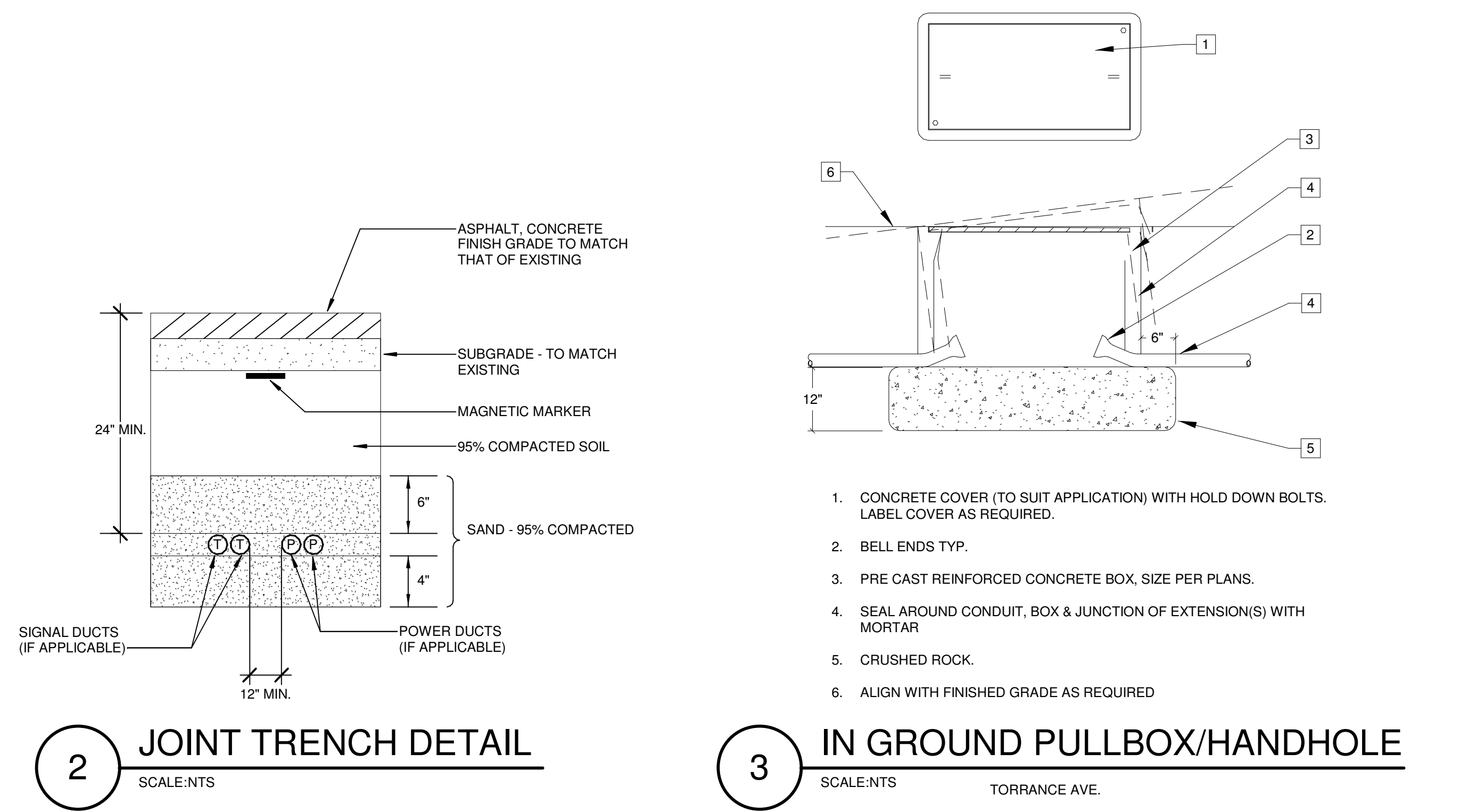
MANAGEMENT	
LIONAKIS PROJECT NO:	022063
CLIENT PROJECT NO:	N/A
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**GENERAL SHEET NOTES**

- CALL U.S.A. PRIOR TO UNDERGROUND WORK, 1-800-227-2600.
- PULLBOX AND HANDHOLE LOCATIONS ARE DIAGRAMMATIC AND NOT DIMENSIONED. LOCATE NEW HANDHOLES IN CLOSEST LANDSCAPED AREA WHEREVER POSSIBLE. COORDINATE WITH LANDSCAPE ARCHITECT. PROVIDE WITH STEEL TRAFFIC RATED LID IN ANY AREA SUBJECT TO VEHICULAR TRAFFIC.
- PROVIDE 6 INCH WIDE UNDERGROUND WARNING TAPE ABOVE ALL NEW UNDERGROUND CONDUITS/CABLES. INSTALL AT 12-INCHES ABOVE THE CONDUITS/CABLES. PROVIDE 'RED' TAPE FOR POWER APPLICATIONS. PROVIDE 'ORANGE' TAPE FOR LOW VOLTAGE APPLICATIONS. PROVIDE BOTH 'RED' AND 'ORANGE' TAPES FOR JOINT TRENCH APPLICATIONS.
- HANDHOLES/PULLBOXES FOR SITE LIGHTING SHALL BE MIN. N16. LID SHALL BE ENGRAVED "LIGHTING". MINIMUM CONDUIT SIZE 1", MINIMUM WIRE SIZE #10 FOR SITE LIGHTING.
- PROVIDE A PULL STRING IN ALL EMPTY CONDUITS.

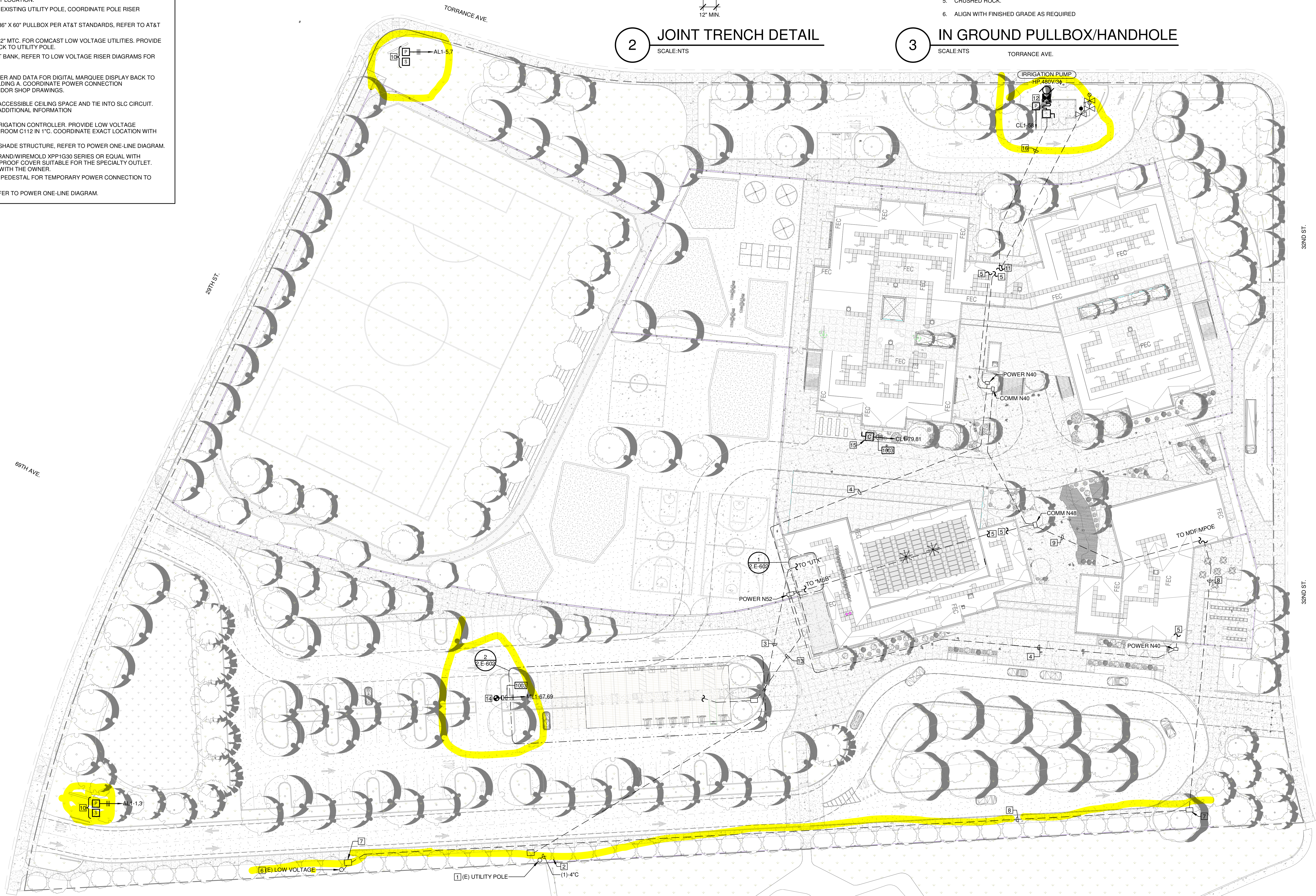
**NUMBERED SHEET NOTES**

- COORDINATE NEW PRIMARY RISER AT EXISTING UTILITY POLE FOR NEW SMUD SERVICE.
- PROVIDE NEW SMUD PRIMARY PULLBOX, 4'-0" X 6'-0", PER SMUD COMMITMENT DRAWINGS.
- EXTEND CONDUIT FOR POWER UTILITY PRIMARY, 2-4"C. PER SMUD COMMITMENT DRAWINGS.
- POWER FEEDER IN JOINT TRENCH, REFER TO POWER ONE-LINE DIAGRAM FOR FEEDER REQUIREMENTS.
- EXTEND CONDUITS TO BUILDING ELECTRICAL OR TELECOMMUNICATIONS ROOM. REFER TO ENLARGED ROOM PLANS FOR EXACT LOCATION.
- EXTEND AT&T AND COMCAST FROM EXISTING UTILITY POLE. COORDINATE POLE RISER REQUIREMENTS.
- PROVIDE NEW TEICHERT PRECAST 36" X 60" PULLBOX PER AT&T STANDARDS, REFER TO AT&T ENGINEERING SPECIFICATIONS.
- PROVIDE 2-4" MTC FOR AT&T AND 1-2" MTC FOR COMCAST LOW VOLTAGE UTILITIES. PROVIDE MULE TAPE IN EMPTY CONDUITS BACK TO UTILITY POLE.
- 5-2"C. LOW VOLTAGE CONDUIT DUCT BANK, REFER TO LOW VOLTAGE RISER DIAGRAMS FOR ADDITIONAL REQUIREMENTS.
- PROVIDE 3/4"C AND 1/2"5"C FOR POWER AND DATA FOR DIGITAL MARQUEE DISPLAY BACK TO MDF AND ELECTRICAL ROOM IN BUILDING A. COORDINATE POWER CONNECTION REQUIREMENTS WITH SIGNAGE VENDOR SHOP DRAWINGS.
- PROVIDE 3/4"C FOR PIV. STUB INTO ACCESSIBLE CEILING SPACE AND TIE INTO SLC CIRCUIT. REFER TO SHEET C.E-511A FOR ADDITIONAL INFORMATION.
- PROVIDE 120V CONNECTION FOR IRRIGATION CONTROLLER. PROVIDE LOW VOLTAGE CONNECTION FROM BUILDING C IDF ROOM C112 IN 1"C. COORDINATE EXACT LOCATION WITH LANDSCAPE DRAWINGS.
- FEEDER TO FUTURE PV PANELS AT SHADE STRUCTURE, REFER TO POWER ONE-LINE DIAGRAM.
- PROVIDE A POWER PEDESTAL, LEGRAND/WIREMOLD XPP1G30 SERIES OR EQUAL WITH SEPARATE WHILE-IN-USE WEATHERPROOF COVER SUITABLE FOR THE SPECIALTY OUTLET. CONFIRM OUTLET CONFIGURATION WITH THE OWNER.
- PROVIDE DISCONNECT OR SERVICE PEDESTAL FOR TEMPORARY POWER CONNECTION TO MOBILE TRAILER.
- FEEDER FOR IRRIGATION PUMP, REFER TO POWER ONE-LINE DIAGRAM.



**2 JOINT TRENCH DETAIL**  
 SCALE: NTS

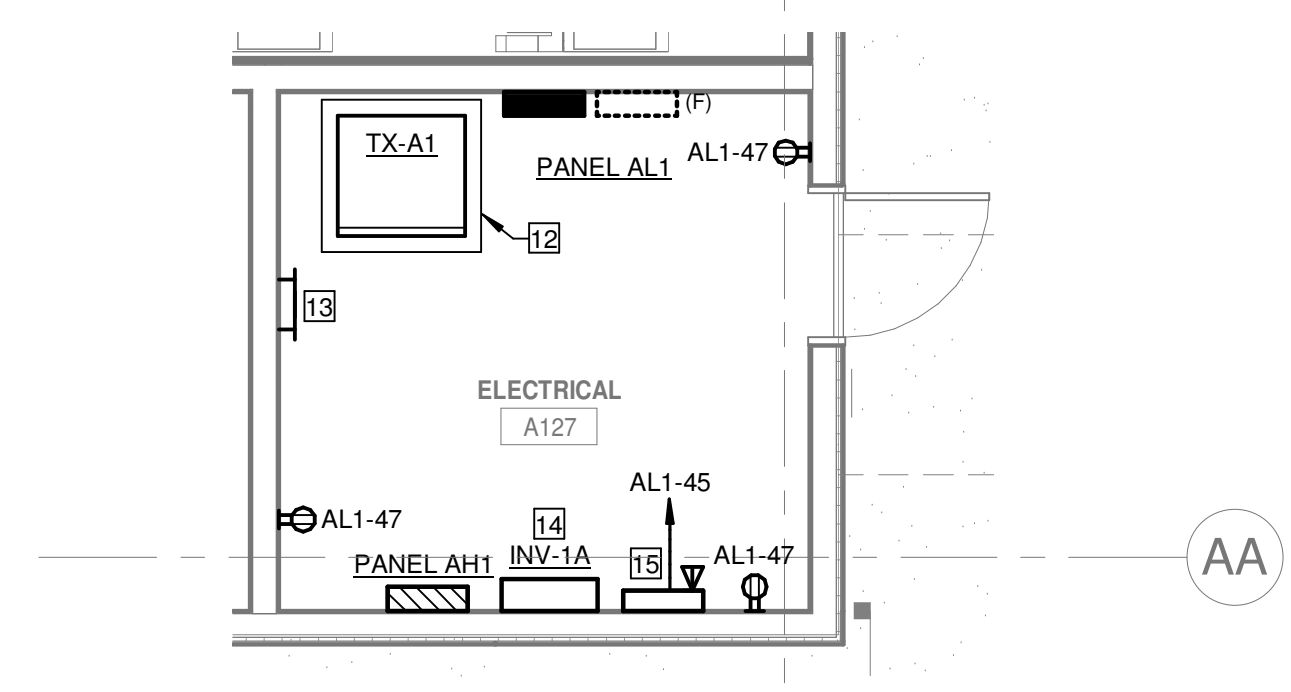
**3 IN GROUND PULLBOX/HANDHOLE**  
 SCALE: NTS



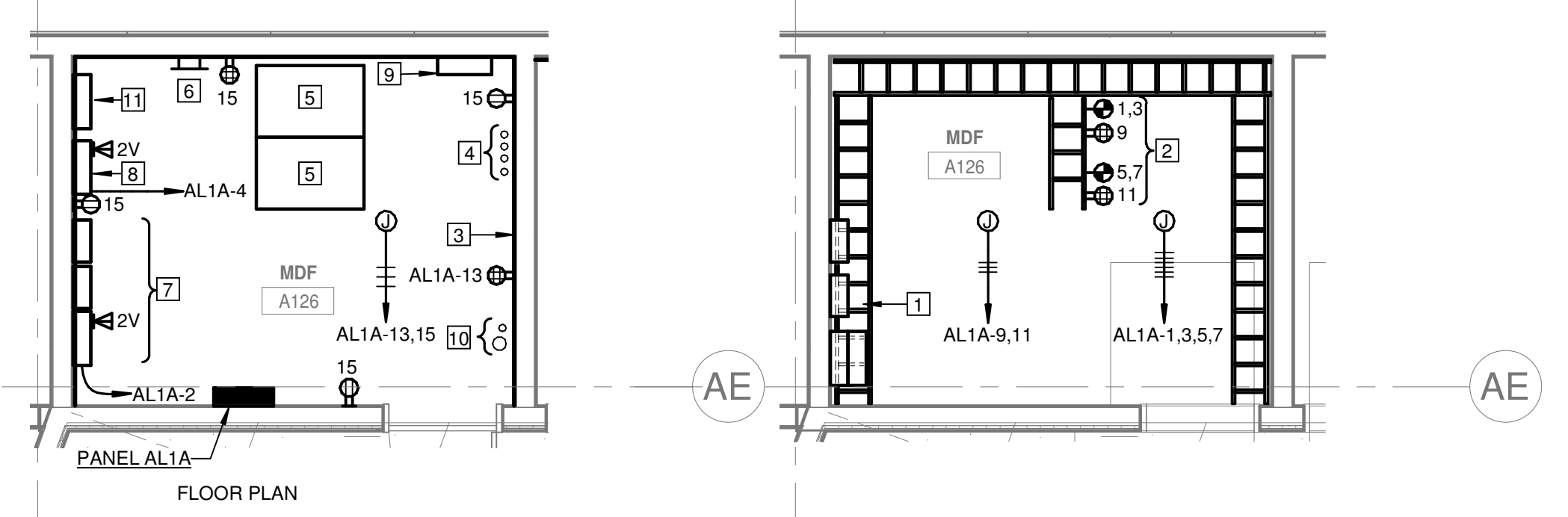
**1 ELECTRICAL SITE PLAN**  
 SCALE: 1" = 30'-0"

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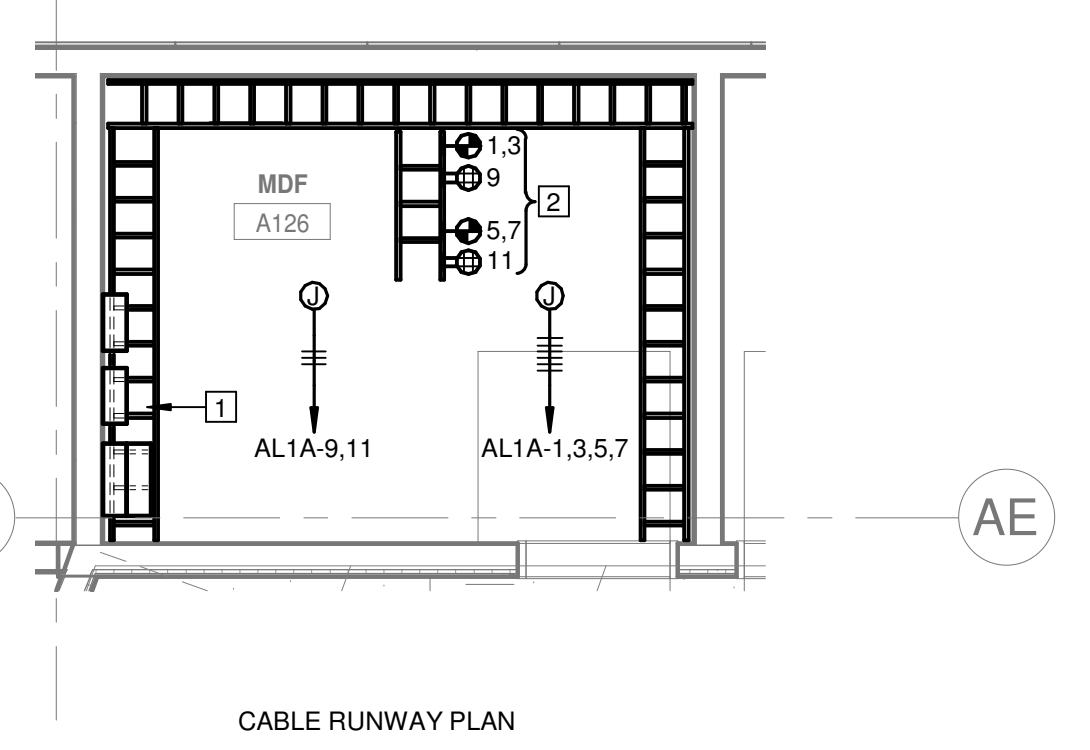
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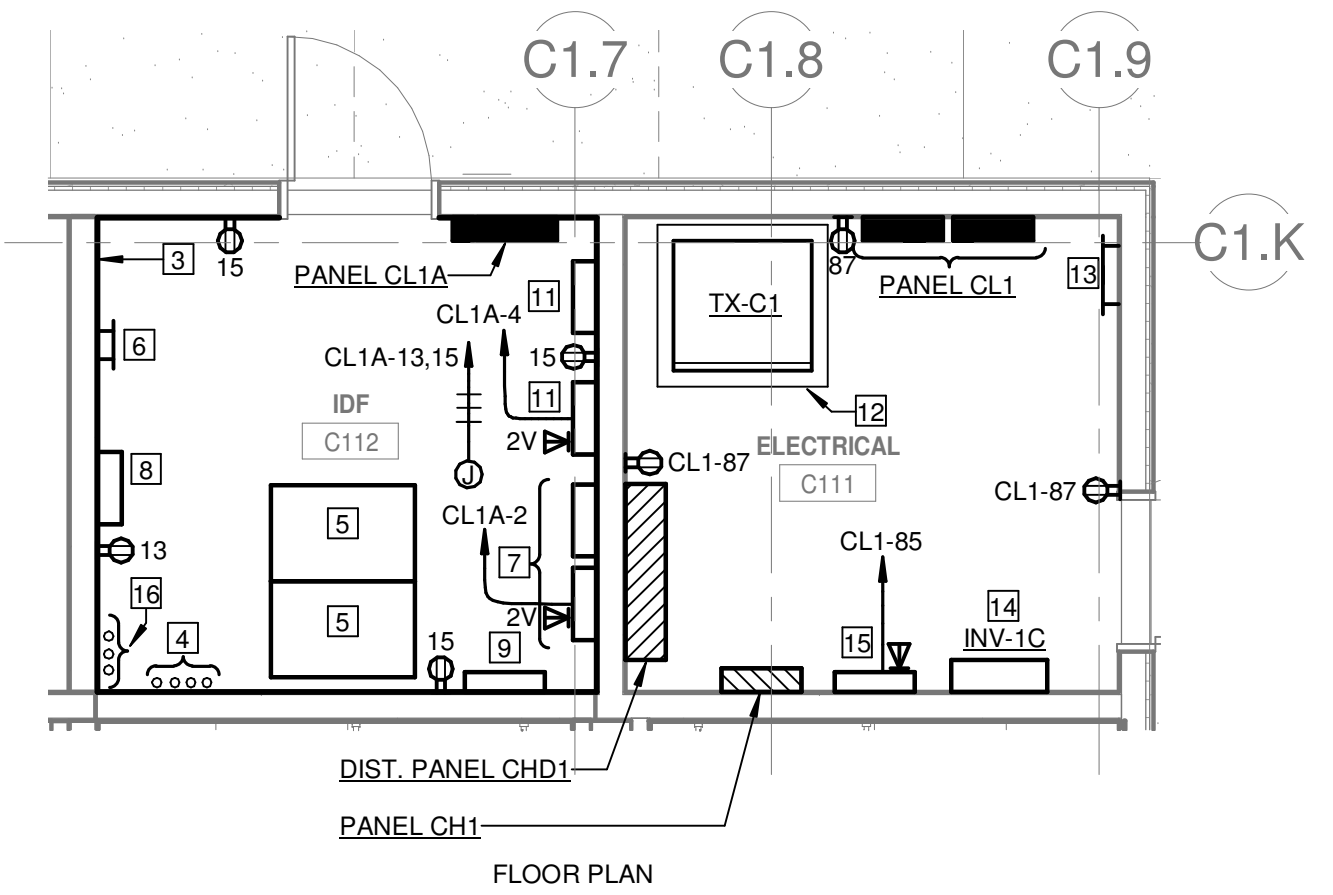
**1 BUILDING A - ELECTRICAL ROOM**  
SCALE: 1/4" = 1'-0"



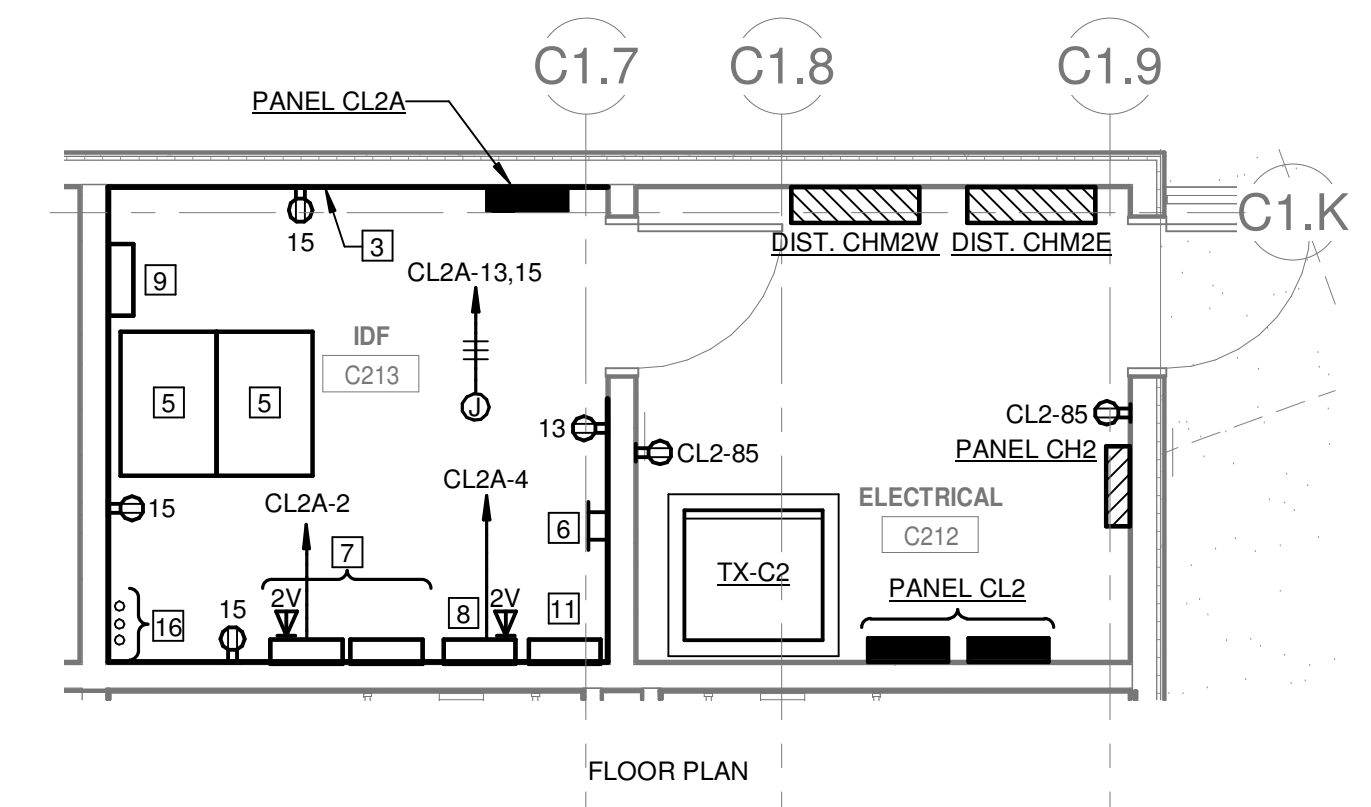
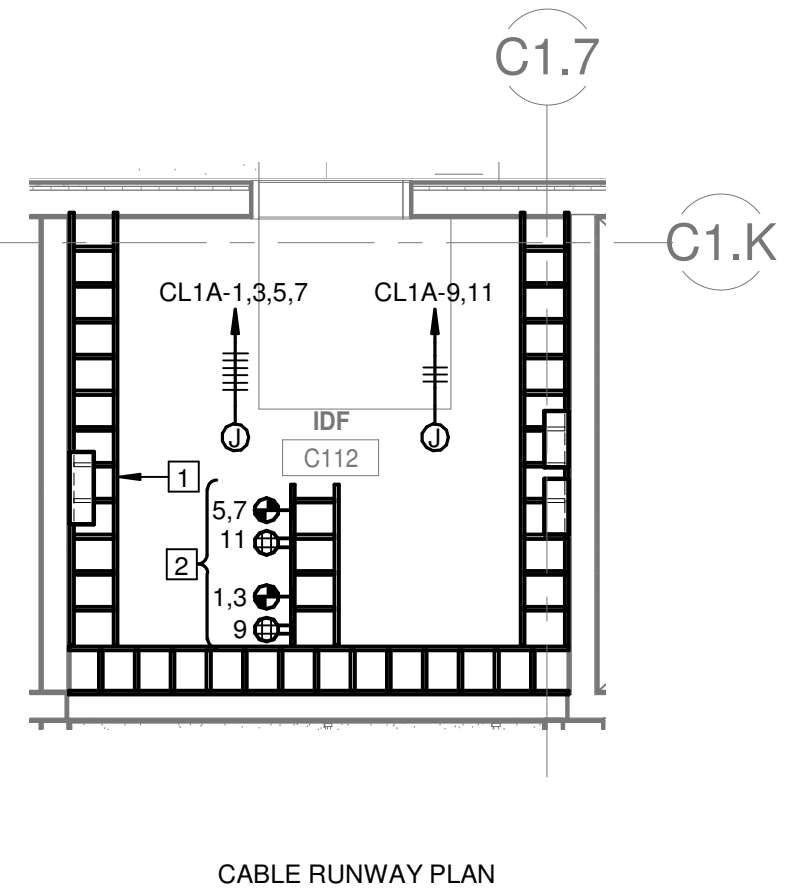
**2 BUILDING A - MDF/MPOE**  
SCALE: 1/4" = 1'-0"



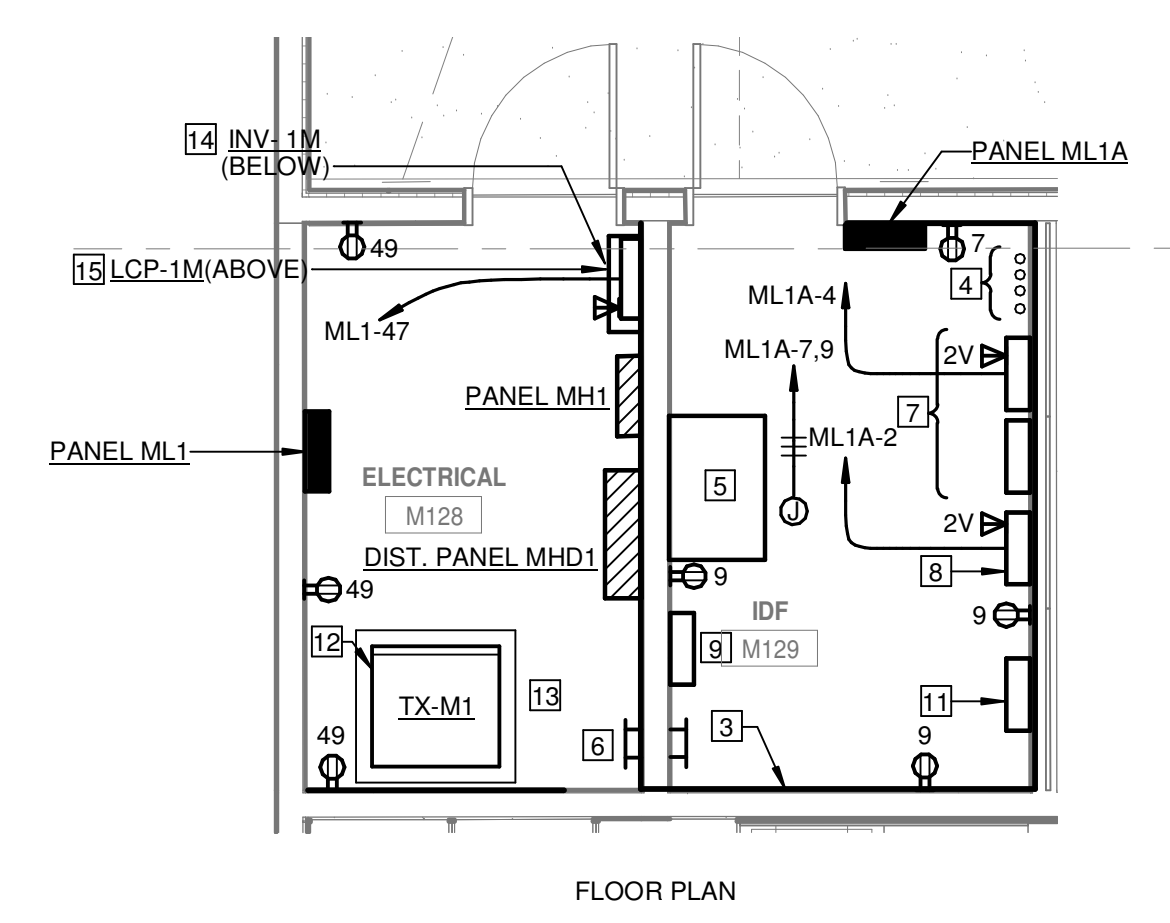
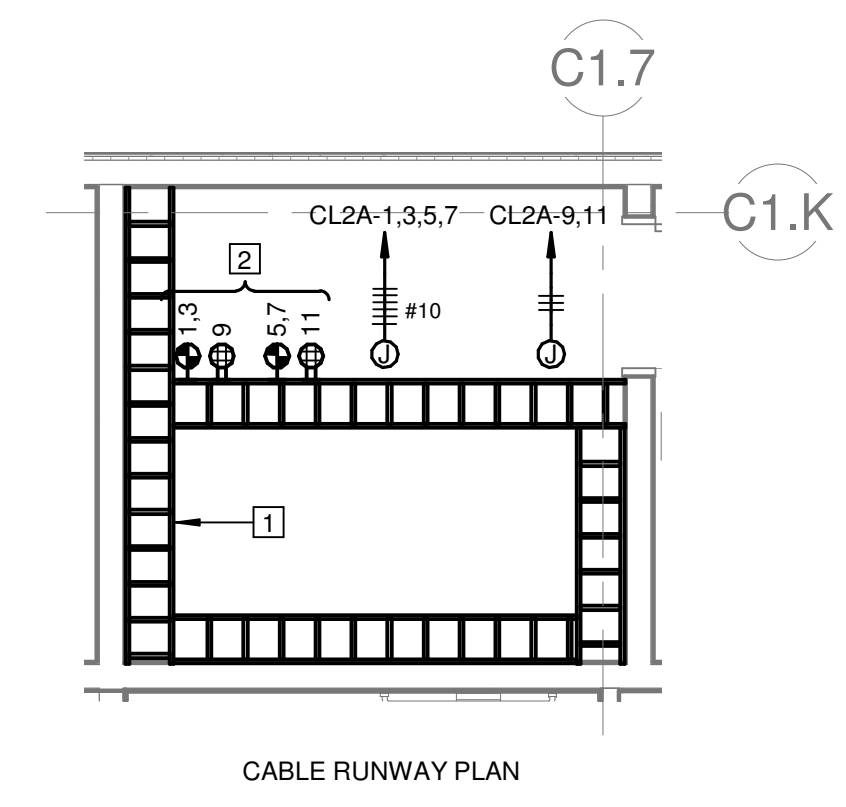
- NUMBERED SHEET NOTES**
- PROVIDE 12" WIDE CABLE RUNWAY AROUND PERIMETER OF ROOM AS SHOWN AT +90" A.F.F.
  - LOCATE RECEPTACLES AT CABLE RUNWAY AT REAR OF EQUIPMENT RACKS.
  - PROVIDE COMMUNICATIONS GRADE PLYWOOD BACKBOARD AROUND PERIMETER OF THE IDF ROOM.
  - CONDUIT STUB-UPS FOR LOW VOLTAGE DUCT BANK. REFER TO ELECTRICAL SITE PLAN. PROVIDE 12" VERTICAL LADDER RACK FOR CABLE SUPPORT UP TO RUNWAY.
  - PROVIDE FLOOR MOUNTED, 7' RACK CABINET.
  - TELECOMMUNICATIONS GROUND BUS BAR.
  - FIRE ALARM EQUIPMENT, I.E. FACP, REMOTE POWER SUPPLY, AND/OR VOICE AMPLIFIER, ETC. REFER TO FIRE ALARM PLANS AND SPECIFICATIONS. PROVIDE DEDICATED 120V CIRCUIT AS INDICATED, AND PHONE LINE CONNECTION AS REQUIRED.
  - INTRUSION ALARM EQUIPMENT, I.E. MAIN PANEL OR REMOTE POWER SUPPLY. REFER TO SIGNAL PLANS AND SPECIFICATIONS. PROVIDE DEDICATED 120V CIRCUIT AS INDICATED, AND PHONE LINE CONNECTION AS REQUIRED.
  - TELECOMMUNICATIONS PUNCH-DOWN, 110 BLOCKS, ETC.
  - UTILITY CONDUIT STUB-UPS AT 4'-0" SECTION OF BACKBOARD DEDICATED FOR MPOE, 2-4"C. (TELECOMMUNICATIONS UTILITY), AND 1-2"C. (CABLE TV). COORDINATE ADDITIONAL MPOE REQUIREMENTS WITH THE UTILITIES.
  - ACCESS CONTROL PANEL.
  - PROVIDE HOUSEKEEPING PAD PER ELECTRICAL DETAILS.
  - BUILDING MAIN REFERENCE GROUND BUS.
  - PROVIDE MINI-INVERTER, BODINE ELI-S-400 SERIES OR EQUAL, WALL MOUNTED.
  - LIGHTING CONTROL EQUIPMENT, COMPATIBLE WITH THE SPECIFIED LIGHTING CONTROL SYSTEM. PROVIDE DEDICATED 120V CIRCUIT, ETHERNET CONNECTION AS REQUIRED PER SHOP DRAWINGS.
  - 4-2"C. SLEEVES BETWEEN 1ST AND 2ND FLOOR IDF ROOMS.
  - ELEVATOR MOTOR DISCONNECTING MEANS FUSED PER ELEVATOR SHOP DRAWINGS. PROVIDE WITH AUXILIARY CONTACTS AND CONTROL WIRING TO ELEVATOR CONTROLLER TO TURN OFF EMERGENCY POWER SUPPLY WHEN DISCONNECT IS IN THE OPEN POSITION, PER CEC 690.91(C).
  - ELEVATOR FEEDER, REFER TO POWER ONE-LINE DIAGRAM.
  - ELEVATOR CAB LIGHT AND VENTILATION DISCONNECTING MEANS CAPABLE OF BEING LOCKED IN THE OPEN POSITION.
  - LOCATE DEVICES NEAR ACCESS DOOR PER ELEVATOR SHOP DRAWINGS. RECEPTACLE AND SWITCH IN PIT SHALL BE LOCATED IN A NEMA 4X ENCLOSURE IF PIT IS SPRINKLED.
  - ELEVATOR PIT OR SHAFT LIGHT, LITHONIA VW150M12 OR EQUAL. PROVIDE WITH LED BULB RATED FOR ENCLOSED FIXTURE, MINIMUM 1600 LUMEN OUTPUT. ASSEMBLY SHALL BE NEMA 4X RATED.
  - ELEVATOR MACHINE, COORDINATE WITH APPROVED ELEVATOR SHOP DRAWINGS.
  - PROVIDE TELECOM CABLEING FOR TWO ANALOG PHONE LINES. ROUTE CABLES BETWEEN MISCELLANEOUS 110 BLOCK AT IDF AND ELEVATOR CONTROL PANEL IN DEDICATED 1" CONDUIT. COORDINATE WITH DISTRICT IT AND THE ELEVATOR CONTRACTOR.



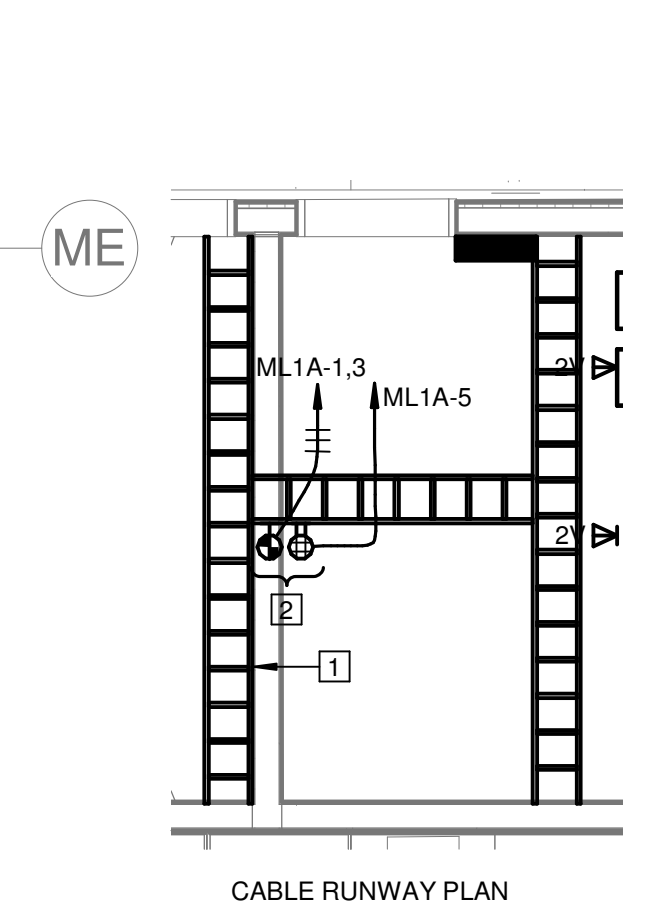
**3 BUILDING C - LEVEL 1 - IDF/ELECTRICAL ROOM**  
SCALE: 1/4" = 1'-0"



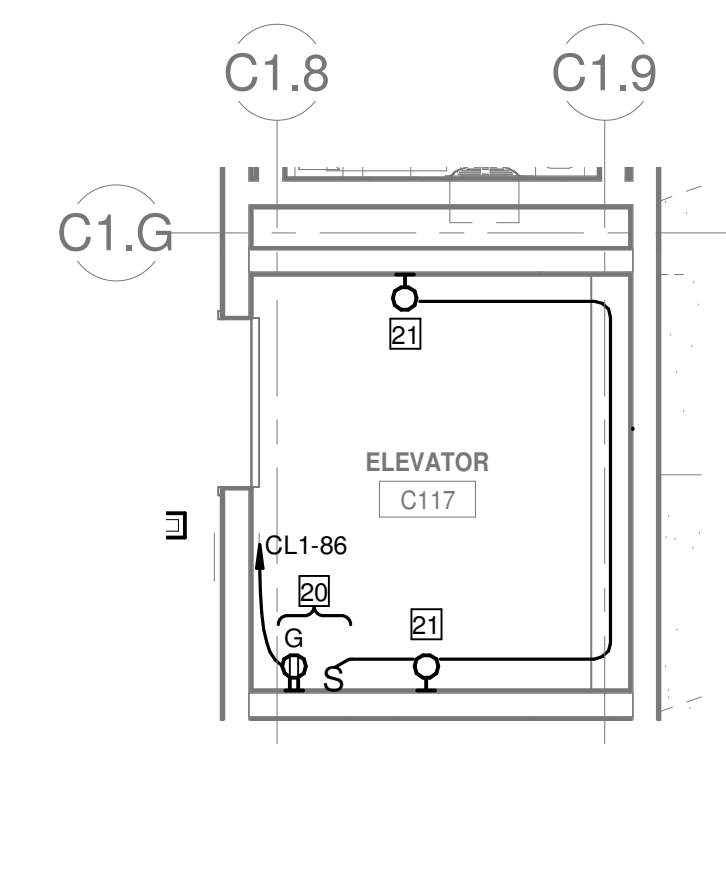
**4 BUILDING C - LEVEL 2 - IDF/ELECTRICAL ROOM**  
SCALE: 1/4" = 1'-0"



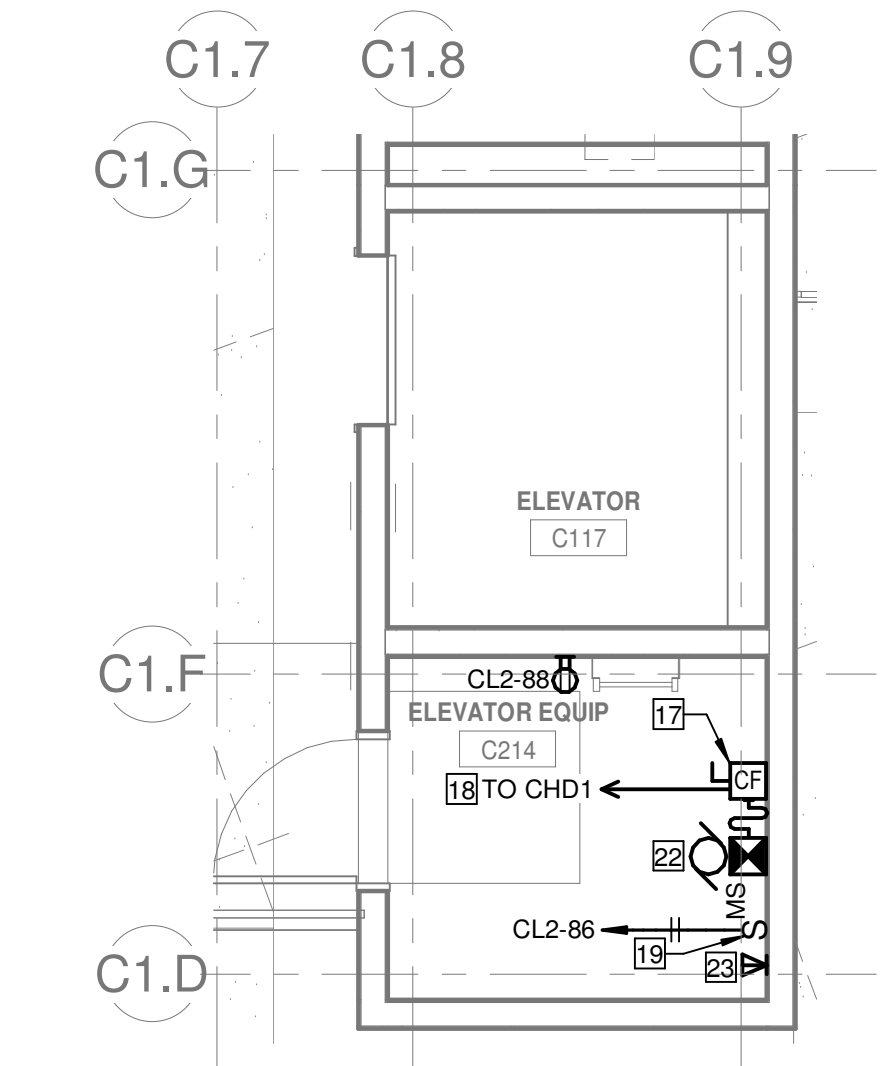
**5 BUILDING M - IDF/ELECTRICAL ROOM**  
SCALE: 1/4" = 1'-0"



**6 BUILDING C - LEVEL 1 - ELEVATOR**  
SCALE: 1/4" = 1'-0"



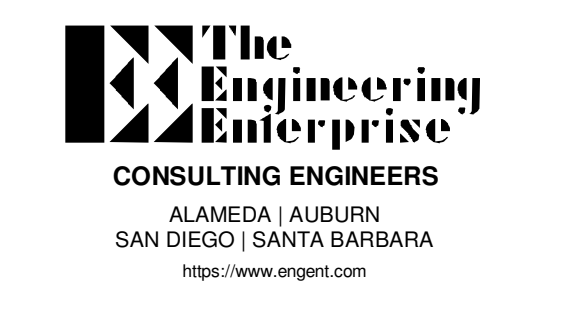
**7 BUILDING C - LEVEL 2 - ELEVATOR ROOM**  
SCALE: 1/4" = 1'-0"



**LIONAKIS**

2025 Nineteenth Street  
Sacramento, CA 95818  
P 916.558.1900  
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CONSULTANT



SEAL



PROJECT  
**KEMBLE - CHAVEZ  
ELEMENTARY SCHOOL  
PORTABLE CLASSROOM  
RELOCATION INCREMENT 2**  
7495 29TH ST  
SACRAMENTO, CA 95822

CLIENT  
SACRAMENTO CITY UNIFIED SCHOOL  
DISTRICT  
5735 47TH AVE, SACRAMENTO CA 95824

MARK	DATE	DESCRIPTION
INC #1	11/28/2022	INC #1 DSA SUBMITTAL
INC #2	06/27/2023	75% CONSTRUCTION DOCUMENTS

MANAGEMENT	
LIONAKIS PROJECT NO:	022063
CLIENT PROJECT NO:	N/A
COPYRIGHT:	LIONAKIS 2021

TITLE  
**ENLARGED  
PLANS**

SHEET  
**2.E-601**

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FOR REFERENCE ONLY

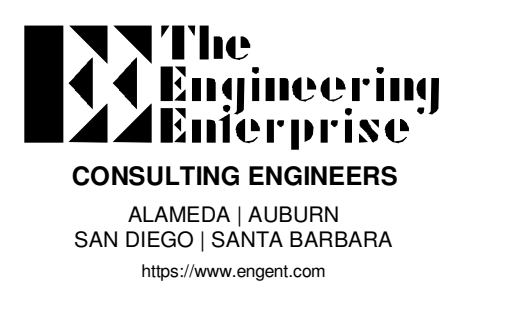
**NUMBERED SHEET NOTES**

- 1 PROPOSED LOCATION OF UTILITY TRANSFORMER, PROVIDE 120"x105" CONCRETE TRANSFORMER PAD PER SMUD ELECTRIC SERVICE REQUIREMENTS, ENGINEERING SPECIFICATION T007.
- 2 PROPOSED LOCATION OF MAIN SWITCHBOARD, REFER TO POWER ONE-LINE DIAGRAM. PROVIDE HOUSEKEEPING PAD PER ELECTRICAL DETAILS.
- 3 PROVIDE AN EV METER SOCKET/CABINET FOR SEPARATE METERING OF PANEL EV1 BY SMUD. CONFIRM ALL REQUIREMENTS WITH SMUD ENGINEERING SPECIFICATION T017.
- 4 PROVIDE A PV METER SOCKET/CABINET FOR SEPARATE METERING OF PV SYSTEM. DISCONNECT TO BE PROVIDED BY SMUD. CONFIRM ALL REQUIREMENTS WITH SMUD ENGINEERING SPECIFICATION T015.
- 5 TYPICAL ELECTRIC VEHICLE CHARGING STATION, REFER TO DETAILS 68.7.2-E-801.
- 6 PROVIDE (3) 1" CONDUIT TO PULLBOX FROM PANEL-EV1 FOR FUTURE EVSE.
- 7 FEEDER TO FUTURE PV PANELS AT SHADE STRUCTURE, SEE SITE PLAN SHEET 2.E-102 FOR CONTINUATION. REFER TO POWER ONE-LINE DIAGRAM FOR FEEDERS.

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 Sacramento, CA 95818  
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SEAL



PROJECT  
**KEMBLE - CHAVEZ  
 ELEMENTARY SCHOOL  
 PORTABLE CLASSROOM  
 RELOCATION INCREMENT 2**  
 7495 29TH ST  
 SACRAMENTO, CA 95822

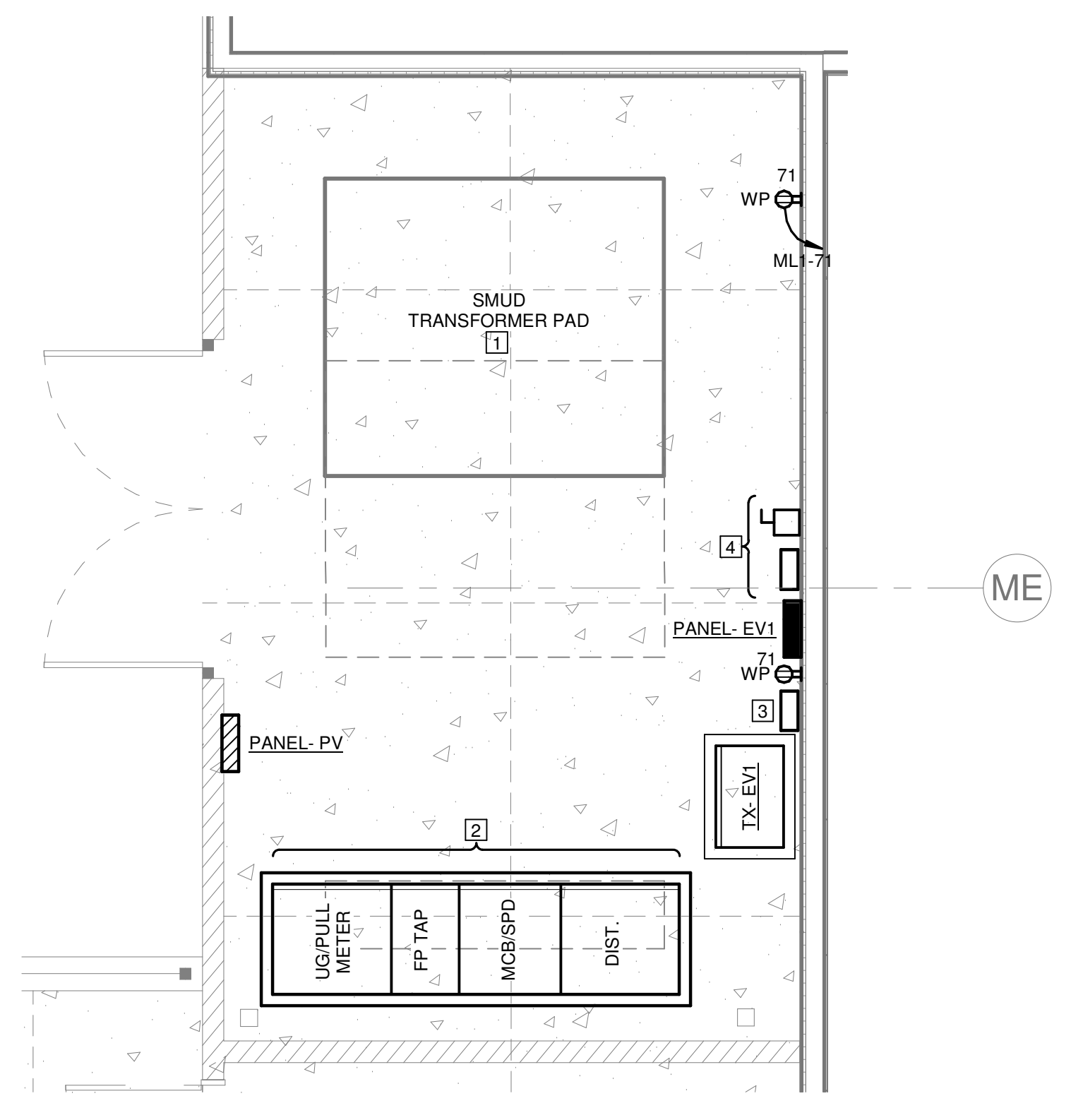
CLIENT  
 SACRAMENTO CITY UNIFIED SCHOOL  
 DISTRICT  
 5735 47TH AVE, SACRAMENTO CA 95824

ISSUED		
MARK	DATE	DESCRIPTION
INC #1	11/28/2022	INC #1 DSA SUBMITTAL
INC #2	06/27/2023	75% CONSTRUCTION DOCUMENTS

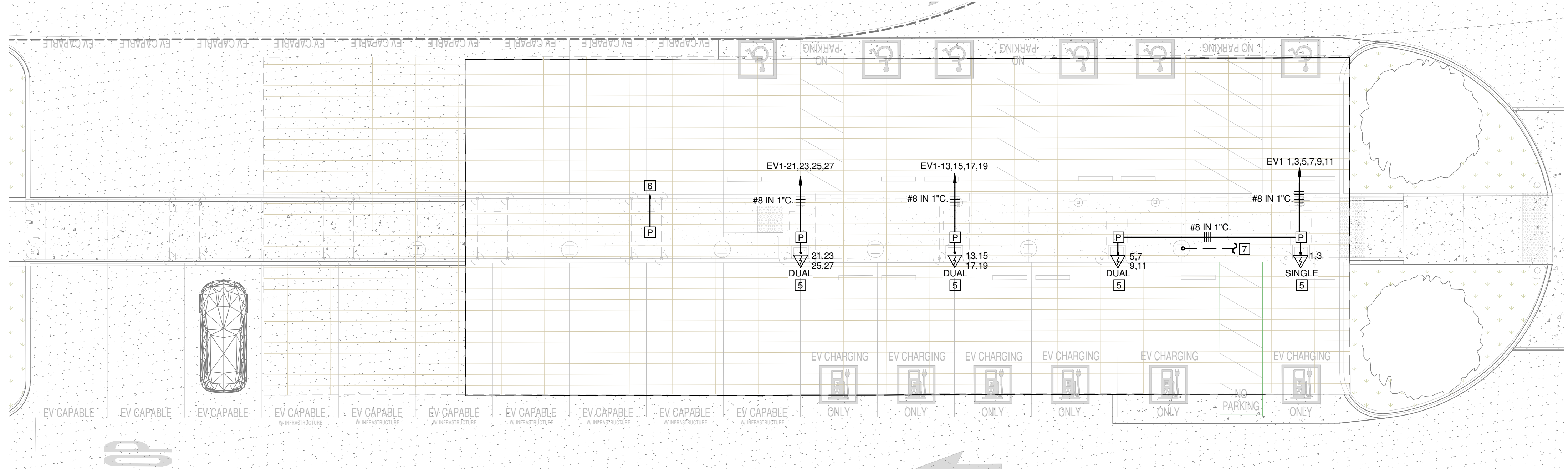
MANAGEMENT	
LIONAKIS PROJECT NO:	022063
CLIENT PROJECT NO:	N/A
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TITLE  
**ENLARGED  
 PLANS**

SHEET  
**2.E-602**



**1 ELECTRICAL YARD**  
 SCALE: 1/4" = 1'-0"



**2 ENLARGED SITE PLAN - PV CANOPY**  
 SCALE: 1/8" = 1'-0"

# FEEDER SCHEDULE

## FEEDER SCHEDULE GENERAL NOTES

1. COPPER FEEDER SIZES SHOWN IN THIS SCHEDULE ARE BASED ON CONDUCTORS WITH THHN/THWN-2 INSULATION IN EMT CONDUIT.
  2. ALUMINUM FEEDER SIZES SHOWN IN THIS SCHEDULE ARE BASED ON CONDUCTORS WITH XHHW-2 INSULATION IN EMT CONDUIT.
  3. FEEDER SIZES SHOWN IN THIS SCHEDULE ARE BASED ON AN AMBIENT TEMPERATURE OF 30 DEGREES C (86 DEGREES F).
  4. FEEDERS CONSISTING OF MULTIPLE SETS OF CONDUCTORS AND CONDUITS ARE TO BE PROVIDED WITH THE INDICATED SIZE GROUND CONDUCTOR IN EACH CONDUIT.
  5. PER CEC ARTICLE 110.14, ALL FEEDERS SIZED AT #2 AWG OR LESS ARE CALCULATED PER 60 DEGREE TABLE. FEEDERS GREATER THAN #2 AWG ARE RATED 75 DEGREE.
- ## FEEDER SCHEDULE REMARKS
- A. OVERSIZED 150% NEUTRAL, SUITABLE FOR SERVICE FROM K-13 RATED TRANSFORMERS.
  - B. FEEDER APPROVED FOR USE WITH SEPARATELY DERIVED SYSTEM. GROUNDING AS REQUIRED BY CEC ARTICLES 240 AND 250.
  - C. FEEDER GROUND AND BONDING JUMPER SHALL HAVE AN AREA NOT LESS THAN 12.5% OF THE AREA OF THE LARGEST PHASE CONDUCTOR.
  - D. INCREASE CONDUIT TO THE NEXT LARGER TRADE SIZE WHEN USING SCHEDULE 40 OR 80 PVC CONDUIT.
  - E. PER CEC SECTION 240.4(B), FOR OVERCURRENT DEVICES RATED 800A OR LESS, THE NEXT HIGHER STANDARD OVERCURRENT DEVICE RATING (ABOVE THE AMPACITY OF THE CONDUCTORS) CAN BE USED. RULE CAN NOT BE APPLIED IF 100% RATED BREAKERS ARE USED.
  - F. PER CEC 240.21(C), THE PROVISIONS OF 240.4(B) SHALL NOT BE PERMITTED FOR TRANSFORMER SECONDARY CONDUCTORS.

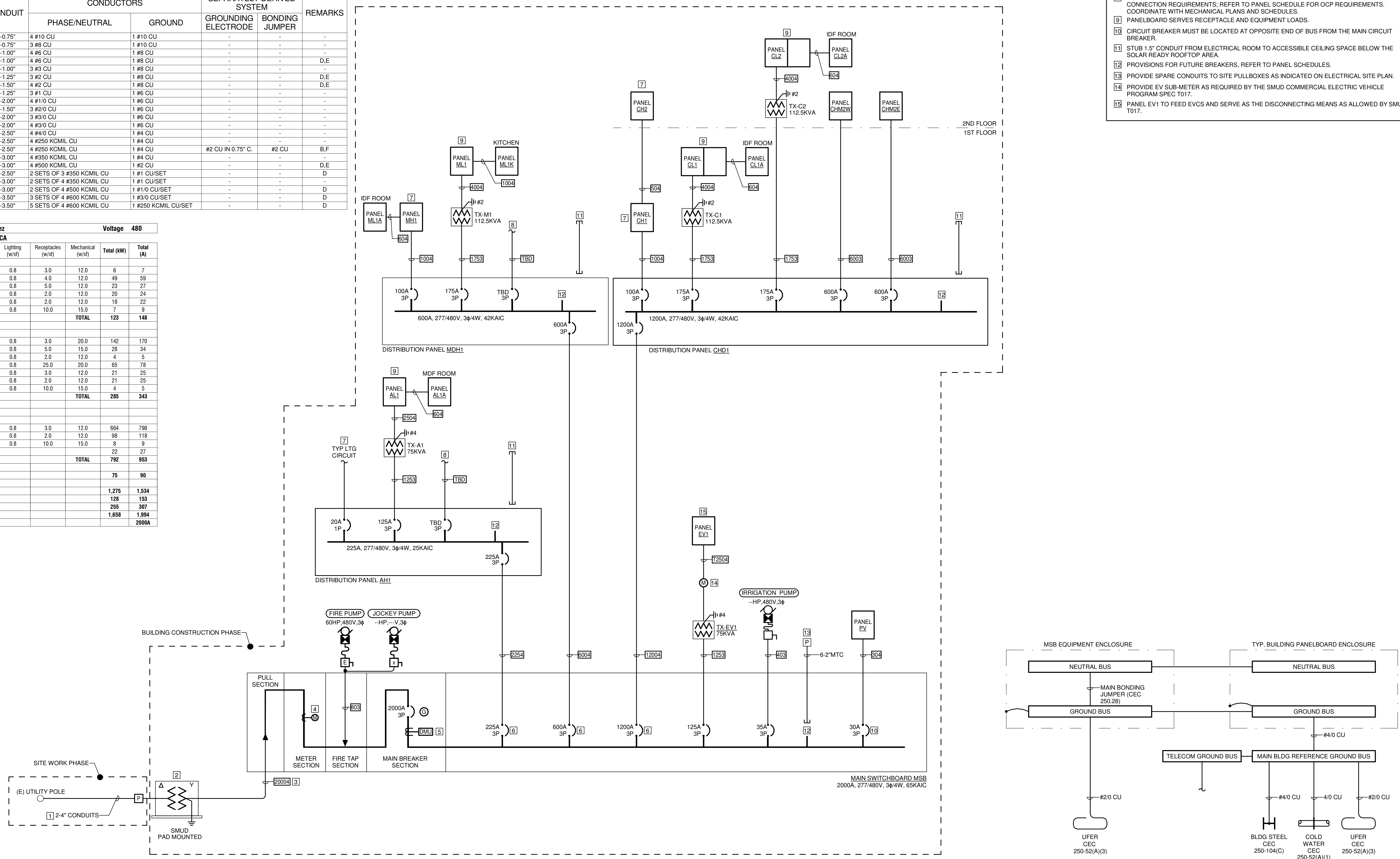
FEEDER TAG	FEEDER DESCRIPTION	CONDUIT	CONDUCTORS		SEPARATELY DERIVED SYSTEM		REMARKS
			PHASE/NEUTRAL	GROUND	GROUNDING ELECTRODE	BONDING JUMPER	
304	30 AMP, 4 WIRE	1-0.75"	4 #10 CU	1 #10 CU	-	-	-
403	40 AMP, 3 WIRE	1-0.75"	3 #8 CU	1 #10 CU	-	-	-
504	55 AMP, 4 WIRE	1-1.00"	4 #8 CU	1 #8 CU	-	-	-
604	55 AMP, 4 WIRE	1-1.00"	4 #6 CU	1 #8 CU	-	-	D,E
803	85 AMP, 3 WIRE	1-1.00"	3 #3 CU	1 #8 CU	-	-	-
1003	95 AMP, 3 WIRE	1-1.25"	3 #2 CU	1 #8 CU	-	-	D,E
1004	95 AMP, 4 WIRE	1-1.50"	4 #2 CU	1 #8 CU	-	-	D,E
1253	130 AMP, 3 WIRE	1-1.25"	3 #1 CU	1 #8 CU	-	-	-
1504	150 AMP, 4 WIRE	1-2.00"	4 #1/0 CU	1 #6 CU	-	-	-
1753	175 AMP, 3 WIRE	1-1.50"	3 #2/0 CU	1 #6 CU	-	-	-
2003	200 AMP, 3 WIRE	1-2.00"	3 #3/0 CU	1 #6 CU	-	-	-
2004	200 AMP, 4 WIRE	1-2.00"	4 #3/0 CU	1 #6 CU	-	-	-
2254	230 AMP, 4 WIRE	1-2.50"	4 #4/0 CU	1 #4 CU	-	-	-
2504	255 AMP, 4 WIRE	1-2.50"	4 #250 KCMIL CU	1 #4 CU	-	-	-
T2504	255 AMP, 4 WIRE	1-2.50"	4 #250 KCMIL CU	1 #4 CU	#2 CU IN 0.75" C.	#2 CU	B,F
3004	310 AMP, 4 WIRE	1-3.00"	4 #350 KCMIL CU	1 #4 CU	-	-	-
4004	380 AMP, 4 WIRE	1-3.00"	4 #500 KCMIL CU	1 #2 CU	-	-	-
6003	620 AMP, 3 WIRE	2-2.50"	2 SETS OF 3 #350 KCMIL CU	1 #1 CU/SET	-	-	D,E
6004	620 AMP, 4 WIRE	2-3.00"	2 SETS OF 4 #350 KCMIL CU	1 #1 CU/SET	-	-	-
8004	760 AMP, 4 WIRE	2-3.00"	2 SETS OF 4 #500 KCMIL CU	1 #1/0 CU/SET	-	-	D
12004	1260 AMP, 4 WIRE	3-3.50"	3 SETS OF 4 #600 KCMIL CU	1 #3/0 CU/SET	-	-	D
20004	2100 AMP, 4 WIRE	5-3.50"	5 SETS OF 4 #600 KCMIL CU	1 #250 KCMIL CU/SET	-	-	D

PROJECT:	Kemble Chavez	Voltage	480			
LOCATION:	Sacramento, CA					
Area	Square Footage	Lighting (watt)	Receptacles (watt)	Mechanical (watt)	Total (kW)	Total (A)
<b>Admin/Library</b>	<b>7,429</b>					
Reception	375	0.8	3.0	12.0	6	7
Offices/Work Area	2,922	0.8	4.0	12.0	49	59
Flex Lab	1,290	0.8	5.0	12.0	23	27
Library	1,324	0.8	2.0	12.0	20	24
Support	1,245	0.8	2.0	12.0	18	22
IT/Elect	283	0.8	10.0	15.0	7	9
				<b>TOTAL</b>	<b>123</b>	<b>148</b>
<b>Multi-Purpose</b>	<b>11,913</b>					
Gym/MP	5,952	0.8	3.0	20.0	142	170
Stage	1,350	0.8	5.0	15.0	28	34
Lobby	296	0.8	2.0	12.0	4	5
Kitchen/Servery	1,410	0.8	25.0	20.0	65	78
Family/Group	1,335	0.8	3.0	12.0	21	25
Support	1,398	0.8	2.0	12.0	21	25
IT/Elect	172	0.8	10.0	15.0	4	5
				<b>TOTAL</b>	<b>285</b>	<b>343</b>
<b>2-Story Classroom</b>	<b>48,940</b>					
Classrooms/Labs	42,000	0.8	3.0	12.0	654	788
Support	6,640	0.8	2.0	12.0	96	116
IT/Elect	300	0.8	10.0	15.0	8	9
Elevator					22	27
				<b>TOTAL</b>	<b>792</b>	<b>953</b>
Site (lighting, EVSE, misc)					75	90
<b>Campus Total</b>	<b>68,282</b>				<b>1,275</b>	<b>1,534</b>
+ 10% Spare Capacity					<b>128</b>	<b>153</b>
+ 20% Future Expansion					<b>255</b>	<b>307</b>
<b>Adjusted Total</b>					<b>1,658</b>	<b>1,994</b>
<b>Proposed Service Size</b>						<b>2000A</b>

FOR REFERENCE ONLY

# NUMBERED SHEET NOTES

1. EXTEND EMPTY CONDUITS FOR SMUD PRIMARY FROM EXISTING UTILITY POLE. COORDINATE RISER REQUIREMENTS WITH SMUD.
2. PAD MOUNTED UTILITY TRANSFORMER. REFER TO SMUD COMMITMENT DRAWINGS AND SMUD ELECTRIC SERVICE REQUIREMENTS. ENGINEERING SPECIFICATION T007 DRAWING UVD 2.2, 2.2A.
3. INSTALL SECONDARY FEEDER PER SMUD ENGINEERING SPECIFICATION T007.
4. PROVIDE UTILITY METER SOCKET PER SMUD REQUIREMENTS.
5. PROVIDE DIGITAL POWER METER, SQUARE D POWERLOGIC ION7350 POWER AND ENERGY METER OR EQUAL, WITH INTEGRATED DISPLAY WITH OPTICAL PORT.
6. PROVIDE ELECTRONIC TRIP CIRCUIT BREAKERS WITH MICROLOGIC TRIP SYSTEM, TRIP UNITS SHALL PROVIDE REAL TIME METERING BACK TO THE POWER AND ENERGY METER INTERFACE.
7. MAIN BUILDING PANELBOARD SERVES LIGHTING LOADS. TOTAL LOAD ACCOUNTS FOR LESS THAN 10% OF THE CONNECTED LOAD. MEETING REQUIREMENT FOR EXCEPTION TO 130.50(I) OF THE 2016 BUILDING ENERGY EFFICIENCY STANDARDS. REFER TO LIGHTING PLANS AND PANEL SCHEDULES FOR CIRCUITING REQUIREMENTS.
8. MAIN BUILDING PANELBOARD SERVES HVAC LOADS. REFER TO PLANS FOR FEEDER AND OTHER CONNECTION REQUIREMENTS; REFER TO PANEL SCHEDULE FOR OCP REQUIREMENTS. COORDINATE WITH MECHANICAL PLANS AND SCHEDULES.
9. PANELBOARD SERVES RECEPTACLE AND EQUIPMENT LOADS.
10. CIRCUIT BREAKER MUST BE LOCATED AT OPPOSITE END OF BUS FROM THE MAIN CIRCUIT BREAKER.
11. STUB 1" 5' CONDUIT FROM ELECTRICAL ROOM TO ACCESSIBLE CEILING SPACE BELOW THE SOLAR READY ROOFTOP AREA.
12. PROVISIONS FOR FUTURE BREAKERS. REFER TO PANEL SCHEDULES.
13. PROVIDE SPARE CONDUITS TO SITE PULLBOXES AS INDICATED ON ELECTRICAL SITE PLAN.
14. PROVIDE EV SUB-METER AS REQUIRED BY THE SMUD COMMERCIAL ELECTRIC VEHICLE PROGRAM SPEC T017.
15. PANEL EV1 TO FEED EVCS AND SERVE AS THE DISCONNECTING MEANS AS ALLOWED BY SMUD T017.



1 POWER ONE-LINE DIAGRAM  
SCALE: NTS

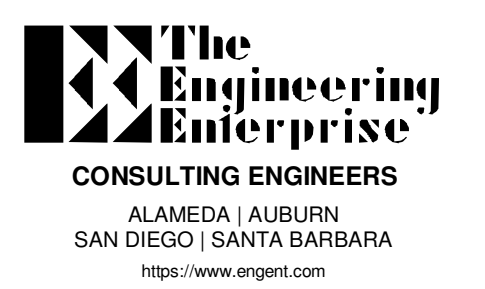
2 GROUNDING SYSTEM RISER DIAGRAM  
SCALE: NTS

APPROVED BY THE STATE ARCHITECT  
APP: 02-120663 INC.  
REVISED FOR  
SS ID: PLS-SD ACS ID  
DATE: 08/03/2023

**LIONAKIS**

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Sacramento, CA 95818  
P 916.558.1900  
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PROJECT  
**KEMBLE - CHAVEZ  
ELEMENTARY SCHOOL  
PORTABLE CLASSROOM  
RELOCATION INCREMENT 2**  
7495 29TH ST  
SACRAMENTO, CA 95822

CLIENT  
SACRAMENTO CITY UNIFIED SCHOOL  
DISTRICT  
5735 47TH AVE, SACRAMENTO CA 95824

MARK	DATE	DESCRIPTION
INC #1	11/28/2022	INC #1 DSA SUBMITTAL
INC #2	06/27/2023	75% CONSTRUCTION DOCUMENTS

MANAGEMENT  
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TITLE  
**POWER ONE-LINE  
DIAGRAMS**

SHEET  
**2.E-701**

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**Attachment 1**

**ATTACHMENT 3**

**SCHEDULE OF LEASE PAYMENTS**

**Amortization Schedule**

Loan Amount: \$ 200,000  
Interest: 0.25% Monthly  
Term in Months 12.00  
Payment Frequency Monthly

	<b><u>Payment</u></b>	<b><u>Monthly Payment</u></b>	<b><u>Principal Payment</u></b>	<b><u>Interest Payment</u></b>	<b><u>Balance</u></b>
1		\$16,939	\$16,439	\$500	\$183,561
2		\$16,939	\$16,480	\$459	\$167,081
3		\$16,939	\$16,521	\$418	\$150,560
4		\$16,939	\$16,562	\$376	\$133,998
5		\$16,939	\$16,604	\$335	\$117,394
6		\$16,939	\$16,645	\$293	\$100,749
7		\$16,939	\$16,687	\$252	\$84,062
8		\$16,939	\$16,729	\$210	\$67,334
9		\$16,939	\$16,770	\$168	\$50,563
10		\$16,939	\$16,812	\$126	\$33,751
11		\$16,939	\$16,854	\$84	\$16,896
12		\$16,939	\$16,896	\$42	\$0
<b>Totals</b>		<b>\$203,265</b>	<b>\$200,000</b>	<b>\$3,265</b>	

**Attachment 2**

**EXHIBIT F**

**CONSTRUCTION SCHEDULE**

See attached.

Activity ID	Activity Name	Orig Duration	Start	Finish	2024																			
					Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec			
<b>Kemble - Chavez Elementary School SCUSD - August 07.2023 Update</b>																								
<b>KEY MILESTONES</b>																								
BBC06	Close-in Walls/Ceilings	0	21-Jun-23	14-Sep-23																				
BBC07	Permanent Power Energized	0	08-Aug-23	14-Sep-23																				
BBC02	Start Life Safety Testing	0	09-Aug-23																					
BBC04	Start Final Finishes	0	09-Aug-23																					
M180	Interim Housing Complete	0		30-Aug-23																				
M190	Owner Move Into Portables Inc #1 Interim Housing Ready for First	10	31-Aug-23	14-Sep-23*																				
BBC01	Construction Contract Finish	0		31-Aug-23																				
<b>INCLEMENT WEATHER DAYS</b>																								
WD-1000	June 2023 - August 2023 0 days of Inclement Weather Allowance	0	31-Aug-23	31-Aug-23																				
<b>SUBMITTALS &amp; PROCUREMENT</b>																								
<b>Inc #1 Interim Housing</b>																								
<b>Division 23 - HVAC</b>																								
<b>23 05 93 - Testing, Adjusting, and Balancing for HVAC</b>																								
230593-00	Prepare & Submit - HVAC TAB	10	08-Aug-23	21-Aug-23																				
230593-10	Review & Approve - HVAC TAB	5	22-Aug-23	28-Aug-23																				
<b>Division 10 - Specialties</b>																								
<b>08 71 00 - Gate Hardware</b>																								
087100-20	Procure Materials - Gate Hardware	20	21-Jun-23	14-Aug-23																				
<b>CONSTRUCTION</b>																								
<b>Inc #1 Interim Housing</b>																								
<b>Portable Bldgs P05, P06, P09</b>																								
INTH-1040	Pullwire for Power - Port.Bldg. P05,P06,P09	2	07-Aug-23	08-Aug-23																				
INTH-1140	Set Fencing & Gates as Needed - Port.Bldg. P05,P06,P09	5	15-Aug-23	21-Aug-23																				
INTH-1135	HVAC Start Up & Adjustment - Port.Bldg. P05,P06,P09	1	29-Aug-23	29-Aug-23																				
<b>Portable Bldgs 4, 5, 6, 8</b>																								
INTH-2150	Connect Temporary Water Service - Port.Bldg. 4,5,6,8	2	07-Aug-23	10-Aug-23																				
INTH-2145	Connect Temporary Sanitary Service - Port.Bldg. 4,5,6,8	1	07-Aug-23	09-Aug-23																				
INTH-2040	Pullwire for Power - Port.Bldg. 4,5,6,8	1	07-Aug-23	08-Aug-23																				
INTH-2130	Install Access Ramps - Port.Bldg. 4,5,6,8	2	09-Aug-23	10-Aug-23																				
INTH-2135	HVAC Start Up & Adjustment - Port.Bldg. 4,5,6,8	1	10-Aug-23	10-Aug-23																				
INTH-2140	Set Fencing & Gates as Needed - Port.Bldg. 4,5,6,8	5	11-Aug-23	17-Aug-23																				
<b>Portable Bldgs 1, 12, 13, 14, 2</b>																								
INTH-3140	Set Fencing & Gates as Needed - Port.Bldg. 1,12,13,14,2	5	04-Aug-23	09-Aug-23																				
INTH-3145	Connect Temporary Sanitary Service - Port.Bldg. 1,12,13,14,2	2	07-Aug-23	09-Aug-23																				
INTH-3130	Install Access Ramps - Port.Bldg. 1,12,13,14,2	2	08-Aug-23	09-Aug-23																				
INTH-3135	HVAC Start Up & Adjustment - Port.Bldg. 1,12,13,14,2	1	09-Aug-23	09-Aug-23																				
INTH-3150	Connect Temporary Water Service - Port.Bldg. 1,12,13,14,2	2	10-Aug-23	11-Aug-23																				
<b>Portable Bldgs 9, 10, 11</b>																								
INTH-4050	Pull Wire for Fire Alarm & Intrusion Alarm - Port.Bldg. 9,10,11	1	07-Aug-23	08-Aug-23																				

Start Date: 02-Mar-23  
 Finish Date: 22-May-24  
 Data Date: 08-Aug-23  
 Print Date: 11-Sep-23

- Actual Work
- Planned Tasks
- Critical Remainin...
- ◆ Milestone



**Sacramento City Unified School District**  
**Kemble-Chavez Elementary School Inc #1 CCD 2**

Page: 1 of 4



Activity ID	Activity Name	Orig Duration	Start	Finish	2024											
					Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul
INTH-4040	Pullwire for Power - Port.Bldg. 9,10,11	2	07-Aug-23	08-Aug-23	Pullwire for Power - Port.Bldg. 9,10,11											
INTH-4130	Install Access Ramps - Port.Bldg. 9,10,11	2	08-Aug-23	09-Aug-23	Install Access Ramps - Port.Bldg. 9,10,11											
INTH-4135	HVAC Start Up & Adjustment - Port.Bldg. 9,10,11	1	09-Aug-23	09-Aug-23	HVAC Start Up & Adjustment - Port.Bldg. 9,10,11											
INTH-4145	Connect Temporary Sanitary Service - Port.Bldg. 9,10,11	2	10-Aug-23	11-Aug-23	Connect Temporary Sanitary Service - Port.Bldg. 9,10,11											
INTH-4150	Connect Temporary Water Service - Port.Bldg. 9,10,11	2	14-Aug-23	15-Aug-23	Connect Temporary Water Service - Port.Bldg. 9,10,11											
<b>Inc #1 Interim Housing Inspections</b>		14	11-Aug-23	30-Aug-23												
INSP-1000	Pull & Push Test Doors for ADA Compliance - Inc #1	1	11-Aug-23	11-Aug-23	Pull & Push Test Doors for ADA Compliance - Inc #1											
INSP-1010	Fire Alarm Testing - Inc #1	1	11-Aug-23	11-Aug-23	Fire Alarm Testing - Inc #1											
INSP-1020	ADA Path of Travel Confirmation - Inc #1	1	11-Aug-23	11-Aug-23	ADA Path of Travel Confirmation - Inc #1											
INSP-1030	Intrusion, PA, Bell System Verification - Inc #1	1	11-Aug-23	11-Aug-23	Intrusion, PA, Bell System Verification - Inc #1											
INSP-1040	District & Architect Punch List - Inc #1	1	30-Aug-23	30-Aug-23	District & Architect Punch List - Inc #1											
INSP-1050	Increment #1 Interim Housing Inspections Complete	1	30-Aug-23	30-Aug-23	Increment #1 Interim Housing Inspections Complete											
<b>Inc #1 Site Work</b>		5	08-Aug-23	14-Aug-23												
<b>Demolition</b>		5	08-Aug-23	14-Aug-23												
DEM-1050	Off Haul Unsuitable Soil Or Relocate to a District Campus - Inc #1	5	08-Aug-23	14-Aug-23	Off Haul Unsuitable Soil Or Relocate to a District Campus - Inc #1											
<b>Kemble - Chavez Elementary School SCUSD Inc #1 CCD 2</b>		200	09-Aug-23	22-May-24												
<b>KEY MILESTONES</b>		200	09-Aug-23	22-May-24												
M100	District Release Inc #1 CCD 2 Site Work - Revise Inc #1 GMP	0	09-Aug-23		District Release Inc #1 CCD 2 Site Work - Revise Inc #1 GMP											
M170	DSA Approval - Inc #1 CCD Site Work	0		14-Sep-23	◆ DSA Approval - Inc #1 CCD Site Work											
M200	GMP Approval - Inc #1 CCD Site Work	0		21-Sep-23	◆ GMP Approval - Inc #1 CCD Site Work											
M210	Start - Inc #1 Site Work	0	22-Sep-23		◆ Start - Inc #1 Site Work											
M250	Weather Delays (40 days)	40	26-Mar-24	20-May-24	Weather Delays (40 days)											
M240	Inc #1 Site Work Complete	0		20-May-24	◆ Inc #1 Site Work Complete											
BBC02	Beneficial Use/TCO	1	21-May-24	21-May-24	I Beneficial Use/TCO											
BBC01	Construction Contract Finish	1	22-May-24	22-May-24*	I Construction Contract Finish											
<b>PRE-CONSTRUCTION</b>		47	09-Aug-23	13-Oct-23												
<b>DSA - GMP - Trade Partner Contracts</b>		47	09-Aug-23	13-Oct-23												
<b>DSA Submission</b>		36	09-Aug-23	28-Sep-23												
<b>Inc #1 CCD 2 Site Work-DSA</b>		36	09-Aug-23	28-Sep-23												
INC1-DSA200	DSA Submittal for CCD Approval	1	09-Aug-23	09-Aug-23	DSA Submittal for CCD Approval											
INC1-DSA210	DSA Review / Return with Comments or Approval	20	10-Aug-23	07-Sep-23	DSA Review / Return with Comments or Approval											
INC1-DSA230	Prepare Backcheck Comments for DSA Approval	5	07-Sep-23	13-Sep-23	Prepare Backcheck Comments for DSA Approval											
INC1-DSA220	Request Date for Backcheck	1	07-Sep-23	07-Sep-23	I Request Date for Backcheck											
INC1-DSA240	DSA Backcheck & Approve	1	14-Sep-23	14-Sep-23	I DSA Backcheck & Approve											
INC1-DSA250	DSA Permit Card Setup on Box	10	15-Sep-23	28-Sep-23	DSA Permit Card Setup on Box											
<b>GMP Development &amp; Procurement</b>		37	09-Aug-23	29-Sep-23												
<b>Inc #1 CCD 2 Site Work-GMP</b>		37	09-Aug-23	29-Sep-23												
INC1-GMP400	Recieve Drawings for Pricing	1	09-Aug-23	09-Aug-23	Recieve Drawings for Pricing											
INC1-GMP430	Trade Partner Pricing	15	10-Aug-23	30-Aug-23	Trade Partner Pricing											
INC1-GMP450	District Review PAD	10	30-Aug-23	13-Sep-23	District Review PAD											
INC1-GMP440	Prepare & Submit PAD to District for Review	5	31-Aug-23	07-Sep-23	Prepare & Submit PAD to District for Review											
INC1-GMP460	District Review & Approval of PAD - Anticipated September 21, 2023	5	15-Sep-23	21-Sep-23	District Review & Approval of PAD - Anticipated September 21, 2023											

Start Date: 02-Mar-23  
 Finish Date: 22-May-24  
 Data Date: 08-Aug-23  
 Print Date: 11-Sep-23

- Actual Work
- Planned Tasks
- Critical Remainin...
- ◆ Milestone



**Sacramento City Unified School District**  
**Kemble-Chavez Elementary School Inc #1 CCD 2**

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Activity ID	Activity Name	Orig Duration	Start	Finish	2024																	
					Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	
INC1-GMP480	Issue & Execute Subcontracts Change Orders & Insurance	1	29-Sep-23	29-Sep-23																		
<b>Trade Partner Contracts</b>		10	02-Oct-23	13-Oct-23																		
<b>Inc #1 CCD 2 Site Work-Change Orders</b>		10	02-Oct-23	13-Oct-23																		
INC1-CONTR2000	Site / Engineering Co.	10	02-Oct-23	13-Oct-23																		
INC1-CONTR2010	Plumbing Co.	10	02-Oct-23	13-Oct-23																		
INC1-CONTR2020	Electrical Co.	10	02-Oct-23	13-Oct-23																		
<b>CONSTRUCTION</b>		111	16-Oct-23	25-Mar-24																		
<b>Inc #1 CCD 2 Site Work-Construction</b>		111	16-Oct-23	25-Mar-24																		
<b>Demoliton</b>		15	16-Oct-23	03-Nov-23																		
DEM-1000	Confirm all Utilities are Disconnected - CCD 2	1	16-Oct-23	16-Oct-23																		
DEM-1010	Confirm Amenities & Structures Prior to Demolition - CCD 2	1	17-Oct-23	17-Oct-23																		
DEM-1020	Removal of all Amenities, Footings, Asphalt -CCD 2	2	18-Oct-23	19-Oct-23																		
DEM-1030	Remove Vegetation & Root Balls - CCD 2	5	20-Oct-23	26-Oct-23																		
DEM-1050	Off Haul Soil Or Relocate to a District Campus -CCD 2	5	27-Oct-23	02-Nov-23																		
DEM-1040	Remove Underground Utilities - CCD 2	5	27-Oct-23	02-Nov-23																		
DEM-1060	Demolition Complete - CCD 2	1	03-Nov-23	03-Nov-23																		
<b>Grading</b>		14	18-Oct-23	06-Nov-23																		
GRAD-1005	Set Up Control Points Off Survey - Grading	4	18-Oct-23	23-Oct-23																		
GRAD-1020	Begin Engineered Fill & Compaction - Grading	6	24-Oct-23	31-Oct-23																		
GRAD-1010	Scarify & Begin Compaction of Existing Soil - Grading	6	24-Oct-23	31-Oct-23																		
GRAD-1030	Cut Final Grade on Building Pad - Grading	4	01-Nov-23	06-Nov-23																		
GRAD-1050	Building Pad Complete - Grading	1	06-Nov-23	06-Nov-23																		
GRAD-1040	Certify Building Pad - Grading	1	06-Nov-23	06-Nov-23																		
<b>Underground Utilities</b>		94	07-Nov-23	22-Mar-24																		
<b>Sanitary Service</b>		21	07-Nov-23	07-Dec-23																		
UGSS-1000	Survey Sanitary Service - Sanitary	1	07-Nov-23	07-Nov-23																		
UGSS-1010	Excavate SS Trench - Sanitary	4	08-Nov-23	13-Nov-23																		
UGSS-1020	Place SS Pipe & Confirm Slope - Sanitary	4	14-Nov-23	17-Nov-23																		
UGSS-1025	Thanksgiving Break	3	20-Nov-23	22-Nov-23																		
UGSS-1030	Set Manholes & Clean Outs for SS - Sanitary	2	27-Nov-23	28-Nov-23																		
UGSS-1040	Test SS Pipe - Sanitary	2	29-Nov-23	30-Nov-23																		
UGSS-1050	Backfill & Compact SS Trench - Sanitary	4	01-Dec-23	06-Dec-23																		
UGSS-1055	Survey Location for Future Building - Sanitary	1	07-Dec-23	07-Dec-23																		
UGSS-1060	Sanitary Service Complete - Sanitary	1	07-Dec-23	07-Dec-23																		
<b>Storm Drain</b>		20	08-Dec-23	08-Jan-24																		
UGSD-1000	Survey Storm Drain - Storm	1	08-Dec-23	08-Dec-23																		
UGSD-1010	Excavate SD Trench - Storm	5	11-Dec-23	15-Dec-23																		
UGSD-1020	Place SD Pipe & Confirm Slope - Storm	4	18-Dec-23	21-Dec-23																		
UGSD-1030	Set Manholes for SD - Storm	2	21-Dec-23	22-Dec-23																		
UGSD-1035	Winter Break	4	26-Dec-23	29-Dec-23																		
UGSD-1040	Test SD Pipe - Storm	1	02-Jan-24	02-Jan-24																		
UGSD-1050	Backfill & Compact SD Trench - Storm	4	03-Jan-24	08-Jan-24																		

- Site / Engineering Co.
- Plumbing Co.
- Electrical Co.

- Issue & Execute Subcontracts Change Orders & Insurance
- Confirm all Utilities are Disconnected - CCD 2
- Confirm Amenities & Structures Prior to Demolition - CCD 2
- Removal of all Amenities, Footings, Asphalt -CCD 2
- Remove Vegetation & Root Balls - CCD 2
- Off Haul Soil Or Relocate to a District Campus -CCD 2
- Remove Underground Utilities - CCD 2
- Demolition Complete - CCD 2
- Set Up Control Points Off Survey - Grading
- Begin Engineered Fill & Compaction - Grading
- Scarify & Begin Compaction of Existing Soil - Grading
- Cut Final Grade on Building Pad - Grading
- Building Pad Complete - Grading
- Certify Building Pad - Grading
- Survey Sanitary Service - Sanitary
- Excavate SS Trench - Sanitary
- Place SS Pipe & Confirm Slope - Sanitary
- Thanksgiving Break
- Set Manholes & Clean Outs for SS - Sanitary
- Test SS Pipe - Sanitary
- Backfill & Compact SS Trench - Sanitary
- Survey Location for Future Building - Sanitary
- Sanitary Service Complete - Sanitary
- Survey Storm Drain - Storm
- Excavate SD Trench - Storm
- Place SD Pipe & Confirm Slope - Storm
- Set Manholes for SD - Storm
- Winter Break
- Test SD Pipe - Storm
- Backfill & Compact SD Trench - Storm

Start Date: 02-Mar-23  
 Finish Date: 22-May-24  
 Data Date: 08-Aug-23  
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- Actual Work
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- Critical Remainin...
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**Sacramento City Unified School District**  
**Kemble-Chavez Elementary School Inc #1 CCD 2**

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Activity ID	Activity Name	Orig Duration	Start	Finish	2024																		
					Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec		
UGSD-1055	Survey Location for Future Building - Storm	1	08-Jan-24	08-Jan-24																			
UGSD-1060	Storm Drain Complete - Storm	1	08-Jan-24	08-Jan-24																			
<b>Fire Water</b>		21	09-Jan-24	07-Feb-24																			
UGFW-1000	Survey Fire Water Line - Fire Water	1	09-Jan-24	09-Jan-24																			
UGFW-1010	Excavate FW Line, Hydrant, FDC, PIV & Building Fire Riser - Fire	5	10-Jan-24	17-Jan-24																			
UGFW-1020	Place FW Lines & Tracer Wire - Fire Water	5	16-Jan-24	22-Jan-24																			
UGFW-1030	Pour Concrete Kickers for FW 90's & T's - Fire Water	1	23-Jan-24	23-Jan-24																			
UGFW-1040	Center Load FW Pipe Lengths Prior to Testing - Fire Water	1	24-Jan-24	24-Jan-24																			
UGFW-1050	Pressure Test FW Line - Fire Water	1	25-Jan-24	25-Jan-24																			
UGFW-1060	Backfill FW Main Line & Compact - Fire Water	5	26-Jan-24	01-Feb-24																			
UGFW-1070	Install Hydrant, FDC & PIV - Fire Water	4	31-Jan-24	05-Feb-24																			
UGFW-1080	Final Backfill & Compaction - Fire Water	4	02-Feb-24	07-Feb-24																			
UGFW-1085	Survey Location for Future Building - Fire Water	1	07-Feb-24	07-Feb-24																			
UGFW-1090	Main Fire Water Line Complete - Fire Water	1	07-Feb-24	07-Feb-24																			
<b>Domestic Water</b>		15	08-Feb-24	28-Feb-24																			
UGDW-1000	Survey Domestic Water Service - Domestic Water	1	08-Feb-24	08-Feb-24																			
UGDW-1010	Excavate DW Trench - Domestic Water	4	09-Feb-24	14-Feb-24																			
UGDW-1020	Place DW Line & Tracer Wire - Domestic Water	3	13-Feb-24	15-Feb-24																			
UGDW-1030	Center Load DW Pipe Lengths Prior to Testing - Domestic Water	1	16-Feb-24	16-Feb-24																			
UGDW-1040	Pressure Test DW Line - Domestic Water	1	19-Feb-24	19-Feb-24																			
UGDW-1050	Chorlinate DW Line & Perform a Bacteria Test - Domestic Water	2	20-Feb-24	21-Feb-24																			
UGDW-1060	Flush DW Line - Domestic Water	1	22-Feb-24	22-Feb-24																			
UGDW-1070	Backfill & Compact DW Trench - Domestic Water	4	23-Feb-24	28-Feb-24																			
UGDW-1075	Survey Location for Future Building - Domestic Water	1	28-Feb-24	28-Feb-24																			
UGDW-1080	Main Domestic Water Line Complete - Domestic Water	1	28-Feb-24	28-Feb-24																			
<b>Electrical &amp; Low Voltage</b>		17	29-Feb-24	22-Mar-24																			
UGE-1000	Survey Electrical Power & Low Voltage Distribution - Elec. LV	1	29-Feb-24	29-Feb-24																			
UGE-1010	Excavate Elec / LV Trenches - Elec. LV	5	01-Mar-24	07-Mar-24																			
UGE-1020	Place Conduit & Tracer Wire for Elec / LV - Elec. LV	5	05-Mar-24	11-Mar-24																			
UGE-1030	Set Pull Boxes & Cover Plates - Elec. LV	4	08-Mar-24	13-Mar-24																			
UGE-1050	Visual Inspection of Conduits & Tracer Wire - Elec. LV	1	14-Mar-24	14-Mar-24																			
UGE-1040	Pour Concrete at Conduit 90's - Elec. LV	1	14-Mar-24	14-Mar-24																			
UGE-1060	Back Fill & Compact Trenches - Elec. LV	5	15-Mar-24	21-Mar-24																			
UGE-1065	Survey Location for Future Building - Elec. LV	1	22-Mar-24	22-Mar-24																			
UGE-1070	Electrical Power & Low Voltage Distribution Conduits Complete - EI	1	22-Mar-24	22-Mar-24																			
<b>Inc #1 CCD 2 Site Work Inspection</b>		95	07-Nov-23	25-Mar-24																			
INSP-2000	Confirm Building Pad Certification - CCD 2	1	07-Nov-23	07-Nov-23																			
INSP-2010	Final Flush Testing Observed by Project Inspector - CCD 2	1	09-Jan-24	09-Jan-24																			
INSP-2020	Bacteria Test Performed on Domestic Water Line - CCD 2	1	29-Feb-24	29-Feb-24																			
INSP-2040	Compaction Tests Verified - CCD 2	1	22-Mar-24	22-Mar-24																			
INSP-2060	CCD 2 Site Work Inspections Complete	1	25-Mar-24	25-Mar-24																			

## **Attachment 3**

### **EXHIBIT G**

#### **SCHEDULE OF VALUES**

Attached is a detailed Schedule of Values that complies with the requirements of the Construction Provisions (Exhibit "D") and that has been approved by the District.

**CONTINUATION SHEET**

AIA DOCUMENT G703

AIA Document G702, APPLICATION AND CERTIFICATION FOR PAYMENT, containing

Contractor's signed certification is attached.

In tabulations below, amounts are stated to the nearest dollar.

Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO: **0**  
 APPLICATION DATE: **1/0/00**  
 PERIOD TO: **1/0/1900**

Project No. **17530000**

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D WORK COMPLETED		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G		H BALANCE TO FINISH (C - G)
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		TOTAL COMPLETED AND STORED TO DATE (D+E+F)	% (G ÷ C)	
<b>INC 01 GMP - AMENDMENT 03</b>								
	Final Clean	37,477.50	0.00	0.00		0.00	0%	\$ 37,477.50
	Demolition	291,720.30	0.00	0.00		0.00	0%	\$ 291,720.30
	Flooring	148,354.85	0.00	0.00		0.00	0%	\$ 148,354.85
	Signage	13,928.90	0.00	0.00		0.00	0%	\$ 13,928.90
	Fabricated Engineered Structures / Ramps	534,332.25	0.00	0.00		0.00	0%	\$ 534,332.25
	Portable Relocation	971,405.40	0.00	0.00		0.00	0%	\$ 971,405.40
	Plumbing & HVAC	372,800.90	0.00	0.00		0.00	0%	\$ 372,800.90
	Electrical, Communications, Safety & Security	876,717.95	0.00	0.00		0.00	0%	\$ 876,717.95
	Earthwork & Asphalt Paving	653,204.80	0.00	0.00		0.00	0%	\$ 653,204.80
	Concrete Paving	153,911.40	0.00	0.00		0.00	0%	\$ 153,911.40
	Fences & Gates	224,458.40	0.00	0.00		0.00	0%	\$ 224,458.40
	Site Utilities	755,883.65	0.00	0.00		0.00	0%	\$ 755,883.65
	General Conditions	397,787.80	0.00	0.00		0.00	0%	\$ 397,787.80
	General Requirements	237,355.60	0.00	0.00		0.00	0%	\$ 237,355.60
	<b>Direct Cost Subtotal:</b>	<b>5,669,339.70</b>	<b>0.00</b>	<b>0.00</b>		<b>0.00</b>		<b>\$ 5,669,339.70</b>
	Bonds & Insurance - @ 2.6%	168,894.80	0.00	0.00		0.00	0%	\$ 168,894.80
	Owner Contingency @ 3%	170,080.40	0.00	0.00		0.00	0%	\$ 170,080.40
	Construction Contingency @ 3%	170,080.40	0.00	0.00		0.00	0%	\$ 170,080.40
	OH & Fee @ 2.89%	167,608.50	0.00	0.00		0.00	0%	\$ 167,608.50
	<b>Allowances</b>							
	Demo of Unforeseen Site Utilities	39,900.00	0.00	0.00		0.00	0%	\$ 39,900.00
	Dryrot Repairs at Relocated Portables	24,700.00	0.00	0.00		0.00	0%	\$ 24,700.00
	Misc. Removal of Unmoved items from Portables	8,360.00	0.00	0.00		0.00	0%	\$ 8,360.00
	Uzin Floor Skimming and Floating (2,856 SF of 22,855 SF)	7,844.15	0.00	0.00		0.00	0%	\$ 7,844.15
	Manual Watering Irrigation Demo Areas	14,250.00	0.00	0.00		0.00	0%	\$ 14,250.00
	Process Wet Soils After Rain Event	14,250.00	0.00	0.00		0.00	0%	\$ 14,250.00
	Building Weather Protection	9,500.00	0.00	0.00		0.00	0%	\$ 9,500.00
	Clean, Prime, and Paint Gas Piping	6,840.00	0.00	0.00		0.00	0%	\$ 6,840.00
	Provide and Install Knox Boxes	4,633.15	0.00	0.00		0.00	0%	\$ 4,633.15
	<b>Retention Payments</b>	<b>\$ 340,856.85</b>	<b>0.00</b>	<b>0.00</b>		<b>0.00</b>	<b>0%</b>	<b>\$ 340,856.85</b>
	<b>INC 01 GMP SUB TOTALS</b>	<b>\$ 6,817,137.95</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>\$ -</b>	<b>0.00%</b>	<b>\$ 6,817,137.95</b>
<b>INC 01 CCD 02 - AMENDMENT 04</b>								
	Electrical, Communications, Safety & Security	524,517.80	0.00	0.00		0.00	0%	\$ 524,517.80
	Earthwork & Asphalt Paving	398,943.95	0.00	0.00		0.00	0%	\$ 398,943.95



**Attachment 3**

Balfour Beatty / Clark Sullivan - a Joint Venture

**CONTINUATION SHEET**

*AIA DOCUMENT G703*

AIA Document G702, APPLICATION AND CERTIFICATION FOR PAYMENT, containing

APPLICATION NO: **0**

Contractor's signed certification is attached.

APPLICATION DATE: **1/0/00**

In tabulations below, amounts are stated to the nearest dollar.

PERIOD TO: **1/0/1900**

Use Column I on Contracts where variable retainage for line items may apply.

Project No. **17530000**

A ITEM NO.	B DESCRIPTION OF WORK	C SCHEDULED VALUE	D WORK COMPLETED		F MATERIALS PRESENTLY STORED (NOT IN D OR E)	G		H BALANCE TO FINISH (C - G)
			FROM PREVIOUS APPLICATION (D + E)	THIS PERIOD		TOTAL COMPLETED AND STORED TO DATE (D+E+F)	% (G ÷ C)	
	Site Utilities	1,014,076.55	0.00	0.00		0.00	0%	\$ 1,014,076.55
	General Conditions	696,128.65	0.00	0.00		0.00	0%	\$ 696,128.65
	General Requirements	234,698.45	0.00	0.00		0.00	0%	\$ 234,698.45
	<b>Direct Cost Subtotal:</b>	<b>2,868,365.40</b>	<b>0.00</b>	<b>0.00</b>		<b>0.00</b>		<b>\$ 2,868,365.40</b>
	Bonds & Insurance - @ 2.6%	84,559.50	0.00	0.00		0.00	0%	\$ 84,559.50
	Owner Contingency @ 3%	86,051.00	0.00	0.00		0.00	0%	\$ 86,051.00
	Construction Contingency @ 3%	86,051.00	0.00	0.00		0.00	0%	\$ 86,051.00
	OH & Fee @ 2.89%	82,896.05	0.00	0.00		0.00	0%	\$ 82,896.05
	<b>Retention Payments</b>	\$ 168,838.05	0.00	0.00		0.00	0%	\$ 168,838.05
	<b>INC 01 CCD 02 SUB TOTALS</b>	\$ 3,376,761.00	\$ -	\$ -	\$ -	\$ -	0.00%	\$ 3,376,761.00
	<b>GRAND TOTALS</b>	\$ 10,193,898.95	\$ -	\$ -	\$ -	\$ -	0.00%	\$ 10,193,898.95

**AMENDMENT NO. 3 TO FACILITIES LEASE  
BY AND BETWEEN  
SACRAMENTO CITY UNIFIED SCHOOL DISTRICT AND  
BALFOUR BEATTY / CLARK & SULLIVAN JOINT VENTURE**

---

This Amendment No. 3 to the Facilities Lease (“[Third] Amendment”) is made and entered into this 18th day of May 2023 (“Effective Date”) by and between the Sacramento City Unified School District (“District”) and Balfour Beatty / Clark & Sullivan Joint Venture (“Developer”) (collectively, the “Parties”) as follows:

**RECITALS**

**WHEREAS**, the Parties entered into a Facilities Lease, dated December 15, 2022, pertaining to the Cesar Chavez / Edward Kemble New Construction and Modernization Project (“Project”) at Cesar E. Chavez Elementary School and Edward Kemble Elementary School, located at 7495 29th Street Sacramento, CA 95822 and 7500 32nd Street Sacramento, CA 95822, respectively (“Project Site”); and

**NOW, THEREFORE**, the Parties agree as follows:

Section I. Third Amendment of Facilities Lease.

1. **Exhibit C** (Guaranteed Maximum Price and Other Project Cost, Funding, and Payment Provisions) to the Facilities Lease is amended and supplemented such that the existing Exhibit C is struck and replaced with the amended Exhibit C, which is attached hereto as **Attachment “1”** and incorporated herein by this reference. All references to Exhibit C in the Facilities Lease shall mean and refer to Attachment “1” hereto.

2. **Exhibit F** (Construction Schedule) to the Facilities Lease is amended and supplemented such that the existing Exhibit F is struck and replaced with the amended Exhibit F, which is attached hereto as **Attachment “2”** and incorporated herein by this reference. All references to Exhibit F in the Facilities Lease shall mean and refer to Attachment “2” hereto.

3. **Exhibit I** (Division 01 Specifications) to the Facilities Lease is amended and supplemented such that the existing Exhibit I is struck and replaced with the amended Exhibit I, which is attached hereto as **Attachment “3”** and incorporated herein by this reference. All references to Exhibit I in the Facilities Lease shall mean and refer to Attachment “3” hereto.

4. **Contract Documents** have been amended and supplemented such that the existing Contract Documents are struck and replaced with the amended Contract Documents, which are attached hereto as **Attachment “4”** and incorporated herein by this reference. All references to Contract Documents in the Facilities Lease shall mean and refer to Attachment “4” hereto.

The Parties expressly acknowledge and agree that this amendment is intended to and does change payment provisions for the Project under the Facilities Lease, including, but not limited to, the amount of Tenant Improvement Payments and amount of Lease Payments.

[CONTINUES ON NEXT PAGE]

Section II. All Other Provisions Reaffirmed.

All other provisions of the Facilities Lease shall remain in full force and effect and are hereby reaffirmed. If there is any conflict between this Third Amendment and any provision of the Facilities Lease or any prior amendment thereto, the provisions of this Third Amendment shall control.

**IN WITNESS WHEREOF**, the Parties have caused this Amendment No. 3 to the Facilities Lease to be executed by their respective officers who are duly authorized, as of the Effective Date.

**ACCEPTED AND AGREED** on the date indicated below:

Dated: \_\_\_\_\_, 2023

Dated: 09/13/2023, 2023

SACRAMENTO CITY UNIFIED SCHOOL  
DISTRICT

BALFOUR BEATTY – CLARK/SULLIVAN A  
JOINT VENTURE

By: \_\_\_\_\_

By:  \_\_\_\_\_

Name: Jesse Castillo

Name: Brian H. Cahill

Title: Assistant Superintendent

Title: President, California Division (JV Managing Party)

# Attachment 1

## EXHIBIT C

### GUARANTEED MAXIMUM PRICE AND OTHER PROJECT COST, FUNDING, AND PAYMENT PROVISIONS

#### **1. Site Lease Payments**

As indicated in the Site Lease, Developer shall pay One Dollar (\$1.00) to the District as consideration for the Site Lease.

#### **2. Guaranteed Maximum Price**

Pursuant to the Facilities Lease, Developer will cause the Project to be constructed for an amount to be determined after preconstruction services are completed ("Guaranteed Maximum Price"). The Guaranteed Maximum Price shall include the preconstruction fees and costs.

##### **2.1 Cost of the Work**

The term Cost of the Work shall mean the costs necessarily incurred in the proper performance of the Work contemplated by the Contract Documents. Such costs shall be at rates no higher than the standard paid at the place of the Project except with the prior consent of the District. The Cost of the Work shall include only the items set forth in this Section 2 and approved by the District.

##### **2.1.1 General Conditions**

The General Conditions as set forth in **Attachment 1** hereto shall be included in a progress billing as incurred. Said rates shall include all costs for labor, equipment and materials for the items identified therein which are necessary for the proper management of the Project, and shall include all costs paid or incurred by Developer for insurance, permits, taxes, and all contributions, assessments and benefits, holidays, vacations, retirement benefits, incentives to the extent contemplated in **Attachment 1**, whether required by law or collective bargaining agreements or otherwise paid or provided by Developer to its employees. The District reserves the right to request changes to the personnel, equipment, or facilities provided as General Conditions as may be necessary or appropriate for the proper management of the Project, in which case, the District shall be entitled to a reduction in the cost of General Conditions based on the rates set forth in **Attachment 1**.

##### **2.1.2 Subcontract Costs**

Payments made by the Developer to Subcontractors (inclusive of the Subcontractor's bonding, if required, and insurance costs, which shall be included in the subcontract amount), which payments shall be made in accordance with the requirements of the Contract Documents.

# Attachment 1

## 2.1.3 Developer-Performed Work

Costs incurred by Developer for self-performed work at the direction of District or with the District's prior approval, as follows:

**2.1.3.1** Actual costs to Developer of wages of construction workers, excluding all salaried and/or administrative personnel, directly employed by Developer to perform the construction of the Work at the site.

**2.1.3.2** Wages or salaries and customary benefits, such as sick leave, medical and health benefits, holidays, vacations, incentive programs, and pension plans of Developer's field supervisory, safety and administrative personnel when stationed at the site or stationed at Developer's principal office, only for that portion of their time required for the Work.

**2.1.3.3** Wages and salaries and customary benefits, such as sick leave, medical and health benefits, holidays, vacations, incentive programs and pension plans of Developer's supervisory or administrative personnel engaged at factories, workshops or on the road, in expediting the production or transportation of materials or equipment required for the Work, but only for that portion of their time required for the Work.

**2.1.3.4** Costs paid or incurred by Developer for taxes, insurance, contributions, assessments required by law or collective bargaining agreements and for personnel not covered by such agreements, and for customary benefits such as sick leave, medical and health benefits, holidays, vacations and pensions, provided such costs are based on wages and salaries included in the Cost of the Work under Subparagraphs 2.1.3.1 through 2.1.3.3.

**2.1.3.5** Costs, including transportation and storage, of materials and equipment incorporated in the completed construction, including costs of materials in excess of those actually installed to allow for reasonable waste and spoilage. Unused excess materials, if any, shall become the District's property at the completion of the Work or, at the District's option, shall be sold by Developer. Any amounts realized from such sales shall be credited to the District as a deduction from the Cost of the Work.

**2.1.3.6** Costs, including transportation and storage, installation, maintenance, dismantling and removal of materials, supplies, machinery and equipment not customarily owned by construction workers, that are provided by Developer at the site and fully consumed in the performance of the Work; and cost (less salvage value) of such items if not fully consumed, whether sold to others or retained by Developer. Cost for items previously used by Developer shall mean fair market value.

# Attachment 1

**2.1.3.7** Rental charges for temporary facilities, machinery, equipment, vehicles and vehicle expenses, and hand tools not customarily owned by construction workers that are provided by Developer at the site, whether rented from Developer or others, and the costs of transportation, installation, minor repairs and replacements, dismantling and removal thereof and costs of Developer's Project field office, overhead and general expenses including office supplies, parking, office equipment, and software. Rates and quantities of equipment rented shall be subject to the District's prior approval.

**2.1.3.8** Costs of removal of debris from the site, daily clean-up costs and dumpster charges not otherwise included in the cost of the subcontracts which exceeds the clean-up provided under the General Conditions.

**2.1.3.9** This section intentionally blank.

**2.1.3.10** Costs of materials and equipment suitably stored off the site at a mutually acceptable location, if approved in advance by the District.

## 2.1.4 Allowances

Because it is impossible at the time of execution of the Facilities Lease to determine the exact cost of performing certain tasks, the Cost of the Work shall include the following Allowances for the Tasks/Work as noted here:

<b>Task/Work</b>	<b>Allowance Amount</b>
Demo of Unforeseen Site Utilities	\$42,000
Dryrot Repairs at Relocated Portables	\$26,000
Misc. Removal of Unmoved Items from Portables	\$8,800
Uzin Floor Skimming and Floating (2,856 SF of total 22,855 SF)	\$8,257
Manual Watering Irrigation Demo Areas	\$15,000
Process Wet Soils After Rain Event	\$15,000
Building Weather Protection	\$10,000
Clean, Prime, and Paint Gas Piping	\$7,200
Provide and Install Knox Boxes	\$4,877
CCD Work from INC 02 Site Utilities, Site Electrical, Grading, Lime Treatment, & Building Pads	\$4,700,000

# Attachment 1

<b>Task/Work</b>	<b>Allowance Amount</b>
Total Allowance Amount	\$4,837,134

The Allowance Value for an Allowance Item includes the direct cost of labor, materials, equipment, transportation, taxes and insurance associated with the applicable Allowance Item. All other costs, including design fees, Developer's overall project management and general conditions costs, overhead and fee, are deemed to be included in the original Guaranteed Maximum Price, and are not subject to adjustment regardless of the actual amount of the Allowance Item.

The District shall have sole discretion to authorize all expenditures from the Allowances. The District shall process expenditures from the Allowances in the form of an Allowance Expenditure Directive ("AED"). The Allowances are included in the Guaranteed Maximum Price. Any unused Allowance or unused portion thereof shall be deducted from the Cost of the Work pursuant to **Exhibit D** to this Facilities Lease to the benefit of the District.

## **2.1.5 Miscellaneous Costs**

**2.1.5.1** Where not included in the General Conditions, and with the prior approval of District, costs of document reproductions (photocopying and blueprinting expenses), long distance telephone call charges, postage, overnight and parcel delivery charges, telephone costs including cellular telephone charges, facsimile or other communication service at the Project site, job photos and progress schedules, and reasonable petty cash expenses of the site office. Developer shall consult with District to determine whether District has any vendor relationships that could reduce the cost of these items and use such vendors whenever possible.

**2.1.5.2** Sales, use, gross receipts, local business and similar taxes imposed by a governmental authority that are related to the Work.

**2.1.5.3** Fees and assessments for permits, plan checks, licenses and inspections for which Developer is required by the Contract Documents to pay including, but not limited to, permanent utility connection charges, street use permit, street use rental, OSHA permit and sidewalk use permit and fees.

**2.1.5.4** Fees of laboratories for tests required by the Contract Documents.

**2.1.5.5** Deposits lost for causes other than Developer's or its subcontractors' negligence or failure to fulfill a specific responsibility to the District as set forth in the Contract Documents.

# Attachment 1

**2.1.5.6** Expenses incurred in accordance with Developer's standard personnel policy for relocation and temporary living allowances of personnel required for the Work if approved in advance by District.

**2.1.5.7** Where requested by District, costs or expenses incurred by Developer in performing design services for the design-build systems.

**2.1.5.8** Other costs incurred in the performance of the Work if, and to the extent, approved in advance by District.

**2.1.5.9** Costs due to emergencies incurred in taking action to prevent threatened damage, injury or loss in case of an emergency affecting the safety of persons and/or property.

**2.1.5.10** Provided all other eligible costs have been deducted from the contingency and as part of the calculation of amounts due Developer for Final Payment, costs of repairing and correcting damaged or non-conforming Work executed by Developer, Subcontractors or suppliers, providing that such damage or non-conforming Work was not caused by negligence or failure to fulfill a specific responsibility of Developer and only to the extent that the cost of repair or correction is not recovered by Developer from insurance, sureties, Subcontractors or suppliers.

## **2.1.6 Excluded Costs**

The following items are considered general overhead items and shall not be billed to the District:

**2.1.6.1** Salaries and other compensation of Developer's personnel stationed at Developer's principal office or offices other than the Project Field Office, except as specifically provided in Subparagraphs 2.1.3.2. and 2.1.3.4.

**2.1.6.2** Expenses of Developer's principal office and offices other than the Project Field Office.

**2.1.6.3** Overhead and general expenses, except as may be expressly included in this Section 2.

**2.1.6.4** Developer's capital expenses, including interest on Developer's capital employed for the Work.

**2.1.6.5** Costs that would cause the Guaranteed Maximum Price (as adjusted by Change Order) to be exceeded.

## **2.1.7 Developer's Fee**

Two and eighty-nine hundredths percent (2.89%) of the Cost of the Work as described in Sections 2.1.1, 2.1.2, 2.1.3, 2.1.4 and 2.1.5.



# Attachment 1

## 2.1.8 Bonds and Insurance

For insurance and bonds required under this Facilities Lease (exclusive of those required by Subcontractors, which costs are included in the subcontract amounts), that portion of insurance and bond premiums which are directly attributable to this Contract, which shall be calculated at a rate of One and eight tenths percent (1.80%) of the Cost of the Work for insurance and 80/100 percent (0.80%) of the Cost of the Work for payment and performance bonds.

## 2.1.9 Owner Contingency and Developer Contingency

**2.1.9.1** The Guaranteed Maximum Price includes Owner and Developer Contingencies of three percent (3%) for the Owner Contingency and three percent (3%) of the Developer Contingency of the Cost of the Work as described in Section 2.1.1, 2.1.2, and 2.1.3. Intended Uses of Owner Contingency and Developer Contingency:

Owner Contingency is to be used for unforeseen conditions, Owner-requested scope adds, and Owner-directed schedule acceleration. The Owner is responsible for costs that exceed the Owner Contingency. Developer Contingency is to be used for scope gaps and other reasonably agreed upon usages. The Developer is responsible for costs that exceed the Developer Contingency. The Owner is responsible for costs that exceed the total Allowance amount.

**2.1.9.2** Developer Contingency is not intended for such things as scope changes.

**2.1.9.3** The Contingencies shall not be used without the agreement of the District.

**2.1.9.4** The unused portion of the Contingency shall be considered as cost savings and retained by the District at the end of the Project.

**2.2** The Guaranteed Maximum Price will consist of the amounts to be identified in **Attachment 2** to this **Exhibit C**. Except as indicated herein for modifications to the Project approved by the District, Developer will not seek additional compensation from District in excess of Guaranteed Maximum Price. District shall pay the Guaranteed Maximum Price to Developer in the form of Tenant Improvement Payments and Lease Payments as indicated herein.

## 2.3 Total Payment

In no event shall the cumulative total of the Tenant Improvement Payments and the Loan Amount for the Lease Payments ever exceed the Guaranteed Maximum Price to be defined, as may be modified pursuant to **Exhibit D** to the Facilities Lease.

## 2.4 Changes to Guaranteed Maximum Price

# Attachment 1

**2.4.1** The Parties acknowledge that the Guaranteed Maximum Price is based on the Construction Documents, including the plans and specifications, as identified in **Exhibit D** to the Facilities Lease.

**2.4.2** As indicated in the Facilities Lease, the Parties may add to or remove from the project specific scopes of work. Based on these change(s), the Parties may agree to a reduction or increase in the Guaranteed Maximum Price. If a cost impact of a change is agreed to by the Parties, it shall be paid upon the payment request from Developer for the work that is the subject of the change in accordance with the provisions of **Exhibit D**. The amount of any change to the Guaranteed Maximum Price shall be calculated in accordance with the provisions of **Exhibit D** to this Facilities Lease.

**2.4.3** The Parties agree to reduce the Guaranteed Maximum Price for the unused portion of Allowances and/or Contingency, if any.

## **2.4.4 Cost Savings**

Developer shall work cooperatively with Architect, Construction Manager, subcontractors and District, in good faith, to identify appropriate opportunities to reduce the Project costs and promote cost savings. Any identified cost savings from the Guaranteed Maximum Price shall be identified by Developer, and approved in writing by the District. In the event Developer realizes a savings on any aspect of the Project, such savings shall be added to the Owner's Contingency and expended consistent with the Owner's Contingency. In addition, any portion of Allowance remaining after completion of the Project shall be added to the Owner's Contingency. If any cost savings require revisions to the Construction Documents, Developer shall work with the District and Architect with respect to revising the Construction Documents and, if necessary, obtaining the approval of DSA with respect to those revisions. Developer shall be entitled to an adjustment of Contract Time for delay in completion caused by any cost savings adopted by District pursuant to **Exhibit D**, if requested in writing before the approval of the cost savings.

**2.4.5** If the District exercises its Purchase Option pursuant to this **Exhibit C**, any reduction in the Guaranteed Maximum Price resulting from that exercise of the Purchase Option, if any, shall be retained in full by the District and shall not be shared with Developer.

## **3. Tenant Improvement Payments**

Prior to the District's taking delivery or occupancy of the Project, the District shall pay to Developer an amount equal to the Guaranteed Maximum Price as modified pursuant to the terms of the Facilities Lease, including **Exhibit C** and **Exhibit D**, less the Loan Amount for the Lease Payments ("Tenant Improvement Payments"). The District shall withhold a amount equal to the Loan Amount as indicated in **Attachment 3** to **Exhibit C** from the Developer for its Work on the Project. In other words, no further Tenant Improvement Payment will be made to Developer once the amount equal to Guaranteed Maximum Price minus the Loan Amount has been paid. Otherwise, the Tenant Improvement Payments will be processed based on the amount of Work performed according to Developer's Schedule of Values (**Exhibit G** to the Facilities Lease) and pursuant to the provisions in **Exhibit D** to the Facilities Lease,

# Attachment 1

including withholding for or escrow of retention of five percent (5%) of the Guaranteed Maximum Price. The withholding for the Loan Amount shall be separate from and in addition to withholding for or escrow of retention.

## **4. Lease Payments**

Upon execution of the Memorandum of Commencement Date, the form of which is attached to the Facilities Lease as **Exhibit E**, the District shall commence making lease payments to Developer in accordance with the Schedule attached hereto as **Attachment 3**.

**4.1** The Lease Payments shall be consideration for the District's rental, use, and occupancy of the Project and the Project Site and shall be made in monthly installments as indicated in the Schedule of Lease Payments attached hereto as **Attachment 3** for the duration of the lease term of one (1) year, with the first Lease Payment due ninety (90) days after execution of the Memorandum of Commencement Date.

**4.2** The District represents that the annual Lease Payment obligation does not surpass the District's annual budget and will not require the District to increase or impose additional taxes or obligations on the public that did not exist prior to the execution of the Facilities Lease.

### **4.3 Fair Rental Value**

District and Developer have agreed and determined that the total Lease Payments constitute adequate consideration for the Facilities Lease and are reasonably equivalent to the fair rental value of the Project. In making such determination, consideration has been given to the obligations of the Parties under the Facilities Lease and Site Lease, the uses and purposes which may be served by the Project and the benefits therefrom which will accrue to the District and the general public.

### **4.4 Each Lease Payment Constitutes a Current Expense of the District**

**4.4.1** The District and Developer understand and intend that the obligation of the District to pay Lease Payments and other payments hereunder constitutes a current expense of the District and shall not in any way be construed to be a debt of the District in contravention of any applicable constitutional or statutory limitation or requirement concerning the creation of indebtedness by the District, nor shall anything contained herein constitute a pledge of the general tax revenues, funds or moneys of the District.

**4.4.2** Lease Payments due hereunder shall be payable only from current funds which are budgeted and appropriated or otherwise made legally available for this purpose. This Facilities Lease shall not create an immediate indebtedness for any aggregate payments that may become due hereunder.

**4.4.3** The District covenants to take all necessary actions to include the Lease Payments in each of its final approved annual budgets.

# Attachment 1

**4.4.4** The District further covenants to make all necessary appropriations (including any supplemental appropriations) from any source of legally available funds of the District for the actual amount of Lease Payments that come due and payable during the period covered by each such budget. Developer acknowledges that the District has not pledged the full faith and credit of the District, State of California or any state agency or state department to the payment of Lease Payments or any other payments due hereunder. The covenants on the part of District contained in this Facilities Lease constitute duties imposed by law and it shall be the duty of each and every public official of the District to take such action and do such things as are required by law in the performance of the official duty of such officials to enable the District to carry out and perform the covenants and agreements in this Facilities Lease agreed to be carried out and performed by the District.

**4.4.5** Developer cannot, under any circumstances, accelerate the District's payments under the Facilities Lease.

## **5. District's Purchase Option**

**5.1** If the District is not then in uncured Default hereunder, the District shall have the option to purchase not less than all of the Project in its "as-is, where-is" condition and terminate this Facilities Lease and Site Lease by paying the balance of the "Loan Amount" identified in **Attachment 3**, which is exclusive of interest that would have otherwise been owed, as of the date the option is exercised ("Option Price"). Said payment shall be made on or before the date on which the District's lease payment would otherwise be due for that month ("Option Date").

**5.2** District shall provide to Developer a written notice no less than ten (10) days prior to the Option Date. The notice will include that District is exercising its option to purchase the Project as set forth above on the Option Date. If the District exercises this option, the District shall pay directly to Developer the Option Price on or prior to the Option Date and Developer shall at that time deliver to District an executed Termination Agreement and Quitclaim Deed in recordable form to terminate this Facilities Lease and the Site Lease. District may record all such documents at District's cost and expense.

**5.3** Under no circumstances can the first Option Date be on or before ninety (90) days after Developer completes the Project and the District accepts the Project.

[REMAINDER OF PAGE INTENTIONALLY BLANK; ATTACHMENTS TO FOLLOW]

# Attachment 1

## ATTACHMENT 1

### GENERAL CONDITIONS COSTS

\$104,681 (Monthly)

Allowable general conditions cost as shown per below table

Project (On Site Jobsite Staff)		Direct Cost of the Work	General Conditions	Overhead and Profit	Paid by District
1	Operations Manager		X		
2	Project Manager		X		
3	Project Superintendent		X		
4	Project Engineer		X		
5	Home Office Engineer		X		
6	Scheduling Engineer		X		
7	Field Engineer		X		
8	Draftsman/Detailer		X		
9	Record Drawings		X		
10	Field Accountant		X		
11	Time Keeper/Checker		X		
12	Secretarial/Clerk Typist		X		
13	Independent Surveyor	X			
14	Safety & E.E.O. officer		X		
15	Runner/Water Boy		X		
16	Vacation Time/Job Site Staff		X		
17	Sick Leave/Job Site Staff		X		
18	Bonuses/Job Site Staff			X	
19	Quality Control Program		X		
20	Qualified SWPPP Practitioner (QSP)	X			
21	SWPPP Creation, Approval, Notifications	X			

Temporary Utilities		Direct Cost of the Work	General Conditions	Overhead and Profit	Paid by District
1	Telephone Installation		X		
2	Telephone Monthly Charges		X		
3	Elect Power Installation	X			
4	Elect Power Distribution - Wiring/Spider boxes/ Lighting for construction	X			
5	Elect Power Monthly Charges				X
6	Water Service for construction	X			
7	Heating & Cooling Costs for construction	X			
8	Light Bulbs & Misc. Supplies for construction	X			
9	Clean-Up-Periodical	X			
10	Clean-Up-Final	X			
11	Dump Permits and Fees	X			
12	Recycling/Trash Dumpster Removal/Hauling	X			
13	Flagger/Traffic Control	X			
14	Dust Control	X			
15	Temporary Road and Maintenance if	X			
16	Trash Chute & Hopper (if applicable)	X			

# Attachment 1

Direct Job Costs		Direct Cost of the Work	General Conditions	Overhead and Profit	Paid by District
1	Wages of Construction Labor	X			
2	Labor/Fringe Benefits & Burden	X			
3	Subcontract Costs	X			
4	Material & Equipment/Included		X		
	a. Contractor Owned Equip, trucks		X		
	b. Small Tools - Purchase		X		
	c. Small Tools - Rental		X		
5	Warranty Work & Coordination			X	

Temporary Facilities		Direct Cost of the Work	General Conditions	Overhead and Profit	Paid by District
1	Office Trailers including shared office for IOR & CM (office must include lockable door, conditioned air, 3 desks, 3 chairs, 2 file cabinet, and Business Grade Hardline Internet connection)	X			
2	Storage Trailer & Tool Shed Rental	X			
3	Office Furniture/Equip/computers	X			
4	Xerox Copies/Misc Printing	X			
5	Postage/UPS/FedEx	X			
6	Project Photographs	X			
7	Temporary Toilets	X			
8	Project Sign	X			
9	Temporary Fencing/Enclosures	X			
10	Covered Walkways if required	X			
11	Barricades	X			
12	Temporary Stairs	X			
13	Opening Protection	X			
14	Safety Railing & Nets	X			
15	Drinking Water/Cooler/Cup		X		
16	Safety/First Aid Supplies		X		
17	Fire Fighting Equipment		X		
18	Security Guards	X			
19	Watchman Service	X			
20	Phone lines, cell phones, WiFi/Hardline Internet		X		
21	Temporary "Swing space" portables to house teachers and students as required for phasing				X
22	Utility connections and civil work needed for temporary "swing space" portables as required for phasing	X			

# Attachment 1

<b>Miscellaneous Project Costs</b>		<b>Direct Cost of the Work</b>	<b>General Conditions</b>	<b>Overhead and Profit</b>	<b>Paid by District</b>
1	Performance and Payment Bonds	X			
2	Developer-provided insurance				
3	Printing - Drwgs & Specs	X			
4	Initial Soils Investigation				X
5	Testing and Inspection				X
6	Maintenance After Occupancy				X
7	Facility Operator/Training	X			
8	Fees				X

<b>Hoisting</b>		<b>Direct Cost of the Work</b>	<b>General Conditions</b>	<b>Overhead and Profit</b>	<b>Paid by District</b>
1	Hoist & Tower Rental	X			
2	Hoist Landing & Fronts	X			
3	Hoist Operator	X			
4	Hoist Safety Inspections	X			
5	Hoist Material Skips/Hoppers	X			
6	Erect & Dismantle Hoists	X			
7	Crane Rental	X			
8	Crane Operators	X			
9	Crane Safety Inspections	X			
10	Erect & Dismantle Crane	X			
11	Fuel, Repairs, Maintenance	X			
12	Crane Raising/Jumping Costs	X			
13	Safety Inspections	X			
14	Forklift Rental	X			
15	Forklift Operator	X			
16	Forklift Safety Inspections	X			
17	Fuel, Repairs, Maintenance	X			

# Attachment 1

Contractor's Main Office Staff		Direct Cost of the Work	General Conditions	Overhead and Profit	Paid by District
1	Corporate Executives			X	
2	Principal in Charge			X	
3	Estimating Cost Engineering			X	
4	Value Engineering			X	
5	Scheduling			X	
6	Drafting and Detailing			X	
7	Purchasing & Contracts			X	
8	Accounting & Bookkeeping			X	
9	Safety & E.E.O Officer			X	
10	Secretarial			X	
11	Clerk/Typist			X	
12	Computer/Data Processing			X	
13	Legal (General Services/Pertaining to			X	
14	Travel & Subsistence			X	
15	Fringe Benefits & Burden			X	
16	Vacation Time/Main Office			X	
17	Bonuses/Main Office			X	



# Attachment 1

## ATTACHMENT 2

### GUARANTEED MAXIMUM PRICE

Pre-Construction Fees:	\$ 74,810
Amendment 1 Increment 01 Early Procurement of Long Lead Items:	\$ 76,836
Amendment 2 Increment 01 Early Procurement of Long Lead Items:	\$ 535,166
Amendment 3 Increment 01 Construction	\$ 11,246,889
Total Adjusted GMP (Pre-Construction Fees + Amendments 1-3):	\$ 11,933,701

See the following page for supporting documents.

# SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

Prepared By: Joe Hucik

Project Location: 7495 29th Street, Sacramento, CA 95822, United States of America

**Balfour Beatty** +



BUILDING SYNERGY

## DIRECT COSTS

Number	Name	Companies	Viewed	Bidding	Bids	Estimated Cost	Soft Awarded Company	Leveled Bid
01.50	Final Clean	12	6	2	2		S.J. General Building Maintenance, Inc.	\$39,450
02.40	Existing Conditions - Demo	19	14	8	8	\$584,355.00	Don Lawley Company	\$307,074
09.60	Flooring	14	8	4	3	\$154,229.00	Hoem & Associates	\$156,163
10.14	Signage	17	10	5	5	\$20,000.00	Ellis & Ellis Sign Systems	\$14,662
13.30	Fabricated Engineered Structures	3	3	3	3	\$557,145.00	TMP Services	\$562,455
13.34	Portable Relocation	4	3	1	1	\$891,100.00	Montgomery Structural Lifters	\$1,022,532
22.00	Plumbing & HVAC	10	10	4	4	\$238,074.00	Air Systems Service & Construction, Inc.	\$392,422
26.00	Electrical, Communications, Electronic Safety & Security	24	19	6	5	\$820,598.00	Con. J. Franke Electric	\$922,861
31.20	Earthwork, Asphalt Paving	30	23	7	7	\$837,516.00	O.C. Jones & Sons Inc.	\$687,584
32.10	Concrete Paving	13	10	4	3	\$100,498.00	Big B Construction	\$162,012
32.30	Fences & Gates	9	8	3	3	\$228,623.00	Crusader Fence	\$236,272
33.00	Site Utilities	20	14	5	5	\$665,231.00	Waller, Inc.	\$795,667
	<b>Total</b>	<b>175</b>	<b>128</b>	<b>52</b>	<b>49</b>	<b>\$5,097,369.00</b>		<b>\$5,299,154</b>

## GC's & GR's

Number	Description	Calculation Type	Calculation	Amount
<b>General Conditions</b>				
	General Conditions	Rate	4 x \$104,681 / months	\$418,724
	General Requirements	Rate	4 x \$62,462 / months	\$249,848
	<b>Total</b>			<b>\$668,572</b>

## ALLOWANCES

Number	Description	Amount
<b>Allowances</b>		
	Demo of Unforeseen Site Utilities	\$42,000
	Dryrot Repairs at Relocated Portables	\$26,000
	Misc. Removal of Unmoved Items from Portables	\$8,800
	Uzin Floor Skimming and Floating (2,856 SF of total 22,855 SF)	\$8,257
	Manual Watering Irrigation Demo Areas	\$15,000
	Process Wet Soils After Rain Event	\$15,000
	Building Weather Protection	\$10,000
	Clean, Prime, and Paint Gas Piping	\$7,200
	Provide and Install Knox Boxes	\$4,877
	CCD Work from INC 02 Site Utilities, Site Electrical, Grading, Lime Treatment, & Building Pads	\$4,700,000
	<b>Total</b>	<b>\$4,837,134</b>

**Project Subtotal w/ Allowances**

**\$10,804,860**

## INDIRECT COSTS

Number	Description	Calculation Type	Calculation	Amount
<b>Insurance &amp; Bonds</b>				
	Builders Risk Premium @ .70%	Lump sum		\$83,012
	Payment & Performance Bonds @ .8%	Lump sum		\$94,256
	GL Insurance @ 1.10%	Lump sum		\$129,603
	<b>Contingency (Fee Not Included)</b>			<b>\$358,064</b>
	Owner Contingency @ 3%	Lump sum		\$179,032
	Construction Contingency @ 3%	Lump sum		\$179,032
<b>Fees</b>				
	GC Fee @ 2.89%	Lump sum		\$312,260
	<b>Total</b>			<b>\$977,195</b>

**INC 01 Project Total**

**\$11,782,055**

01.50: Final Clean  
Generated March 30, 2023

**Leveled Bid**  
Base Bid

**LINE ITEMS**

Final Clean

**OTHER COSTS**

4 Month Period of Trailer Cleaning (GC & CM/IOR Trailers)

Waxing VCT Floors

**GENERAL ACKNOWLEDGMENTS**

Bidder acknowledges that Balfour Beatty-Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.

By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.

Are you utilizing any DVBE subcontractors?

Is bidder DVBE certified?

By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.

Is the bidder prequalified with Balfour Beatty Construction, LLC?

By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.

Contractors License number?

License Classification?

DIR Registration number?

EMR Rate?

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

**BOND INFORMATION**

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

**CERTIFICATIONS**

Do you represent a certified minority business?

Summary

S.J. General Building Maintenance,  
Submitted by Darren Wirgler

**\$39,450**  
\$39,450

Revision #2, March 21, 2023

Unit Unit Cost Total Cost

\$39,450

**\$0**

Included

Included

YES

YES

YES

NO

YES

YES

YES

YES

YES

YES

765506

C63/ D61

1000016709

.85

YES

YES

2.50%

YES

RT WESTERN, INC.  
Submitted by Rogelio Arellano

**\$42,400**  
\$32,000

Original Proposal, March 16, 2023

Unit Unit Cost Total Cost

\$32,000

**\$10,400**

**\$3,600**

**\$6,800**

YES

YES

NO

NO

YES

YES

YES

YES

YES

YES

973217

Class B, Class D63

1000033895 exp 6.30.2025

.72

YES

YES

3.00%

YES

John, Please find attached Final Clean proposal. Feel free to contact me if you have any questions. Rogelio's, Rogelio

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal revision #2: \$39,450

Submitted Mar 21, 2023 at 10:27 AM PDT

**S.J. General Building Maintenance, Inc.**

919 Berryessa Rd #10, Suite10, San Jose, CA 95133, USA

Darren Wirgler | Manager | +1 408-392-0800 | +1 916-826-2277 | darrenw@sjgbminc.com

### General Acknowledgments

Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.	Yes
Are you utilizing any DVBE subcontractors?	Yes
Is bidder DVBE certified?	No
By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.	Yes
Is the bidder prequalified with Balfour Beatty Construction, LLC?	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.	Yes
Contractors License number?	765506
License Classification?	C63/ D61
DIR Registration number?	1000016709
EMR Rate?	.85
By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.	Yes

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## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

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By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

Yes

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### Bond Information

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Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

2.50 %

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### Certifications

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Do you represent a certified minority business?

Yes

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### Attachments

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 Proposal Balfour Beatty SC... (190 KB)



Tel: 408.392.0800 Fax: 408.392.8274. darrenw@sjgbminc.com  
919 Berryessa Road, Suite 10, San Jose, CA. 95133  
www.generalbuildingmaintenance.com  
**100% Bonded & Insured MBE/SBE Certified DIR # 1000016709**

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State Lic.# 765506

March 21st, 2023

ATTN: John K.  
**Balfour Beatty**

**Project: SCUSD ChavezKembles ES INC 1**  
Sacramento, CA

S.J. General Building Maintenance, Inc. will furnish and provide all the necessary labor, materials and supervision required to coordinate, detail and complete the work in accordance with our final cleaning scope of work listed below.

**SCOPE OF WORK: Three Passes of (22) Portable classrooms and (2) bathroom rooms and Admin Office**

- 1) Vacuum all carpeted areas
- 2) Clean casework inside and outside
- 3) Dust walls, doors and lights
- 4) Clean bathrooms
- 5) Dust and clean all horizontal surfaces
- 6) Polish stainless steel
- 7) Clean glass inside and outside
- 8) Exterior site work ( 1 pass)
- 9) Waxing of VCT ( 1 pass)
- 10) Cleaning of Balfour Beatty trailer and CM trailer (1) once per week for (4) four months ( paper and soap not included would be a bill back item)

**Price:       \$39,950.00**

We trust this quotation will meet with your requirements. Thank you for the opportunity to submit this quotation to you. Should you have any questions or concerns, please feel free to contact me.

Sincerely,

*Darren Wirgler*

\_\_\_\_\_  
Darren Wirgler  
S.J. General Building Maintenance, Inc.  
Office (408) 392.0800  
Cell (916) 826.2277  
darrenw@sjgbminc.com

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal: \$32,000

Submitted Mar 16, 2023 at 1:45 PM PDT

**RT WESTERN, INC.**

2181 Wilcox Rd, Stockton, CA 95215, USA

Rogelio Arellano | Operations Manager- Final Clean Division | +1 415-677-9202 | +1 408-591-0391 | rarellano@rtwestern.com



### General Acknowledgments

Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.	Yes
Are you utilizing any DVBE subcontractors?	No
Is bidder DVBE certified?	No
By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.	Yes
Is the bidder prequalified with Balfour Beatty Construction, LLC?	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.	Yes
Contractors License number?	973217
License Classification?	Class B, Class D63
DIR Registration number?	1000033895 exp 6.30.2025
EMR Rate?	.72
By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.	Yes

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

Yes

### Bond Information

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

3 %

### Certifications

Do you represent a certified minority business?

Yes

### Additional Information

#### Notes

John,

Please find attached Final Clean proposal.

Feel free to contact me if you have any questions.

Regard's,  
Rogelio

### Attachments

 RA-SCUSD Chavez-Kemble... (119 KB)





# RT Western Inc.

160 Mendell Street  
San Francisco CA 94124

Tel: 415-677-9202 Fax: 415-677-9149

MBE LBE Certified

CA License #  
973217  
(Class B, Class  
D63)

**PROPOSAL**

Date: **16-Mar-23**

To: **Balfour Beatty**  
Attn: **John Koch**  
Project: **SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation**  
Scope: **CONSTRUCTION FINAL CLEAN**  
Base Bid: **Lumpsum**

valid for 60 days

Item No.	Description	Amount
----------	-------------	--------

Reference: Drawing Set: **100% CD Nov.28.2022**

( ) portable classrooms, ( ) portable toilet rooms and an administration office

<b>1</b>	<b>Interior Rough Clean (pre-Punch List, OR pre-Final Clean):</b> Furnish labor, cleaning materials & consumables and equipment to: Sweep and remove: Residual Trash and Debris Sweep and mop: Hard or Ceramic Tiles, Concrete and Resilient Flooring Wipe down and dust off: Interior	<b>\$ 7,400</b>
<b>2</b>	<b>Final Cleaning Interiors:</b> Furnish labor, cleaning materials & consumables and equipment to: Sweep and mop: Hard or Ceramic Tiles, Concrete, Resilient and Wood Flooring Vacuum: Carpet Areas Wipe down and dust off: Doors, Door Frames and Hardware Base Boards Ceiling Light Fixtures Clean and dust Inside: Cabinetry, Casework, Finish Carpentry and Interior Workstations Cabinets and Drawers. Millwork, Specialties and Furniture Walls and Wall Features, Lobbies. Wash: Interior Windows, Frames Mullions Removal labels on: Interior Glass, Mirrors and Casework Clean and disinfect: Restroom Countertops and Cabinetry, Toilets, Urinals and Sinks Fixtures, Toilet Partitions, Toilet Accessories, Vanities and Mirrors	<b>\$ 12,100</b>
<b>3</b>	<b>(Fluff Clean) (post-Final Clean, OR pre-Move In)</b> Furnish labor, cleaning materials & consumables and equipment to: Touch-up clean interior, as necessary	<b>\$ 5,400</b>
<b>4</b>	<b>Power wash:</b>	<b>\$ 2,100</b>

Furnish labor, cleaning materials & consumables and equipment to:  
 Power wash: All sidewalks, asphalt, and exterior walkways.

5 **Exterior Windows Clean: One (1) Time** \$ 5,000

Furnish Labor, Cleaning Materials & Consumables and Equipment to:  
 Wash Glass: Exterior Windows, Frames.  
 using non-abrasive soft cloths as recommended by glass manufacturer.

**TOTAL BASE BID** \$ **32,000**

Wage Category: **Laborers Union**

**Alternates:**

1 **Waxing VCT Floors** \$ 6,800

Furnish labor, cleaning materials & consumables and equipment to:  
 Touch-up clean interior, as necessary  
 Sealing and Waxing: VCT Floors

2 **Weekly job site trailer cleanings of both the main construction trailer and IOR/CM construction trailer during the INC 01 construction schedule.**

	<b>1 Month</b>	<b>5 Months</b>
<b>1 (One) Time per week cleaning With Sanitation- Monthly Rate</b>	<b>\$ 900.00</b>	<b>\$ 4,500</b>

Furnish Labor, Cleaning Materials & Consumables and Equipment to:  
 Clean office  
 Wipe down/dust off desks  
 Vacuum Carpet Areas  
 Empty trash cans and replace liners as needed  
 Remove and dispose of trash  
 Sweep floor  
 Clean and Sanitize: All touch surfaces including door handles.

**Specific & General Exclusions:**

- |  |  |
|--|--|
| Large Construction Debris Left Onsite          | Excessive Grout Removal                            |
| Dumpster and Trash Removal Generated by Others | Excessive Paint, Grease, Tar, Gum, Spots or Stains |
| Pre-Cleaning Damages and Material Defects      | Performance and Payment Bond                       |
| Temporary Power, Light and Water Supply        | Labor Wage Escalation 06/30/2025                   |
| Sealing and Waxing                             | Exterior Curtainwall, Roof, Site                   |

For RT Western Inc.:

Rogelio Arellano  
 Rogelio Arellano Email: rarellano@rtwestern.com

Mobile: 408-591-0391

**Scope of Work:**

1 **Initial/Rough Clean:** Conduct a thorough, Dust, wet wipe down of all interior spaces (pre-Punch List, OR pre-Final Clean)

Dust, wet wipe down, mop, window frames, bathrooms, toilet and plumbing accessories, millwork, casework, etc.

- 2 **Final Clean:** Conduct a thorough, wet cleaning of all interior spaces prior to Owner area turnover.
- 3 **Touch-up Cleaning:** Touch-up clean interior, as necessary
- 4 **Removal of Protective Films:** Removal all protective (Pill off) films from interior finishes,
- 5 **Windows and Window Frames:** Wipe down, clean, all interior window surfaces, window frames, , removing any and all labels, residue, etc.  
Vacuum and wipe clean all window tracks, hardware, and clean all sills. Do not remove labels associated with building code, i.e., door rating labels / UL stickers, etc.
- 6 **Doors and Door Frames:** Clean all doors and door frames including, but not limited to all thresholds, handles, door stops, tracks & guides, closers, hardware, etc. Do not remove labels associated with building code, i.e., door rating labels / UL stickers, etc.
- 7 **Dusting:** Dust all base, walls, wall switches, diffusers, MEP grilles and registers, etc.
- 9 **Toilet and Plumbing Accessories:** Clean and sanitize all toilets, faucets, escutcheon plates, urinals, sinks, tubs, chrome, mirrors, toilet room accessories, shower doors, partitions, etc.
- 10 **Stone & Solid Surfaces:** Clean and wipe down all stone, including but not limited to bathroom countertops, elevator lobbies, stone walls and elevators.
- 11 **Light Fixtures:** Dust and clean all light fixtures and bulbs with the exception of the inside of lenses.
- 12 **Flooring:** Clean all hard surface flooring including stone, tile, vinyl, resilient flooring to a dirt and dust free condition, free of stains, films, and similar foreign substances.
- 13 **Concrete Floors:** Sweep and mop all exposed concrete floors to a dirt-free condition, free of stains, films, and similar foreign substances.
- 14 **Wax VCT Floor:** Sealing and Waxing VCT Floor

**Specific & General Exclusions:**

Large Construction Debris Left Onsite	Excessive Grout Removal from Restrooms
Dumpster and Trash Removal	Excessive Paint, Grease, Tar, Gum, Spots or Stains
Pre-Cleaning Damages and Material Defects	Performance and Payment Bond
Temporary Power, Light and Water Supply	Labor Wage Escalation 06/30/25
Sealing and Waxing Flooring	Replace Air Filters

For RT Western Inc.:

Rogelio Arellano

Rogelio Arellano    Email: [rarellano@rtwestern.com](mailto:rarellano@rtwestern.com)

Mobile: 408-591-0391



By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

**BOND INFORMATION**

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

**CERTIFICATIONS**

Do you represent a certified minority business?

Summary

YES	N/A	YES	YES	N/A	YES	N/A
1.50%	1.00%	2.00%	1.50%	2.50%		
NO	N/A	YES	N/A	N/A	NO	N/A
Regarding prequalification, we are not an MEP, so wasn't sure how to answer. We are not minority-owned, but we do have an SBE if you need it.	This quote was emailed directly to Joe Hucik on 3/16/23 @ 5:40PM	Please note this is a Bid Revision.		ABATEMENT ONLYQuote emailed directly to Joe Hucik on 3/16/23 @ 3:43 PM	Good Afternoon, We appreciate the opportunity to submit the attached proposal for the SCUSD Chavez-Kemble Elementary School project. We're bidding on the Asbestos Abatement Roofing Mastic scope of work. If you have any questions regarding this proposal, you can reach the Project Manager, John Moore, directly at 916-802-8035. Thank you, Tonja Moore, Vice President. JM Environmental, Inc. 916-726-0304 www.jmenv.com	The quote was emailed directly to Joe Hucik on 3/15/2023 @ 12:06PM



CLEARING AND DEMOLITION

# PROPOSAL

To: Balfour Beatty/Clark & Sullivan

Date: 3/24/2023  
Job: Kemble-Chavez Elementary Increment 1  
7495 29th Street, Sacramento

We propose to furnish all labor, equipment, and materials necessary to complete Selective Demolition for Kemble-Chavez Elementary Increment 1 as follows:

Site demolition per Exhibits B, B-2, and B-3 2.40, Addendums 1 and 2, Addendum 2 plans, and clarifications and exclusions below. Abatement of roofs per attached proposal from PARC Specialty Contractors. Two mobilizations are included.	\$227,637.00
Sawcutting is included to protect pavement removal from future increments only. Sawcutting needed within Increment 1 for phasing purposes will be charged at \$5.00 per lineal foot. Additional mobilizations will be charged at \$2000 each.	
Remove and dispose of flooring and base in Admin building and portable classrooms CR1-CR6, CR7-CR14, and CR15-CR18.	\$52,088.00
<b>Total</b>	<b>\$279,725.00</b>
Alternate: Remove and dispose of flooring and base in classrooms CR36, CR37, CR41, and CR42.	<b>\$11,776.00</b>

### Exclusions and Work to be Performed By Others:

Any required permits or bonds. Air quality notification, testing, or abatement of hazardous or contaminated waste or soil. Temporary construction fencing/security. All-weather access to work. Demolition work not noted or drawn on demolition sheets. Dust protection of areas outside of limit of work. Overtime or off-hours work. Buried or hidden debris. Safe-off of utilities. Utility location or potholing. Layout. Sod stripping. Construction water and power. Shoring. Disposal of unrecyclable concrete/asphalt. SWPPP BMP's and maintenance. Traffic control or traffic control plan.

### Acceptance of Proposal

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Authorized

Signature

Steve Hay

Signed: \_\_\_\_\_

Dated: \_\_\_\_\_

This proposal may be withdrawn if not accepted within 30 days.

# PARC Specialty Contractors

1400 Vinci Avenue, Sacramento, California 95838  
Phone (916) 992-5405 Fax (916) 992-6177

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March 16, 2023

Demo Contractors

Subject: SCUSD Edward Kemble Campus, Kemble-Chavez ES Increment 1, 7495 29th Street, Sacramento, CA 95822

PARC is pleased to submit for your approval the following amount for labor, materials, equipment, waste hauling & disposal, OSHA Asbestos notification, insurance, and taxes to perform the work described below. We have included cost for required training, medical monitoring, and personal air sample testing for our workers. The proposal is based on paying Prevailing Asbestos Removal labor wage rates and performing the work during normal work hours, an 8-Hour shift between the hours of 6 AM to 5 PM, Monday through Friday, holidays excluded. All our work shall be performed in accordance with Federal, State and Local regulations.

The following amount is based on SCUSD DSA Approved Project Manual & Specification dated February 27,2023; Lionakis Increment 1 DSA 100% CD Drawings dated November 28, 2022; Entek Consulting Group Hazardous Materials Survey Final Report dated September 7, 2022; Balfour Beatty Joe Hucik's Scope Narrative; and Standard Industry Practices. Addendum 1 & 2 are acknowledged.

**Abatement Proposal Amount: \$19,500.00 (Nineteen Thousand Five Hundred Dollars)**

**If Performance & Payment Bonds are required, please add 1.75% to the above amount.**

**Light, power, and water are required for abatement and reasonable access to services must be available and supplied by the GC at no cost to PARC.**

**Containment:**

PARC Set Up; Exterior asbestos work will have a regulated work area created by demarcation of area using delineators, asbestos warning tape & signs.

**Scope of Work:** PARC will remove the entire Metal Roof due to asbestos roofing mastic on Portables 35, 38-40 which are all scheduled to be demolished. PARC will remove all roofing split seam & cap locations found on 6 ridgelines between 35-37, 38-40, 41-42.

**Standard Exclusions:** PARC excludes building, demolition & encroachment permits. We exclude locating, marking, capping, relocation, removal, and safe-off of utilities; civil demolition; clearance inspections & testing by consultant (conflict of interest); concrete x-ray; concrete saw-cutting; concrete removal; fire watch; hard barriers; landscape protection/work; Lay-out; MEP demo; prep for new work; scaffolding; security; shoring; structural demolition; SWPPP; temp fencing; temp lighting; temp power; temp restroom facilities; traffic control; weather protection, and replacement of materials removed.

**PROPOSAL TERMS:** This proposal shall be incorporated into any contract and attached to it as an Exhibit. PARC carries liability, worker's compensation, and auto insurance. Unless otherwise stated, the customer agrees to supply sufficient water and electricity at no cost to PARC. The customer acknowledges that abatement/demolition may require the application of tape and staples to set up and install required containments and agrees PARC will not be held responsible for minor damage, prep for new work, or for re-painting. PARC shall not be responsible for weather protection or for damages resulting from weather. Protection of the facility from vandalism is the responsibility of the General Contractor. **This proposal is subject to change and may be withdrawn if not accepted within 60 days of the above date.** Unless otherwise noted, this is a lump sum proposal, any quantities listed are informational only and not to be used for deductive pricing.

**PAYMENT TERMS:** Cash forthwith for any portion of work commenced and completed in any one calendar month are due and payable within 30 calendar days of receipt of invoice. Balance of contract price including **Retention** are due and payable **within 90 days** of completion of contracted work by PARC and receipt of invoice. Unpaid monies shall be subject to a finance charge of 1.5% per month. The customer agrees to compensate PARC for any collection related costs, including reasonable attorney fees, if full payment is not timely made to PARC. The customer agrees that the court of jurisdiction, for any claim, shall be in Sacramento County.

Thank you for your consideration. Please call if you have any questions.

Stuart Webb  
Project Manager  
PARC Specialty Contractors  
[swebb@parcspecialty.com](mailto:swebb@parcspecialty.com)  
Mobile (916) 201-0884

Accepted:

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Printed Name,

\_\_\_\_\_  
Title,

\_\_\_\_\_  
Phone

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CA License # 732375 B, C21, C22, C39, HAZ • NV License # 0047599  
DIR # 1000005967 • DOSH # 661 • Hauler Registration #132075 • EPA #CAR000159665  
Asbestos, Lead & Mold Remediation • Select Demo • 24-hour Emergency Hazardous Material Clean-up



## Hucik, Joe

---

**From:** Hucik, Joe  
**Sent:** Wednesday, April 19, 2023 8:16 AM  
**To:** Eli Gero  
**Cc:** dporter@kitchell.com; Koch, John; Michael Flores  
**Subject:** Don Lawley Co - INC 01 GMP Back Up

Eli –

Below are the items missing from Don Lawley Company's original bid proposal that were added in a revision after conducting our post bid interview:

- Demo of gas lines on P1S101.
- Demo of trees and planters per Bid RFI 13.
- Asphalt demo for electrical trench per Bid RFI 11.
- Inclusion of PARC's proposal for roof abatement.
- Add Alt for the 4 other classrooms not identified for flooring and base removal.

Will include in GMP back up on the GMP revision.

Thanks,

**Joe Hucik, Assoc. DBIA**

Senior Project Manager | Balfour Beatty

O: (916) 760-0805 | C: (916) 220-9391

E: [jhucik@balfourbeattyus.com](mailto:jhucik@balfourbeattyus.com) | [www.balfourbeattyus.com](http://www.balfourbeattyus.com)

**Balfour Beatty**

SACRAMENTO BUSINESS JOURNAL



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CLEARING AND DEMOLITION

# PROPOSAL

To: Balfour Beatty/Clark & Sullivan

Date: 3/16/2023  
Job: Kemble-Chavez Elementary Increment 1  
7495 29th Street, Sacramento

**We propose to furnish all labor, equipment, and materials necessary to complete Selective Demolition for Kemble-Chavez Elementary Increment 1 as follows:**

Site demolition per Exhibits B, B-2, and B-3 2.40, Addendums 1 and 2, Addendum 2 plans, and clarifications and exclusions below. Abatement of roof mastic on portables C35, C38, C39, and C40. Two mobilizations are included.	\$162,939.00
Sawcutting is included to protect pavement removal from future increments only. Sawcutting needed within Increment 1 for phasing purposes will be charged at \$5.00 per lineal foot. Additional mobilizations will be charged at \$2000 each.	
Remove and dispose of flooring and base in Admin building and portable classrooms CR1-CR6, CR7-CR14, and CR15-CR18.	\$50,757.00
<b>Total</b>	<b>\$213,696.00</b>

**Exclusions and Work to be Performed By Others:**

Any required permits or bonds. Air quality notification, testing, or abatement of hazardous or contaminated waste or soil. Temporary construction fencing/security. All-weather access to work. Demolition work not noted or drawn on demolition sheets. Dust protection of areas outside of limit of work. Overtime or off-hours work. Buried or hidden debris. Backfill/compaction of excavations. Safe-off of utilities. Utility location or potholing. Saw cutting or removal of underground utilities other than listed above. Layout. Sod stripping. Construction water and power. Shoring. Disposal of unrecyclable concrete/asphalt. SWPPP BMP's and maintenance. Traffic control or traffic control plan.

**Acceptance of Proposal**

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Authorized

Signature

Steve Hay

Signed: \_\_\_\_\_

Dated: \_\_\_\_\_

This proposal may be withdrawn if not accepted within 30 days.

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal revision #1: \$279,725

Submitted Mar 24, 2023 at 1:51 PM PDT

**Don Lawley Company**

Stockton, CA 95213 US

Steve Hay | President | +1 209-456-1185 | +1 209-456-1185 | stevehay@donlawleyco.com

### General Acknowledgments

Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.	Yes
Are you utilizing any DVBE subcontractors?	No
Is bidder DVBE certified?	No
By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.	Yes
Is the bidder prequalified with Balfour Beatty Construction, LLC?	No
By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.	Yes
Contractors License number?	621509
License Classification?	C-21
DIR Registration number?	1000003843
EMR Rate?	80
By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.	Yes

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

Yes

### Bond Information

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

1.50 %

### Certifications

Do you represent a certified minority business?

No

### Additional Information

#### Notes

Regarding prequalification, we are not an MEP, so wasn't sure how to answer. We are not minority-owned, but we do have an SBE if you need it.

### Attachments

 Kemble-Chavez Elementary... (39 KB)

 Kemble-Chavez Elementary... (237 KB)



March 16, 2023

Balfour Beatty Construction, LLC  
400 Capitol Mall, Suite 900  
Sacramento, CA 95814

Attn: Joe Hucik [jhucik@balfourbeattyus.com](mailto:jhucik@balfourbeattyus.com)  
Re: SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation  
Bid Proposal 31.20 Earthwork and Asphalt Paving & Site and Bldg Demo

Dear F&H Team,

**Goodfellow Bros. California, LLC**, is pleased to provide the following proposal for the above referenced project. Our bid is based on bid plans and specifications for the above noted project. **We acknowledge 2 addendums.**

Please see the clarifications below for additional information related to this proposal.

**Pricing - Please See Attached Breakdown**

#### **PROPOSAL SPECIFIC INCLUSIONS/EXCLUSIONS**

- Excludes hiring private utility locating companies.
- Based on 4" of AB at trailer yard and site parking.
- Export soil is assumed to be suitable for unrestricted reuse and meet the environment screening levels (ESLs) for residential reuse per the criteria established by the California Regional Water Control Board. Price includes initial soils testing for export. Any further testing or reports, etc. is not included.
- Bid is based on the portable lift/moving pits can be accessed and excavated with a backhoe. Hand-digging is excluded.
- Demo site and existing portables as follows:
  - Demolish and remove the following buildings: Multi,RR,RR2,C14,C15,C35,C38-C40 (Building separation is excluded).
  - Includes SMAQMD notification for demolition.
  - Remove site concrete and AC.
  - Remove trees, stumps and brush.
  - Remove steps, walls, fencing, gates and associated footings.
  - Remove bollards, rails, flag pole, BB poles, tether poles and associated footing.
  - Excludes underground utilities demo.
  - Excludes hazardous materials abatement.
  - Excludes disconnect utilities and cut/cap.
- Bid includes seal coat of new AC pavement surfaces.
- Bid includes grading Type 6 Surfacing area per grading plan. Hydroseeding, covering area with 20 mil plastic, manual watering of native vegetation/landscaping, and installing AB paved traffic lanes. Etc. as noted on 1CP101 is not included.

- Erosion control add-alternate includes wattles, inlet protection and one washout as noted in our price sheet. Other items shown such as inlet protection on inlets to be removed, silt pits, etc. are not included.
- Bid includes and add-alt for 2x8 header-boards at AC paving, which noted in the specs without specific info or plans details, if required.
- Includes an add-alt which consists of a tractor and laborer crew for one shift to pump standing water as a budget regarding the plan note to process wet soils after rain events.

## **EXCLUSIONS:**

1. Removal disposal or relocation of existing utilities, other than irrigation noted.
2. Testing, removal and handling of contaminated, hazardous or buried materials
3. All bonds, fees, permits, engineering, staking and testing.
4. Dust control when our crews are not physically working on the site, such as after normal working hours and weekends.
5. Capping, sealing or abandoning of existing utilities, wells, etc.
6. Removal, disposal and backfill of utility lines other than noted
7. Removal and Backfill of portable units footings/slabs, etc. or for any other structures.
8. Import of topsoil.
9. Dewatering
10. vapor barrier or sand at building pads.
11. Adjusting or patching of new or existing utility iron and trenches.
12. Repairs to existing pavement and streets due to construction traffic.
13. Underground, concrete, electrical, wall, fence, landscape and irrigation work.
14. Water meters, sewer cleanouts or roof leader connections.
15. Traffic control and barricades for work by others.
16. Subgrade stabilization, soils chemical treatment, fabric and over-excavation of "soft" or unstable areas.
17. Winter maintenance, such as pumping of rain- water and constructing temporary roads.
18. Shoring, bracing or protection of existing structures.
19. Construction of bio-swales (i.e. import material, drain rock, pipe, sod and landscape).
20. Supply or installation of moisture/root barriers.
21. Tarping of loads.

## **CLARIFICATIONS**

1. GBI requires 72 hours notice prior to starting any work in order to notify Underground Service Alert (USA). **All privately owned utilities will need to be located by others.**
2. GBI is not responsible for unforeseen conditions not reasonably identifiable or apparent within the reports provided by owner.
3. The asphalt bid price based on \$810 per ton of liquid asphalt (October Valero RACK). Any increase in price of \$10.00 or greater will be subject to a price increase of \$.60 per ton of asphalt
4. One move-in per phase.
5. Clear, unobstructed and continuous access in each phase of work.
6. Any phasing of work will result in additional costs.
7. Working 5 x 8-hour days. Any overtime requested will result in additional costs.
8. Any work requested to be done in bad weather or wet conditions will result in additional costs.
9. There will be no repairs of damage by others at our expense without prior notification to GBI.
10. If the job is operated with any nonunion subcontractors on site, a two-gate system will be required.
11. Pricing does not include impacts related to AB5, which may significantly impact trucking costs. These costs cannot be determined at this time due to the uncertainty within the bill.

12. GGBI uses standard construction equipment and is not responsible for any damage due to vibrations or any other reason.
13. This proposal is based on construction water being available from an onsite source, such as a fire hydrant. No provision for water rationing, or buying water is included (i.e. inflated water rates, non-potable water from sewer plants, etc.).
14. Participation in any Wrap-up (OCIP, CCIP, or CIP) Insurance program is subject to review of the actual policy, including all attachments and endorsements applicable to this project, or any other projects to which this program may apply. The insurance credit will not exceed our insurance policy premium. Any credits will be for primary CGL coverage only (excess liability or any other coverage credits do not apply). In no event shall our contribution to a self insured retention or deductible under a Wrap-up program exceed our GL policy deductible.
15. This proposal is based on utilizing a combination of GPS technology and standard construction staking. We will require five control points and a complete CAD file.
16. If this proposal is accepted, we will participate in constructing an agreeable schedule.
17. Release of retention to be within 30 days of completion of our work. This applies even if the work has not been accepted by the governing agency, if such delay is no fault of GGBI.
18. Extra work to be performed at a fixed price, or time and materials based on the current GGBI rates.
19. Contract language is subject to review and approval prior to proceeding with work. This proposal shall be made a part of any subsequent contract.
20. This proposal remains in effect for 30 days.

Goodfellow Bros. California, LLC, appreciates the opportunity to bid your project. Please contact me should you have any questions.

Steven Thomas  
Estimator  
(916) 439-9209

Goodfellow Bros. California, LLC  
50 Contractors Street, Livermore, CA 94551  
P.O. Box 598, Wenatchee, WA 98807  
P 925 \ 245 \ 2100 | F 925 \ 449 \ 5875  
CL# 977506 ▪ Equal Opportunity Employer

**GOODFELLOWBROS.COM**

03/16/2023  
 ST23-0070  
 \*\*\* Steven Thomas

17:26  
 Chavez/Kemble ES Inc. 1

**BID TOTALS**

<u>Biditem</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Unit Price</u>	<u>Bid Total</u>
31.20 EARTHWORK & ASPHALT PAVING BASE BID					
1.00	4" Rock Trailer Yard/Site Parking	13,000.000	SF	3.00	39,000.00
2.00	Protect Exist. Trees to Remain (#12/1CD101A)	7.000	EA	335.00	2,345.00
5.00	Protect Exist. Utility Boxes (#17/1CD101A)	1.000	LS	1,400.00	1,400.00
6.00	Stabilized Construction Entrances	2.000	EA	7,200.00	14,400.00
7.00	Downspout/Bard Units Splash Blocks (#16/1CS502)	78.000	EA	125.00	9,750.00
8.00	Striping/Signs/Red Curbs/Whl Stops (1CS501&502)	1.000	LS	12,200.00	12,200.00
9.00	Ex/Backfill Lifting Pits @ Relocated Portables	104.000	EA	145.00	15,080.00
10.00	Rough Grade & Backfill Demo/Utility Voids	2,625.000	CY	20.00	52,500.00
11.00	Off-Haul Spoils From Grading & Asphalt Paving Only	3,100.000	CY	62.00	192,200.00
12.00	Type 5 AB Paving (8"AB) @ Portable Bldg. Pads	17,800.000	SF	6.00	106,800.00
13.00	Type 4 Conc. Paving (4"AB/ Conc.by Others)	2,800.000	SF	9.35	26,180.00
14.00	Type 1 AC Paving (3.5"AC/ 9"AB)	7,800.000	SF	14.80	115,440.00
15.00	Type 3 AC Paving (3"AC/ 6"AB)	560.000	SF	21.70	12,152.00
16.00	Fine Grade Landscape Area	104,000.000	SF	0.30	31,200.00
17.00	AC Curb (#18/1CS501)	200.000	LF	65.00	13,000.00
18.00	Cut-in Curbs @ New Trash Encl. (#8/1AS501)	1.000	LS	5,000.00	5,000.00
19.00	Patch AC @ Electrical Trench (Add #2)	300.000	SF	14.20	4,260.00
20.00	Site & Building Demo	1.000	LS	181,000.00	181,000.00

---

31.20 EARTHWORK/ASPHALT PAVING BASE BID TOTAL \$833,907.00

ADD ALTERNATES

<i>AA1.00</i>	<i>Install/Maintain/Remove Erosion Control</i>	<i>1.000</i>	<i>LS</i>	<i>31,500.00</i>	<i>31,500.00</i>
<i>EROSION CONTROL INCLUDES: (1) 2,600 LF Wattles, (2) 16 EA Drain Inlet Protection and (3) 1 EA Concrete Washout.</i>					
<i>AA3.00</i>	<i>Hydroseed Type 6 Surfacing Area</i>	<i>106,000.000</i>	<i>SF</i>	<i>0.15</i>	<i>15,900.00</i>
<i>AA4.00</i>	<i>Process Wet Soils After Rain Event</i>	<i>1.000</i>	<i>DY</i>	<i>5,000.00</i>	<i>5,000.00</i>

---

\*\*Notes:  
 Items in italics are Non-Additive.



## Raymond, Heidi

---

**From:** Hucik, Joe  
**Sent:** Thursday, March 16, 2023 10:48 PM  
**To:** Lee, Jeffrey; Raymond, Heidi  
**Subject:** Fwd: SCUSD Chavez-Kemble ES Increment 1 Grading/Paving and Site/Bldg Demo Proposal  
**Attachments:** GBI SCUSD Kemble-CHavez ES Proposal Revised.pdf  
**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Jeff / Heidi - please see attached proposal from Goodfellow Bros for the site demo scope to be uploaded to building connected. I am not sure if they're listed as bidding or invited to that package.

Thanks

Get [Outlook for Android](#)

---

**From:** Steven Thomas <steventh@goodfellowbros.com>  
**Sent:** Thursday, March 16, 2023 5:40:34 PM  
**To:** Hucik, Joe <JHucik@Balfourbeattyus.com>  
**Subject:** SCUSD Chavez-Kemble ES Increment 1 Grading/Paving and Site/Bldg Demo Proposal

**External Email**

Joe,

Here is our proposal including buildings and site demo as described in the proposal.

Thank you.

**Steven Thomas**  
Senior Estimator

**C:** 916-439-9209  
**E:** [steventh@goodfellowbros.com](mailto:steventh@goodfellowbros.com)  
**W:** [www.goodfellowbros.com](http://www.goodfellowbros.com)

2340 E Bidwell St Folsom CA 95630

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# SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal: \$833,907

Submitted Mar 17, 2023 at 9:32 AM PDT

**Goodfellow Bros. California, LLC**

2340 East Bidwell Street, Folsom, CA 95630, United States of America

Submitted on behalf of Goodfellow Bros. California, LLC by Heidi Raymond

## General Acknowledgments

Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.

By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.

Are you utilizing any DVBE subcontractors?

Is bidder DVBE certified?

By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.

Is the bidder prequalified with Balfour Beatty Construction, LLC?

By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.

Contractors License number?

977506

License Classification?

DIR Registration number?

EMR Rate?

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

## Bond Information

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

## Certifications

Do you represent a certified minority business?

---

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

---

### Additional Information

---

#### Notes

This quote was emailed directly to Joe Hucik on 3/16/23 @ 5:40PM

### Attachments

---

 GBI SCUSD Kemble-CHave... (237 KB)



March 16, 2023

Balfour Beatty Construction, LLC  
400 Capitol Mall, Suite 900  
Sacramento, CA 95814

Attn: Joe Hucik [jhucik@balfourbeattyus.com](mailto:jhucik@balfourbeattyus.com)  
Re: SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation  
Bid Proposal 31.20 Earthwork and Asphalt Paving & Site and Bldg Demo

Dear F&H Team,

**Goodfellow Bros. California, LLC**, is pleased to provide the following proposal for the above referenced project. Our bid is based on bid plans and specifications for the above noted project. **We acknowledge 2 addendums.**

Please see the clarifications below for additional information related to this proposal.

**Pricing - Please See Attached Breakdown**

#### **PROPOSAL SPECIFIC INCLUSIONS/EXCLUSIONS**

- Excludes hiring private utility locating companies.
- Based on 4" of AB at trailer yard and site parking.
- Export soil is assumed to be suitable for unrestricted reuse and meet the environment screening levels (ESLs) for residential reuse per the criteria established by the California Regional Water Control Board. Price includes initial soils testing for export. Any further testing or reports, etc. is not included.
- Bid is based on the portable lift/moving pits can be accessed and excavated with a backhoe. Hand-digging is excluded.
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  - Demolish and remove the following buildings: Multi,RR,RR2,C14,C15,C35,C38-C40 (Building separation is excluded).
  - Includes SMAQMD notification for demolition.
  - Remove site concrete and AC.
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  - Remove steps, walls, fencing, gates and associated footings.
  - Remove bollards, rails, flag pole, BB poles, tether poles and associated footing.
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  - Excludes hazardous materials abatement.
  - Excludes disconnect utilities and cut/cap.
- Bid includes seal coat of new AC pavement surfaces.
- Bid includes grading Type 6 Surfacing area per grading plan. Hydroseeding, covering area with 20 mil plastic, manual watering of native vegetation/landscaping, and installing AB paved traffic lanes. Etc. as noted on 1CP101 is not included.

- Erosion control add-alternate includes wattles, inlet protection and one washout as noted in our price sheet. Other items shown such as inlet protection on inlets to be removed, silt pits, etc. are not included.
- Bid includes and add-alt for 2x8 header-boards at AC paving, which noted in the specs without specific info or plans details, if required.
- Includes an add-alt which consists of a tractor and laborer crew for one shift to pump standing water as a budget regarding the plan note to process wet soils after rain events.

## **EXCLUSIONS:**

1. Removal disposal or relocation of existing utilities, other than irrigation noted.
2. Testing, removal and handling of contaminated, hazardous or buried materials
3. All bonds, fees, permits, engineering, staking and testing.
4. Dust control when our crews are not physically working on the site, such as after normal working hours and weekends.
5. Capping, sealing or abandoning of existing utilities, wells, etc.
6. Removal, disposal and backfill of utility lines other than noted
7. Removal and Backfill of portable units footings/slabs, etc. or for any other structures.
8. Import of topsoil.
9. Dewatering
10. vapor barrier or sand at building pads.
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13. Underground, concrete, electrical, wall, fence, landscape and irrigation work.
14. Water meters, sewer cleanouts or roof leader connections.
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18. Shoring, bracing or protection of existing structures.
19. Construction of bio-swales (i.e. import material, drain rock, pipe, sod and landscape).
20. Supply or installation of moisture/root barriers.
21. Tarping of loads.

## **CLARIFICATIONS**

1. GBI requires 72 hours notice prior to starting any work in order to notify Underground Service Alert (USA). **All privately owned utilities will need to be located by others.**
2. GBI is not responsible for unforeseen conditions not reasonably identifiable or apparent within the reports provided by owner.
3. The asphalt bid price based on \$810 per ton of liquid asphalt (October Valero RACK). Any increase in price of \$10.00 or greater will be subject to a price increase of \$.60 per ton of asphalt
4. One move-in per phase.
5. Clear, unobstructed and continuous access in each phase of work.
6. Any phasing of work will result in additional costs.
7. Working 5 x 8-hour days. Any overtime requested will result in additional costs.
8. Any work requested to be done in bad weather or wet conditions will result in additional costs.
9. There will be no repairs of damage by others at our expense without prior notification to GBI.
10. If the job is operated with any nonunion subcontractors on site, a two-gate system will be required.
11. Pricing does not include impacts related to AB5, which may significantly impact trucking costs. These costs cannot be determined at this time due to the uncertainty within the bill.

12. GGBI uses standard construction equipment and is not responsible for any damage due to vibrations or any other reason.
13. This proposal is based on construction water being available from an onsite source, such as a fire hydrant. No provision for water rationing, or buying water is included (i.e. inflated water rates, non-potable water from sewer plants, etc.).
14. Participation in any Wrap-up (OCIP, CCIP, or CIP) Insurance program is subject to review of the actual policy, including all attachments and endorsements applicable to this project, or any other projects to which this program may apply. The insurance credit will not exceed our insurance policy premium. Any credits will be for primary CGL coverage only (excess liability or any other coverage credits do not apply). In no event shall our contribution to a self insured retention or deductible under a Wrap-up program exceed our GL policy deductible.
15. This proposal is based on utilizing a combination of GPS technology and standard construction staking. We will require five control points and a complete CAD file.
16. If this proposal is accepted, we will participate in constructing an agreeable schedule.
17. Release of retention to be within 30 days of completion of our work. This applies even if the work has not been accepted by the governing agency, if such delay is no fault of GGBI.
18. Extra work to be performed at a fixed price, or time and materials based on the current GGBI rates.
19. Contract language is subject to review and approval prior to proceeding with work. This proposal shall be made a part of any subsequent contract.
20. This proposal remains in effect for 30 days.

Goodfellow Bros. California, LLC, appreciates the opportunity to bid your project. Please contact me should you have any questions.

Steven Thomas  
Estimator  
(916) 439-9209

Goodfellow Bros. California, LLC  
50 Contractors Street, Livermore, CA 94551  
P.O. Box 598, Wenatchee, WA 98807  
P 925 \ 245 \ 2100 | F 925 \ 449 \ 5875  
CL# 977506 ▪ Equal Opportunity Employer

**GOODFELLOWBROS.COM**

03/16/2023  
 ST23-0070  
 \*\*\* Steven Thomas

17:26  
 Chavez/Kemble ES Inc. 1

**BID TOTALS**

<u>Biditem</u>	<u>Description</u>	<u>Quantity</u>	<u>Units</u>	<u>Unit Price</u>	<u>Bid Total</u>
31.20 EARTHWORK & ASPHALT PAVING BASE BID					
1.00	4" Rock Trailer Yard/Site Parking	13,000.000	SF	3.00	39,000.00
2.00	Protect Exist. Trees to Remain (#12/1CD101A)	7.000	EA	335.00	2,345.00
5.00	Protect Exist. Utility Boxes (#17/1CD101A)	1.000	LS	1,400.00	1,400.00
6.00	Stabilized Construction Entrances	2.000	EA	7,200.00	14,400.00
7.00	Downspout/Bard Units Splash Blocks (#16/1CS502)	78.000	EA	125.00	9,750.00
8.00	Striping/Signs/Red Curbs/Whl Stops (1CS501&502)	1.000	LS	12,200.00	12,200.00
9.00	Ex/Backfill Lifting Pits @ Relocated Portables	104.000	EA	145.00	15,080.00
10.00	Rough Grade & Backfill Demo/Utility Voids	2,625.000	CY	20.00	52,500.00
11.00	Off-Haul Spoils From Grading & Asphalt Paving Only	3,100.000	CY	62.00	192,200.00
12.00	Type 5 AB Paving (8"AB) @ Portable Bldg. Pads	17,800.000	SF	6.00	106,800.00
13.00	Type 4 Conc. Paving (4"AB/ Conc.by Others)	2,800.000	SF	9.35	26,180.00
14.00	Type 1 AC Paving (3.5"AC/ 9"AB)	7,800.000	SF	14.80	115,440.00
15.00	Type 3 AC Paving (3"AC/ 6"AB)	560.000	SF	21.70	12,152.00
16.00	Fine Grade Landscape Area	104,000.000	SF	0.30	31,200.00
17.00	AC Curb (#18/1CS501)	200.000	LF	65.00	13,000.00
18.00	Cut-in Curbs @ New Trash Encl. (#8/1AS501)	1.000	LS	5,000.00	5,000.00
19.00	Patch AC @ Electrical Trench (Add #2)	300.000	SF	14.20	4,260.00
20.00	Site & Building Demo	1.000	LS	181,000.00	181,000.00

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31.20 EARTHWORK/ASPHALT PAVING BASE BID TOTAL \$833,907.00

ADD ALTERNATES

<i>AA1.00</i>	<i>Install/Maintain/Remove Erosion Control</i>	<i>1.000</i>	<i>LS</i>	<i>31,500.00</i>	<i>31,500.00</i>
	EROSION CONTROL INCLUDES: (1) 2,600 LF Wattles, (2) 16 EA Drain Inlet Protection and (3) 1 EA Concrete Washout.				
<i>AA3.00</i>	<i>Hydroseed Type 6 Surfacing Area</i>	<i>106,000.000</i>	<i>SF</i>	<i>0.15</i>	<i>15,900.00</i>
<i>AA4.00</i>	<i>Process Wet Soils After Rain Event</i>	<i>1.000</i>	<i>DY</i>	<i>5,000.00</i>	<i>5,000.00</i>

\*\*Notes:  
 Items in italics are Non-Additive.

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal: \$585,326

Submitted Mar 24, 2023 at 4:12 PM PDT

Frontline General Construction

Union City, CA, United States of America

JPP | jp@frontlinegeconstruction.com

**Cannot Bond Project**

### General Acknowledgments

<p>Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.</p>	<p>Yes</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.</p>	<p>Yes</p>
<p>Are you utilizing any DVBE subcontractors?</p>	<p>No</p>
<p>Is bidder DVBE certified?</p>	<p>No</p>
<p>By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.</p>	<p>Yes</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.</p>	<p>Yes</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.</p>	<p>Yes</p>
<p>Is the bidder prequalified with Balfour Beatty Construction, LLC?</p>	<p>Yes</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.</p>	<p>Yes</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.</p>	<p>Yes</p>
<p>Contractors License number?</p>	<p>1047164</p>
<p>License Classification?</p>	<p>A</p>
<p>DIR Registration number?</p>	<p>1000634065</p>
<p>EMR Rate?</p>	<p>1.0</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.</p>	<p>Yes</p>



## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

Yes

### Bond Information

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

2 %

### Certifications

Do you represent a certified minority business?

Yes

### Additional Information

#### Notes

Please note this is a Bid Revision.

### Attachments

 BID REVISION - 02.40 Existi... (861 KB)



# BID REVISION

Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930

## SCUSD CHAVEZ-KEMBLE ES INC. 1 – PORTABLE RELOCATION

### Scope of Work

Frontline General Engineering Construction proposes to furnish labor, materials, and equipment to perform Site Work for the above-referenced project. This proposal is based on the scope of work shown on the drawings, specifications, bid form and the following clarifications/exclusions listed below. This proposal is contingent upon contract terms and conditions being acceptable to. Thank you for this opportunity to bid on this scope of work, and we look forward to working with you.

**Acknowledged Addendums: Addendum #1 and #2**

### Scope of Work and Cost Breakdown:

<b>1. MOBILIZATION &amp; SITE OVERHEAD</b>	<b>\$9,561.00</b>
<b>2. DEMOLITION</b>	<b>\$484,281.00.00</b>
a. BREAKOUT COST FOR IRRIGATION LINE DEMO: \$7,776.00	
<b>INITIAL TOTAL BASE BID</b>	<b>\$493,842.00</b>
<b>1. 02.40.022 &amp; 02.40.023</b>	
a. REMOVE FLOORING AND BASE FROM PORTABLES	<b>\$81,984.00</b>
<b>2. CREDIT FOR TRANSFORMER REMOVAL</b>	<b>(-\$10,000.00)</b>
<b>3. PARC</b>	<b>\$19,500.00</b>
<b>UPDATED TOTAL BASE BID</b>	<b>\$585,326.00</b>

### Important Notes:

- TOTAL OFFHAUL FOR ASPHALT, CONCRETE AND DIRT: 1658 CUBIC YARDS
- Remaining off haul for Chain link fence, Utility structures etc.: 300 Cubic Yards
- Sheet 1CD101A Excluded Demolition and Reinstallation of ECE Transformer
- Sheet 1CD101A Excluded Cut, Cap, Or Patch Any Site Utility Demo'd by Others

Friday, March 24, 2023



**FRONTLINE**  
GENERAL ENGINEERING  
CONSTRUCTION INC.

# BID REVISION

Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930

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- Demolition of non-salvaged electrical gear is excluded.
- Demolition of Gas line based on quantity found on sheet 1PS101 – 2140 LF.
- Clear and Grub scope is excluded from Demolition Scope.
- Safe off by others assumed for Electrical Demolition.

Frontline General Engineering Construction Inc. appreciates the opportunity to bid on this scope of work and look forward to working with you on this project. Should you have any questions feel free to reach Jesus Pedroza at Office: (510) 954-0739 or Mobile: (510) 520-2464.

Best regards,

**Jesus Pedroza.**





# BID REVISION

Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930

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## Terms and Conditions

- Release of Retention – Maximum retention shall be no more than 10% of original contract amount plus or minus adjustments for changes in scope of work. All retention shall be released upon completion of our scope of work and no retention shall be held after acceptance of our scope of work. Under no circumstances will retention be held beyond our completion and demobilization. If our scope of work is broken into two or more mobilizations due to circumstances beyond our control, retention held for work in each mobilization shall be released upon completion of the work in that mobilization.
- Delays due to acts or omissions of the owner, designer, other trades, public agencies, inclement weather beyond the norm, unavailability of materials, Civil unrest, Pandemics, acts of God, acts of the Public Enemy and all similar delays are excluded and compensable.
- Extra Work shall be performed under written direction only. Costs shall be calculated per the latest publication of the Caltrans rates. All Daily Extra Work Reports signed by any Owner or General Contractor representative, agent, employee, or assignee shall be accepted as final proof of liability for the work performed under the signed ticket.
- Frontline General Engineering Construction is an established union contractor. We are signatory to operators and laborers, and the ability to bond our projects. Please add 2% to the contract if required bonding.

## General Exclusions:

**All exclusions mentioned below are applicable unless specified otherwise in the Scope of Work or Important Notes mentioned above.**

1. All permits are excluded – we can apply for permits and pass on the cost if you need us to.
2. All design work is excluded.
3. All handling, transport, permitting, testing, and discharge or disposal of hazardous and contaminated materials and or contaminated ground water is excluded. We assume all materials to be handled are clean. We assume all materials off hauled are re-usable as “clean fill”. The soil report does not indicate that contaminated materials are present.
4. All meter fees are excluded.
5. All fees and piping for temporary construction water are excluded.



# BID REVISION

**Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930**

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6. All erosion and sediment control work are excluded.
7. All fees and piping for construction Temp water are excluded.
8. All excavation, demolition, testing, handling, transport, and disposal of unshown underground obstructions, foundations, utilities, boulders larger than 3 ft in any dimension, and tanks are excluded.
9. All testing is excluded.
10. All handling and disposal of excess spoils generated by MEP, Landscaping and other trades is excluded. We can carry out this work if required per the unit prices quoted in the alternates.
11. All shoring of the mass excavation and structural excavations is excluded. Temporary shoring of utility trenches per OSHA during the performance of our work is included.
12. All installation, protection, and abandonment of monitoring wells is excluded.
13. All dewatering is excluded. Soils report states that no groundwater will be encountered.
14. All electrical work is excluded. All removal, relocation, installation of low and high voltage wiring, transformers, poles, and similar facilities is excluded.
15. All work on existing and new above and below ground street lighting, electroliers, luminaires, traffic and pedestrian control signaling, telemetry, CCTV and similar facilities is excluded.
16. All archaeological work and all handling of archaeological, historic, and human remains and the schedule impact of all such work is excluded.
17. All work outside of normal working hours and all overtime and holiday work is excluded.
18. All dust, noise, vibration, and other monitoring is excluded.
19. All fencing, security, guarding, and CCTV monitoring is excluded.
20. All soil stabilization, hydroseeding, winterizing is excluded. All dust control watering, stockpile covering, application of soil stabilizers, and similar measures necessary when we are not mobilized on site are excluded. We assume one mobilization to perform the work under this proposal.
21. All Cathodic protection is excluded.
22. All work shown on Plumbing, Electrical, Landscaping, plans is excluded. The grease interceptor is included.
23. All concrete structural, architectural, and flat work is excluded.



**FRONTLINE**  
GENERAL ENGINEERING  
CONSTRUCTION INC.

# BID REVISION

**Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930**

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- 24. All Survey control and Staking is excluded.
- 25. All underground work on exterior perimeter of building -- Waterproofing, drainboard, perimeter drain, backfill, soldier beam cutting, etc. – is excluded. Flex-Tend couplings or similar if required are excluded.
- 26. All Traffic Control is excluded.
- 27. Provision of Temp water and Portable Toilets is excluded.
- 28. Fire Water/Fire Sprinkler Design and review is excluded.
- 29. All connections to the buildings are excluded.
- 30. All Roof Drainage is excluded.
- 31. All Hydronic Pipe work is excluded.
- 32. Demolition of existing piping UNO are excluded.

If you have any questions regarding this proposal, please contact Jesus Pedroza at (510) 954 - 0739.

***Thank you for your Business.***



**FRONTLINE**  
GENERAL ENGINEERING  
CONSTRUCTION INC.

# CONSTRUCTION BID PROPOSAL

Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930

## SCUSD CHAVEZ-KEMBLE ES INC. 1 – PORTABLE RELOCATION

### Scope of Work

Frontline General Engineering Construction proposes to furnish labor, materials, and equipment to perform Site Work for the above-referenced project. This proposal is based on the scope of work shown on the drawings, specifications, bid form and the following clarifications/exclusions listed below. This proposal is contingent upon contract terms and conditions being acceptable to. Thank you for this opportunity to bid on this scope of work, and we look forward to working with you.

**Acknowledged Addendums: Addendum #1 and #2**

### Scope of Work and Cost Breakdown:

<b>1. MOBILIZATION &amp; SITE OVERHEAD</b>	<b>\$9,561.00</b>
<b>2. DEMOLITION</b>	<b>\$484,281.00.00</b>
<b>TOTAL BASE BID</b>	<b>\$493,842.00</b>

### Important Notes:

- Sheet 1CD101A Excluded Protect Trees If Needed
- Sheet 1CD101A Excluded Remove Shade Structure And Conc Footings
- Sheet 1CD101A Excluded Remove Ex Shed/Container
- Sheet 1CD101A Excluded Reinstallation Of ECE Transformer
- Sheet 1CD101A Excluded Cut, Cap, Or Patch Any Site Utility Demo'd By Others
- Demolition of non-salvaged electrical gear is excluded.
- Demolition of Gas line based on quantity found on sheet 1PS101 – 2140 LF.
- Reinstallation of existing transformers and other electrical equipment is excluded.
- Clear and Grub scope is excluded.
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Frontline General Engineering Construction Inc. appreciates the opportunity to bid on this scope of work and look forward to working with you on this project. Should you have any questions

Thursday, March 16, 2023



**FRONTLINE**  
GENERAL ENGINEERING  
CONSTRUCTION INC.

# CONSTRUCTION BID PROPOSAL

**Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930**

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feel free to reach Jesus Pedroza at Office: (510) 954-0739 or Mobile: (510) 520-2464.

Best regards,

**Jesus Pedroza.**







**FRONTLINE**  
GENERAL ENGINEERING  
CONSTRUCTION INC.

# CONSTRUCTION BID PROPOSAL

Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930

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## Terms and Conditions

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**FRONTLINE**  
GENERAL ENGINEERING  
CONSTRUCTION INC.

# CONSTRUCTION BID PROPOSAL

**Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930**

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9. All testing is excluded.
10. All handling and disposal of excess spoils generated by MEP, Landscaping and other trades is excluded. We can carry out this work if required per the unit prices quoted in the alternates.
11. All shoring of the mass excavation and structural excavations is excluded. Temporary shoring of utility trenches per OSHA during the performance of our work is included.
12. All installation, protection, and abandonment of monitoring wells is excluded.
13. All dewatering is excluded. Soils report states that no groundwater will be encountered.
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**FRONTLINE**  
GENERAL ENGINEERING  
CONSTRUCTION INC.

# CONSTRUCTION BID PROPOSAL

**Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930**

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If you have any questions regarding this proposal, please contact Jesus Pedroza at (510) 954 - 0739.

***Thank you for your Business.***

## Raymond, Heidi

---

**From:** Hucik, Joe  
**Sent:** Thursday, March 16, 2023 10:45 PM  
**To:** Lee, Jeffrey; Raymond, Heidi  
**Subject:** Fwd: SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation Grading  
**Attachments:** 31.20 Earthwork and Asphalt Paving PROPOSAL - Frontline General Engineering Construction.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Jeff / Heidi -

Please see attached to be uploaded to the grading scope of work for Frontline. They had issues uploading.

Thanks

Get [Outlook for Android](#)

---

**From:** Jesus Pedroza <jp@frontlineconstruction.com>  
**Sent:** Thursday, March 16, 2023 7:48:14 PM  
**To:** Hucik, Joe <JHucik@Balfourbeattyus.com>  
**Cc:** Samraat Gupta <samraat@frontlineconstruction.com>  
**Subject:** SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation Grading

External Email

Joe,

Attached is my proposal for site grading, Link for building connected was not working.

Best Regards,  
Jesus Pedroza  
Frontline General Engineering Construction, Inc.  
MAIN: 510.954.0739 | DIRECT: 510.520.2464  
[www.frontlineconstruction.com](http://www.frontlineconstruction.com)





**FRONTLINE**  
GENERAL ENGINEERING  
CONSTRUCTION INC.

# CONSTRUCTION BID PROPOSAL

Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930

## SCUSD CHAVEZ-KEMBLE ES INC. 1 – PORTABLE RELOCATION

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Frontline General Engineering Construction proposes to furnish labor, materials, and equipment to perform Site Work for the above-referenced project. This proposal is based on the scope of work shown on the drawings, specifications, bid form and the following clarifications/exclusions listed below. This proposal is contingent upon contract terms and conditions being acceptable to. Thank you for this opportunity to bid on this scope of work, and we look forward to working with you.

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### Scope of Work and Cost Breakdown:

<b>1. MOBILIZATION &amp; SITE OVERHEAD</b>	<b>\$9,561.00</b>
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### Important Notes:

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- Sheet 1CD101A Excluded Remove Ex Shed/Container
- Sheet 1CD101A Excluded Reinstallation Of ECE Transformer
- Sheet 1CD101A Excluded Cut, Cap, Or Patch Any Site Utility Demo'd By Others
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Thursday, March 16, 2023



**FRONTLINE**  
GENERAL ENGINEERING  
CONSTRUCTION INC.

# CONSTRUCTION BID PROPOSAL

**Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930**

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feel free to reach Jesus Pedroza at Office: (510) 954-0739 or Mobile: (510) 520-2464.

Best regards,

**Jesus Pedroza.**





**FRONTLINE**  
GENERAL ENGINEERING  
CONSTRUCTION INC.

# CONSTRUCTION BID PROPOSAL

Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930

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## Terms and Conditions

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**FRONTLINE**  
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# CONSTRUCTION BID PROPOSAL

**Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930**

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21. All Cathodic protection is excluded.
22. All work shown on Plumbing, Electrical, Landscaping, plans is excluded. The grease interceptor is included.
23. All concrete structural, architectural, and flat work is excluded.





**FRONTLINE**  
GENERAL ENGINEERING  
CONSTRUCTION INC.

# CONSTRUCTION BID PROPOSAL

Lic.:1047164 • DIR:1000634065 • MBE:2200049 • SBE:2017930

---

- 24. All Survey control and Staking is excluded.
- 25. All underground work on exterior perimeter of building -- Waterproofing, drainboard, perimeter drain, backfill, soldier beam cutting, etc. – is excluded. Flex-Tend couplings or similar if required are excluded.
- 26. All Traffic Control is excluded.
- 27. Provision of Temp water and Portable Toilets is excluded.
- 28. Fire Water/Fire Sprinkler Design and review is excluded.
- 29. All connections to the buildings are excluded.
- 30. All Roof Drainage is excluded.
- 31. All Hydronic Pipe work is excluded.
- 32. Demolition of existing piping UNO are excluded.

If you have any questions regarding this proposal, please contact Jesus Pedroza at (510) 954 - 0739.

***Thank you for your Business.***

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal: \$493,842

Submitted Mar 16, 2023 at 2:07 PM PDT

**Frontline General Engineering Construction INC**

34519 Torrey Pine Lane, Union City, CA 94587, United States of America

Jesus Pedroza Pedroza | Estimator | +1 510-520-2464 | jp@frontlinegeneralconstruction.com

### General Acknowledgments

Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.	Yes
Are you utilizing any DVBE subcontractors?	No
Is bidder DVBE certified?	No
By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.	Yes
Is the bidder prequalified with Balfour Beatty Construction, LLC?	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.	Yes
Contractors License number?	1047164
License Classification?	A
DIR Registration number?	1000634065
EMR Rate?	1
By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.	Yes

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

Yes

### Bond Information

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

2 %

### Certifications

Do you represent a certified minority business?

Yes

### Attachments

 02.40 Existing Conditions - ... (861 KB)

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal: \$656,900

Submitted Mar 29, 2023 at 7:40 AM PDT

**Dutch Contracting Inc**

Sacramento, CA, United States of America



Submitted on behalf of Dutch Contracting Inc by Joe Hucik

### General Acknowledgments

<p>Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.</p>	Yes
<p>By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.</p>	Yes
<p>Are you utilizing any DVBE subcontractors?</p>	Yes
<p>Is bidder DVBE certified?</p>	Yes
<p>By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.</p>	Yes
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.</p>	Yes
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.</p>	Yes
<p>Is the bidder prequalified with Balfour Beatty Construction, LLC?</p>	Yes
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.</p>	Yes
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.</p>	Yes
<p>Contractors License number?</p>	
<p>License Classification?</p>	
<p>DIR Registration number?</p>	
<p>EMR Rate?</p>	
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.</p>	Yes

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## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

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By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

Yes

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### Bond Information

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

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### Certifications

Do you represent a certified minority business?

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### Additional Information

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### Notes

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### Attachments

 Chavez Kimble- DEMO 202... (460 KB)



2201 Francisco Dr. 140-136  
 El Dorado Hills, Ca. 95762  
 CLSB 1002925  
 DIR1000030292

# Proposal

**Proposal Date:** 3/16/2023  
**Proposal #:** 2023-037

**Project:**

Chavez Kemble New Construction/  
 DEMO

Description	Quantity	UOM	Total
Chavez Kemble New Construction Addendum: 1-2 Approved Project Plans by Warren Consulting Civil Plan Sheets Only ICG102A and ICP101 Geotechnical Report by XXX dated XXX			
Dutch Contracting, Inc. proposes to furnish all labor, equipment and materials for the completion of the following items on the above mentioned project. All work to be performed in conformance with the plans and specifications of the GENERAL CONTRACT and subject to the terms and conditions contained herein: Prevailing Wage labor requirements to be met.			
Description: Mobilize all resources to site, Demolish all pcc, ac , buildings, wet utilities,gas lines, electrical lines clear and grub, tree removals as shown, all grading compaction for our work. Includes fine grade, AB placement and compaction, AC Paving. 02.40 Existing Conditions-Demo			
1. Mobilization- 2 Each One Mobilization for Demolition, Grading and Wet Utilities, One mobilization AB Placement, and one for AC Paving.	1	EA	7,500.00
2. Demolition / Clear and Grub- 02.40 Clear and Grub Grasses and Trees Demolition of AC Pavements Demolition of PCC walks, curbs, walls, footings etc.. Demolition of buildings Demolition of underground utilities	1	LS	649,400.00
<b>Total</b>			



2201 Francisco Dr. 140-136  
 El Dorado Hills, Ca. 95762  
 CLSB 1002925  
 DIR1000030292

**Proposal**

**Proposal Date:** 3/16/2023  
**Proposal #:** 2023-037

**Project:**

Chavez Kemble New Construction/  
 DEMO

Description	Quantity	UOM	Total
<p>Proposal Assumptions:            Adequate staging areas within 500 lf of work area for all equipment and materials.            Access for minimum 12 foot width and 12 foot height for all equipment            Protection of adjacent facilities            Project to be constructed without sub stacking</p> <p>Exclusions:            SURVEY, Bioswale, PERMITS, HYDROSEED, SECURITY, Sanitary, temp fencing, project phasing, hazardous handling or disposal, CIVIL Plan sheets only, offhaul of spoils or import for others, OVEREXCAVATION or LIME TREATMENT, rock excavation, dewatering, soil mitigation, staking or survey, dust control when not onsite, electrical or plumbing excavation or backfill. Landscaping of any kind, footing excavations or thickened edges, footing aggregates, PCC concrete, slurry seal, cape seal, striping or signage. Any work not shown on civil plan sheets is excluded. Excludes electrical, pump station pumps or systems. Building connections at utility lines.</p>			
	<b>Total</b>		



2201 Francisco Dr. 140-136  
 El Dorado Hills, Ca. 95762  
 CLSB 1002925  
 DIR1000030292

**Proposal**

**Proposal Date:** 3/16/2023  
**Proposal #:** 2023-037

**Project:**  
 Chavez Kemble New Construction/  
 DEMO

Description	Quantity	UOM	Total
<p>BID IS LUMP SUM FOR ALL ITEMS OF WORK AND IS NOT SPLITTABLE WITHOUT WRITTEN CONSENT. ANY ITEMS NOT SPECIFICALLY INCLUDED ON THIS PROPOSAL ARE EXCLUDED.</p> <p>THE TERMS AND CONDITIONS WITHIN THIS BID PROPOSAL SHALL BE INCORPORATED INTO ANY CONTRACT RESULTING THEREFROM, AND SHALL GOVERN OVER ANY CONFLICTING PROVISIONS IN SAID CONTRACT. IN THE EVENT WE ARE LOW BIDDER A FORMAL CONTRACT SUITABLE TO BOTH PARTIES SHALL BE PREPARED AND FULLY EXECUTED AND NEITHER PARTY SHALL BE BOUND UNTIL THE CONTRACT IS FULLY EXECUTED.</p>			
			<p><b>Total</b> \$656,900.00</p>



# SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal: \$19,500

Submitted Mar 17, 2023 at 9:37 AM PDT

**PARC Specialty Contractors**

1400 Vinci Ave, Sacramento, CA 95838, USA

Submitted on behalf of PARC Specialty Contractors by Heidi Raymond

## General Acknowledgments

Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.

By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.

Are you utilizing any DVBE subcontractors?

Is bidder DVBE certified?

By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.

Is the bidder prequalified with Balfour Beatty Construction, LLC?

By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.

Contractors License number? 732375

License Classification? C21, C22, C39

DIR Registration number? 1000005967

EMR Rate?

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

## Bond Information

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

## Certifications

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## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

---

Do you represent a certified minority business?  
.....

### Additional Information

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#### Notes

ABATEMENT ONLY  
Quote emailed directly to Joe Hucik on 3/16/23 @ 3:43 PM

### Attachments

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 PARC Proposal SCUSD Kem... (200 KB)

# PARC Specialty Contractors

1400 Vinci Avenue, Sacramento, California 95838  
Phone (916) 992-5405 Fax (916) 992-6177

---

March 16, 2023

Demo Contractors

Subject: SCUSD Edward Kemble Campus, Kemble-Chavez ES Increment 1, 7495 29th Street, Sacramento, CA 95822

PARC is pleased to submit for your approval the following amount for labor, materials, equipment, waste hauling & disposal, OSHA Asbestos notification, insurance, and taxes to perform the work described below. We have included cost for required training, medical monitoring, and personal air sample testing for our workers. The proposal is based on paying Prevailing Asbestos Removal labor wage rates and performing the work during normal work hours, an 8-Hour shift between the hours of 6 AM to 5 PM, Monday through Friday, holidays excluded. All our work shall be performed in accordance with Federal, State and Local regulations.

The following amount is based on SCUSD DSA Approved Project Manual & Specification dated February 27,2023; Lionakis Increment 1 DSA 100% CD Drawings dated November 28, 2022; Entek Consulting Group Hazardous Materials Survey Final Report dated September 7, 2022; Balfour Beatty Joe Hucik's Scope Narrative; and Standard Industry Practices. Addendum 1 & 2 are acknowledged.

**Abatement Proposal Amount: \$19,500.00 (Nineteen Thousand Five Hundred Dollars)**  
**If Performance & Payment Bonds are required, please add 1.75% to the above amount.**

**Light, power, and water are required for abatement and reasonable access to services must be available and supplied by the GC at no cost to PARC.**

**Containment:**

PARC Set Up; Exterior asbestos work will have a regulated work area created by demarcation of area using delineators, asbestos warning tape & signs.

**Scope of Work:** PARC will remove the entire Metal Roof due to asbestos roofing mastic on Portables 35, 38-40 which are all scheduled to be demolished. PARC will remove all roofing split seam & cap locations found on 6 ridgelines between 35-37, 38-40, 41-42.

**Standard Exclusions:** PARC excludes building, demolition & encroachment permits. We exclude locating, marking, capping, relocation, removal, and safe-off of utilities; civil demolition; clearance inspections & testing by consultant (conflict of interest); concrete x-ray; concrete saw-cutting; concrete removal; fire watch; hard barriers; landscape protection/work; Lay-out; MEP demo; prep for new work; scaffolding; security; shoring; structural demolition; SWPPP; temp fencing; temp lighting; temp power; temp restroom facilities; traffic control; weather protection, and replacement of materials removed.

**PROPOSAL TERMS:** This proposal shall be incorporated into any contract and attached to it as an Exhibit. PARC carries liability, worker's compensation, and auto insurance. Unless otherwise stated, the customer agrees to supply sufficient water and electricity at no cost to PARC. The customer acknowledges that abatement/demolition may require the application of tape and staples to set up and install required containments and agrees PARC will not be held responsible for minor damage, prep for new work, or for re-painting. PARC shall not be responsible for weather protection or for damages resulting from weather. Protection of the facility from vandalism is the responsibility of the General Contractor. **This proposal is subject to change and may be withdrawn if not accepted within 60 days of the above date.** Unless otherwise noted, this is a lump sum proposal, any quantities listed are informational only and not to be used for deductive pricing.

**PAYMENT TERMS:** Cash forthwith for any portion of work commenced and completed in any one calendar month are due and payable within 30 calendar days of receipt of invoice. Balance of contract price including **Retention** are due and payable **within 90 days** of completion of contracted work by PARC and receipt of invoice. Unpaid monies shall be subject to a finance charge of 1.5% per month. The customer agrees to compensate PARC for any collection related costs, including reasonable attorney fees, if full payment is not timely made to PARC. The customer agrees that the court of jurisdiction, for any claim, shall be in Sacramento County.

Thank you for your consideration. Please call if you have any questions.

Stuart Webb  
Project Manager  
PARC Specialty Contractors  
[swebb@parcspecialty.com](mailto:swebb@parcspecialty.com)  
Mobile (916) 201-0884

Accepted:

\_\_\_\_\_  
Signature Date  
  
\_\_\_\_\_  
Printed Name, Title, Phone

# PARC Specialty Contractors

1400 Vinci Avenue, Sacramento, California 95838  
Phone (916) 992-5405 Fax (916) 992-6177

---

March 16, 2023

Demo Contractors

Subject: SCUSD Edward Kemble Campus, Kemble-Chavez ES Increment 1, 7495 29th Street, Sacramento, CA 95822

PARC is pleased to submit for your approval the following amount for labor, materials, equipment, waste hauling & disposal, OSHA Asbestos notification, insurance, and taxes to perform the work described below. We have included cost for required training, medical monitoring, and personal air sample testing for our workers. The proposal is based on paying Prevailing Asbestos Removal labor wage rates and performing the work during normal work hours, an 8-Hour shift between the hours of 6 AM to 5 PM, Monday through Friday, holidays excluded. All our work shall be performed in accordance with Federal, State and Local regulations.

The following amount is based on SCUSD DSA Approved Project Manual & Specification dated February 27,2023; Lionakis Increment 1 DSA 100% CD Drawings dated November 28, 2022; Entek Consulting Group Hazardous Materials Survey Final Report dated September 7, 2022; Balfour Beatty Joe Hucik's Scope Narrative; and Standard Industry Practices. Addendum 1 & 2 are acknowledged.

**Abatement Proposal Amount: \$19,500.00 (Nineteen Thousand Five Hundred Dollars)**  
**If Performance & Payment Bonds are required, please add 1.75% to the above amount.**

**Light, power, and water are required for abatement and reasonable access to services must be available and supplied by the GC at no cost to PARC.**

**Containment:**

PARC Set Up; Exterior asbestos work will have a regulated work area created by demarcation of area using delineators, asbestos warning tape & signs.

**Scope of Work:** PARC will remove the entire Metal Roof due to asbestos roofing mastic on Portables 35, 38-40 which are all scheduled to be demolished. PARC will remove all roofing split seam & cap locations found on 6 ridgelines between 35-37, 38-40, 41-42.

**Standard Exclusions:** PARC excludes building, demolition & encroachment permits. We exclude locating, marking, capping, relocation, removal, and safe-off of utilities; civil demolition; clearance inspections & testing by consultant (conflict of interest); concrete x-ray; concrete saw-cutting; concrete removal; fire watch; hard barriers; landscape protection/work; Lay-out; MEP demo; prep for new work; scaffolding; security; shoring; structural demolition; SWPPP; temp fencing; temp lighting; temp power; temp restroom facilities; traffic control; weather protection, and replacement of materials removed.

**PROPOSAL TERMS:** This proposal shall be incorporated into any contract and attached to it as an Exhibit. PARC carries liability, worker's compensation, and auto insurance. Unless otherwise stated, the customer agrees to supply sufficient water and electricity at no cost to PARC. The customer acknowledges that abatement/demolition may require the application of tape and staples to set up and install required containments and agrees PARC will not be held responsible for minor damage, prep for new work, or for re-painting. PARC shall not be responsible for weather protection or for damages resulting from weather. Protection of the facility from vandalism is the responsibility of the General Contractor. **This proposal is subject to change and may be withdrawn if not accepted within 60 days of the above date.** Unless otherwise noted, this is a lump sum proposal, any quantities listed are informational only and not to be used for deductive pricing.

**PAYMENT TERMS:** Cash forthwith for any portion of work commenced and completed in any one calendar month are due and payable within 30 calendar days of receipt of invoice. Balance of contract price including **Retention** are due and payable **within 90 days** of completion of contracted work by PARC and receipt of invoice. Unpaid monies shall be subject to a finance charge of 1.5% per month. The customer agrees to compensate PARC for any collection related costs, including reasonable attorney fees, if full payment is not timely made to PARC. The customer agrees that the court of jurisdiction, for any claim, shall be in Sacramento County.

Thank you for your consideration. Please call if you have any questions.

Stuart Webb  
Project Manager  
PARC Specialty Contractors  
[swebb@parcspecialty.com](mailto:swebb@parcspecialty.com)  
Mobile (916) 201-0884

Accepted:

\_\_\_\_\_  
Signature Date  
  
\_\_\_\_\_  
Printed Name, Title, Phone

## Lee, Jeffrey

---

**From:** Hucik, Joe  
**Sent:** Thursday, March 16, 2023 10:56 PM  
**To:** Lee, Jeffrey; Raymond, Heidi  
**Subject:** Fwd: ACM - SCUSD Chavez-Kemble Campus per Entek Report  
**Attachments:** PARC Proposal SCUSD Kemble-Chavez Portable Roof Demo.pdf

Jeff, Heidi - please see attached proposal from an abatement Sub to be carried on the demolition package with all bidders.

Would prefer all demo bidders to add this to their number and carry direct. Please track eventually adding this to all bidders' contract amounts after discussing with them at interviews next week.

Thanks

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---

**From:** Stuart Webb <swebb@parcspecialty.com>  
**Sent:** Thursday, March 16, 2023 3:43:48 PM  
**To:** Hucik, Joe <JHucik@Balfourbeattyus.com>  
**Subject:** RE: ACM - SCUSD Chavez-Kemble Campus per Entek Report

**External Email**

Here you go Joe, It was great to hear from you.

Thank you,  
**Stuart Webb**  
Project Manager/Estimator



**Office Line** [916.992.5405](tel:916.992.5405) | **Cell** [916.201.0884](tel:916.201.0884)  
**Fax Line** [916.992.6177](tel:916.992.6177) | [swebb@parcspecialty.com](mailto:swebb@parcspecialty.com)  
1400 Vinci Ave., Sacramento, CA 95838

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---

**From:** Hucik, Joe <JHucik@Balfourbeattyus.com>  
**Sent:** Thursday, March 16, 2023 2:52 PM  
**To:** Stuart Webb <swebb@parcspecialty.com>  
**Subject:** ACM - SCUSD Chavez-Kemble Campus per Entek Report

Stuart –

Nice catching up with you, the buildings in question are referenced on the attached Haz Mat Survey. More specifically on the sampling map on page 110 of 146 that shows classrooms 35, 36, 37, 38, 39, 40, 41, and 42.

The sample ranges appear to range from 289A(-) to 337.5A(-), pages 58 to 66. Primarily none of the samples detected asbestos greater than 1% from my interpretation, however the few samples show up as having <1 Chrysotile at roof.

307A	Gray metal roof mastic , portable 36	<1 CHRYSOTILE	Opaques Polyethylene
------	---	---------------	-------------------------

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In speaking with Entek who prepared this report, they recommend just for the metal roofing material and mastic to dispose of material as non-hazardous asbestos waste. Any roofing split seam locations would need to be treated onsite. The rest of the material to be disposed of as general construction. No lead abatement would be required for these portables 35-42 per my conversation w/ Entek and attached sampling report. So 4 roofs and 6 ridgelines it appears in total.

Thanks!

**Joe Hucik, Assoc. DBIA**

Senior Project Manager | Balfour Beatty

O: (916) 760-0805 | C: (916) 220-9391

E: [jhucik@balfourbeattyus.com](mailto:jhucik@balfourbeattyus.com) | [www.balfourbeattyus.com](http://www.balfourbeattyus.com)

**Balfour Beatty**

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## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal: \$59,000

Submitted Mar 16, 2023 at 11:38 AM PDT

**JM Environmental, Inc.**

213 Kenroy Lane, Roseville, CA 95678 US

Tonja Moore | Vice President | +1 916-773-2740 | tmoore@jmenv.com



### General Acknowledgments

Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.	Yes
Are you utilizing any DVBE subcontractors?	No
Is bidder DVBE certified?	No
By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.	Yes
Is the bidder prequalified with Balfour Beatty Construction, LLC?	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.	Yes
Contractors License number?	693564
License Classification?	A,B,C-21,C-22, ASB, HAZ
DIR Registration number?	1000002409
EMR Rate?	.68
By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.	Yes

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award. Yes

### Bond Information

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above) 2.50 %

### Certifications

Do you represent a certified minority business? No

### Additional Information

#### Notes

Good Afternoon,  
We appreciate the opportunity to submit the attached proposal for the SCUSD Chavez-Kemble Elementary School project. We're bidding on the Asbestos Abatement Roofing Mastic scope of work.  
  
If you have any questions regarding this proposal, you can reach the Project Manager, John Moore, directly at 916-802-8035.  
  
Thank you,  
Tonja Moore, Vice President  
JM Environmental, Inc.  
916-726-0304  
www.jmenv.com

### Attachments

 Chavez-Kemble ES Bid Prop... (99 KB)





JM Environmental, Inc.  
Lic. #693564 DOSH #578

SCUSD Chavez-Kemble ES  
Asbestos Abatement  
Roof Mastic

# Proposal

Date	Proposal #
3/15/2023	E27988

**To:**

Clark & Sullivan Construction  
Joel Mitchell  
1340 Blue Oaks Blvd., Suite 150  
Roseville, CA 95678  
916-338-7707 Office, 916-521-3755 Cell

**Job Site:**

S.C.U.S.D.  
Chavez-Kemble Elementary School  
7495 29th Street  
Sacramento, CA 95822

Claim #/P.O. #	Terms	PM	Loss	Project
N/A	Net 30	A	Demolition	Asbestos Abatement

Scope of Work:	Total
<p>Remove and dispose of identified asbestos containing building materials (roofing penetration mastic) in preparation for portable relocation and demolition, tasks as follows:</p> <p><b>WORK AREAS:</b> Portable Roofs x 8 north elevation</p> <p>1.) Mobilize manpower and equipment to complete the project in a professional and timely manner complying with all local, state and federal regulations adhering to OSHA, EPA and Air Quality Management District guidelines.</p> <p>2.) Supply personal protective equipment (respirators, suits, goggles, gloves, etc.) for cross trained and certified employees throughout duration of project.</p> <p>3.) Install critical barriers/engineering controls to isolate work areas: barriers, cones, caution tape, signage, ground drops, etc.</p> <p><b>ASBESTOS ABATEMENT:</b></p> <p>4.) JM Environmental, Inc. technicians to remove/abate asbestos containing roofing penetration mastic preparing work area for separation, relocation and demolition.</p> <p>5.) Package all waste in 6 mil poly bags prior to leaving work area.</p> <p>6.) HEPA vac and wet wipe to decontaminate all vertical and horizontal surfaces throughout work areas.</p>	

By signing this proposal, customer acknowledges and agrees that he/she: (1) is entering into an agreement with JM Environmental, Inc. in accordance with this proposal; and (2) has read and is agreeing to be bound by the general terms and conditions provided herewith.	<b>Total</b>
---	--------------

Proposal accepted by: \_\_\_\_\_ Date: \_\_\_\_\_



JM Environmental, Inc.  
Lic. #693564 DOSH #578

SCUSD Chavez-Kemble ES  
Asbestos Abatement  
Roof Mastic

# Proposal

Date	Proposal #
3/15/2023	E27988

**To:**

Clark & Sullivan Construction  
Joel Mitchell  
1340 Blue Oaks Blvd., Suite 150  
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916-338-7707 Office, 916-521-3755 Cell

**Job Site:**

S.C.U.S.D.  
Chavez-Kemble Elementary School  
7495 29th Street  
Sacramento, CA 95822

Claim #/P.O. #	Terms	PM	Loss	Project
N/A	Net 30	A	Demolition	Asbestos Abatement

Scope of Work:	Total
<p>7.) Apply sprayed encapsulant to all abated surfaces throughout work areas.</p> <p>8.) Load, transport and dispose of all generated debris to an accredited waste facility including waste profiling and manifesting as applicable, adhering to EPA and DOT regulations.</p> <p>9.) Third party visual clearance to be coordinated by JM Environmental, Inc, and performed by others. Third party to bill customer directly. Clearance fees not included within this proposal.</p> <p>10.) JM Environmental, Inc. to provide good housekeeping practices throughout project, keep site free of trash, debris, etc.</p> <p>11.) JM Environmental, Inc. shall not be responsible for damages due to necessary abatement procedures. JM Environmental, Inc. shall make all reasonable effort to prevent such damage.</p> <p>12.) All work done in accordance with applicable Local, State, and Federal Regulations.</p> <p>13.) Repair or replacement of impacted structural, architectural, mechanical, or electrical items is excluded.</p> <p>14.) Proposal includes all applicable fees, OSHA notifications, labor, supplies, etc. necessary to complete this project.</p> <p>15.) JM Environmental, Inc. DIR#1000002409.</p>	

By signing this proposal, customer acknowledges and agrees that he/she: (1) is entering into an agreement with JM Environmental, Inc. in accordance with this proposal; and (2) has read and is agreeing to be bound by the general terms and conditions provided herewith.	<b>Total</b>
--	--------------

Proposal accepted by: \_\_\_\_\_ Date: \_\_\_\_\_



JM Environmental, Inc.  
Lic. #693564 DOSH #578

SCUSD Chavez-Kemble ES  
Asbestos Abatement  
Roof Mastic

# Proposal

Date	Proposal #
3/15/2023	E27988

**To:**

Clark & Sullivan Construction  
Joel Mitchell  
1340 Blue Oaks Blvd., Suite 150  
Roseville, CA 95678  
916-338-7707 Office, 916-521-3755 Cell

**Job Site:**

S.C.U.S.D.  
Chavez-Kemble Elementary School  
7495 29th Street  
Sacramento, CA 95822

Claim #/P.O. #	Terms	PM	Loss	Project
N/A	Net 30	A	Demolition	Asbestos Abatement

Scope of Work:	Total
<p>16.) JM Environmental, Inc. to comply with PLA and roofers union criteria.</p> <p>17.) Note: This is a prevailing wage project to be accompanied by certified payroll.</p> <p>18.) JM Environmental, Inc. is licensed and insured for this project as follows: (A-General Engineering), (B-General Building), (C21-Demolition), (C22-Selective Demolition), (ASB-Asbestos), (HAZ-Hazardous Materials). Contractor's License Number: 693564.</p> <p>19.) Proposal includes General Liability Insurance (coverage up to \$5,000,000.00), Workman's Compensation Insurance, Auto Insurance, mobilization, demobilization, equipment decontamination fees, equipment wear and tear, warehousing, and administration fees.</p> <p>20.) JM Environmental, Inc. acknowledges addendum 1 &amp; 2.</p>	
<b>Total Price:</b>	<b>59,000.00</b>

By signing this proposal, customer acknowledges and agrees that he/she: (1) is entering into an agreement with JM Environmental, Inc. in accordance with this proposal; and (2) has read and is agreeing to be bound by the general terms and conditions provided herewith.	<b>Total</b>	<b>\$59,000.00</b>
---	--------------	--------------------

Proposal accepted by: \_\_\_\_\_ Date: \_\_\_\_\_

## Raymond, Heidi

---

**From:** Hucik, Joe  
**Sent:** Thursday, March 16, 2023 1:56 PM  
**To:** Lee, Jeffrey; Raymond, Heidi  
**Subject:** FW: Kemble Chavez  
**Attachments:** Kemble Chavez.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Jeff / Heidi – please upload Als Land Clearings proposal to the Demo Bid Package. Leave blank the info other than price we'd need them to fill out. We can update in post bid interview.

Thanks,

### Joe Hucik, Assoc. DBIA

Senior Project Manager | Balfour Beatty  
O: (916) 760-0805 | C: (916) 220-9391  
E: [jhucik@balfourbeattyus.com](mailto:jhucik@balfourbeattyus.com) | [www.balfourbeattyus.com](http://www.balfourbeattyus.com)

### Balfour Beatty

---

**From:** Hucik, Joe  
**Sent:** Thursday, March 16, 2023 12:59 PM  
**To:** Chad Randall <[chad@alslandclearing.com](mailto:chad@alslandclearing.com)>; Mike Santos <[mike@alslandclearing.com](mailto:mike@alslandclearing.com)>  
**Subject:** RE: Kemble Chavez

Chad / Mike – please upload to Building Connected as well. We are requesting everything to be formally uploaded by 2pm this afternoon.

Thank you,

### Joe Hucik, Assoc. DBIA

Senior Project Manager | Balfour Beatty  
O: (916) 760-0805 | C: (916) 220-9391  
E: [jhucik@balfourbeattyus.com](mailto:jhucik@balfourbeattyus.com) | [www.balfourbeattyus.com](http://www.balfourbeattyus.com)

### Balfour Beatty

---

**From:** Chad Randall <[chad@alslandclearing.com](mailto:chad@alslandclearing.com)>  
**Sent:** Wednesday, March 15, 2023 12:06 PM  
**To:** Hucik, Joe <[JHucik@Balfourbeattyus.com](mailto:JHucik@Balfourbeattyus.com)>  
**Cc:** Mike Santos <[mike@alslandclearing.com](mailto:mike@alslandclearing.com)>  
**Subject:** Kemble Chavez

External Email

Hi Joe,

Please see attached quote for the work at Kemble Chavez. Let me know if you have any questions.

Thanks!

Chad

Al's Land Clearing, Inc.  
Mobile 916-458-1475  
Office 916-482-2161  
Fax 916-482-4168

[Visit our Facebook Page!](#)

[chad@alslandclearing.com](mailto:chad@alslandclearing.com)





Proposal

Date

Wednesday, March 15, 2013



3001 Arden Way, Suite D  
Sacramento, CA 95835

Office (916) 484-1611  
Fax (916) 484-1668

Job: Kemble Chavez  
Contact: Joe - Hucik

Description of Work	Qty	Unit	Price	Amount
<p><b>Site and Building Demolition</b>  Demolish and remove the following buildings:  Multi,RR,RR2,C14,C15,C35,C38-C40  Includes SMAQMD notification for demolition only  Remove site concrete and AC  Remove trees, stumps and brush  Remove steps, walls, fencing, gates and associated footings  Remove bollards, rails, flag pole, BB poles, tether poles and associated footings</p> <p><b>Specific Clarifications</b>  1 Mobilization included  Underground utility removal has not been included  Grass and weed removal has not been included  Utilities must be disconnected and verified before start of work  Building separation has been excluded. This will need to be done by others.  Hazardous material abatement has been excluded  No irrigation repair or capping has been included  Backfill has not been included, which includes post foundation backfill  Utility disconnects have not been included  AC evacuation has been included  Base rock removal has not been included  Sawcutting and/or layout excluded  Use of a water source, permit and meter must be provided for our use  Will adhere to skilled and trained requirements of LLB project</p>	1	LS	170,000.00	170,000.00
<b>Total</b>				<b>\$ 170,000.00</b>

Standard Exclusions: SWPPP  
Traffic Control  
  
Haz-Mat  
Asbestos & Lead  
Wells

Septic Tanks  
Permits and Fees  
Pothing  
Subsurface Debris  
Sawcutting & Layout  
Survey and Marking

For questions on estimate:

916-458-1475  
charles@alslandclearing.com

# SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal revision #2: \$172,000

Submitted Mar 17, 2023 at 9:27 AM PDT

**Als Land Clearing**

3001 Arden Way, Sacramento, CA 95825 US

Submitted on behalf of Als Land Clearing by Heidi Raymond

## General Acknowledgments

Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.

By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.

Are you utilizing any DVBE subcontractors?

Is bidder DVBE certified?

By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.

Is the bidder prequalified with Balfour Beatty Construction, LLC?

By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.

Contractors License number? 641421

License Classification? A, C21, D49

DIR Registration number? 1000005360

EMR Rate?

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

## Bond Information

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

## Certifications

---

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

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Do you represent a certified minority business?  
.....

### Additional Information

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#### Notes

The quote was emailed directly to Joe Hucik on 3/15/2023 @ 12:06PM

### Attachments

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 Al's Land Clearing.pdf (50 KB)



09.60: Flooring  
Generated March 30, 2023

**Leveled Bid**  
Base Bid  
Estimated Cost  
**\$154,229**

**LINE ITEMS**

Flooring			
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**OTHER COSTS**

(N) Carpet and Base at CR 41, 42, 36, & 37 per 1/AS403			\$20,314
Attic Stock at 10%			\$7,288
Deduct Moisture Testing			-\$882
Minor Substrate Prep	Included		
(N) Thresholds at Doorways			\$9,600
VCT and Transition Strips	Included		
Uzin Floor Skimming and Floating at 2,856 SF			
Bond			\$3,809

**GENERAL ACKNOWLEDGMENTS**

Bidder acknowledges that Balfour Beatty-Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.

By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.

Are you utilizing any DVBE subcontractors?

Is bidder DVBE certified?

By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.

Is the bidder prequalified with Balfour Beatty Construction, LLC?

By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.

Contractors License number?

License Classification?

DIR Registration number?

EMR Rate?

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

**BOND INFORMATION**

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

**CERTIFICATIONS**

Do you represent a certified minority business?

Summary

Hoem & Associates  
Submitted by Adam Zuur

**\$156,163**  
\$116,034  
Original Proposal, March 16, 2023

Unit	Unit Cost	Total Cost
		\$116,034

**\$40,129**

		\$20,314
		\$7,288
		-\$882
Included		
		\$9,600
Included		
SEE ALLOWANCES		
		\$3,809

YES

YES

NO

NO

YES

YES

YES

YES

YES

YES

381718

C-15

1000003325

.81

YES

YES

**BOND INFORMATION**

2.50%

**CERTIFICATIONS**

NO

Thanks for the opportunity and please let me know if you have any questions. Thanks!

B. T. Mancini Co., Inc.  
Submitted by Kurt Alameda

**\$247,014**  
\$189,577  
Original Proposal, March 16, 2023

Unit	Unit Cost	Total Cost
		\$189,577

**\$37,230**

		\$37,230
Included		
Included		
Included		
		\$9,600
Included		
		\$8,257
		\$2,350

YES

NO

NO

NO

YES

YES

YES

YES

YES

NO

229210

C-15

1000002989

58%

YES

YES

**BOND INFORMATION**

.01%

**CERTIFICATIONS**

NO

Universal Flooring, Inc.  
Submitted by Roger Schneider

**\$296,827**  
\$273,500  
Original Proposal, March 16, 2023

Unit	Unit Cost	Total Cost
		\$273,500

**\$23,327**

Included		
Included		
Included		
Included		
		\$9,600
Included		
		\$8,257
		\$5,470

YES

YES

NO

NO

YES

YES

YES

NO

YES

YES

813425

C-15

1000003729

2021 = .79 2022=1.16

YES

YES

**BOND INFORMATION**

2.00%

**CERTIFICATIONS**

YES

We are Small Business certified but we are waiting for the DGS to get us our new certificate. Ours expired 2/28.



951 Linden Avenue  
 South San Francisco, CA 94080-1753  
 Phone [650] 871.5194 Fax [650] 875.1048

# PROPOSAL



Proposal Number  

Date: 3/14/23

Submitted to:  
 Balfour Beatty  
 Bid Due: 3.16.2023  
 Joe Hucik

SCUSD Chavez-Kemble Portable Classrooms  
 7495 29th St.  
 Sacramento, CA

PROPOSAL VALID FOR 30 DAYS FROM THIS DATE

Addenda:

Furnish and Install per plans and Specs:

Date of Plans: 2.27.2023

Code	Product	QTY	Unit	Sell	Total
CPT-1	Milliken "Journal Line By Line" glue down w/ PVC WellBac Comfort Cushion 19.7" x 19.7"	2012	SY	43.02	86,557.00
VSF	Basis-of-Design: Forbo Marmoleum Concrete Color TBD (\$30/SY Material Allowance)	124	SY	72.95	9,046.00
RB-1	TBD Coved 4" Rubber Wall Base Roll	3240	LF	3.14	10,174.00
Transition	TBD Transition Strip CPT to LSF	272	LF	9.64	2,623.00
	Moisture Test	1	EA	804.01	802.00
	Floor Prep Allowance (24 Hrs + Materials)	1	EA	3,981.62	3,982.00
	Cartage & Clean-Up	1	EA	1,763.62	1,764.00
	CA Carpet Stewardship Assessment	2012	SY	0.50	1,006.00
	Assumes standard color combinations for Journal CPT line; IF CUSTOM, upcharge will occur for material				
	Exclude Abnormal Floor Prep - Grinding, Leveling, Sanding, Scraping; Excludes any underlayment				
	Demo By Others Including Old Adhesive; Excludes Subfloor Repairs				
	Exclude Preformed Corners				
	Excludes OT or Schedule expediting; Excludes Janitorial				
	Door Sattle Threshold at Classroom Entrances By Others				
CPT Alt	Alternate: Add CPT in Classrooms 36,37,41 & 42	ADD		20,314.00	
RB-1	Add - Carpet Tiles in Classrooms 36, 37, 41 and 42	426	SY		
RB-1	Add - Rubber Base in Classrooms 36, 37, 41 and 42	480	LF		
CPT-1	Attick Stock - 10%	ADD		7,288.00	
VSF	Milliken "Journal Line By Line" glue down w/ PVC WellBac Comfort Cushion 19.7" x 19.7"	200	SY		
VSF	Basis-of-Design: Forbo Marmoleum Concrete	13	SY		
	Add- Provide Ram Board (or similar) Protection	<del>ADD</del>	<del>22055</del>	<del>7,543.00</del>	<del>0F</del>
	Add- 1/4" Underlayment Throughout (Recommended for Long Term Use in portables if needed) - Worst Case Scenario	ADD	107,190.00	22855	SF
	Add- Uzin Floor Skimming and Floating (Primer, Prep and Skim Throughout; Risk with use long term for portables) - Worst Case Scenario	ADD	66,051.00	22855	SF
	Add- Schedule Expediting (Running 1 additional crew at night for 1 week total)	ADD	38,364.00		

Not selected given short term use of portables by District prior to relocation at end of project

Carrying Allowance for 2,856 SF of Uzin Floor Skimming at removed subgrade for nailing plates in the amount of \$8,257.

Not carried in GMP, assuming work crew can handle during schedule per post bid interview

Contract Total: **\$116,034.00**

One Hundred Sixteen Thousand Thirty Four Dollars and No Cents

**Proposal inclusions and exclusions**  
 \* Proposal includes sales tax, job stocking, 24 hour of floor preparation, regular business hours installation and our 1 year installation warranty.  
 \* Proposal excludes night and weekend work, moving furniture and fixtures, demolition, vacuuming, washing/waxing, moisture tests, moisture protection, heating/lighting and protective coverings.  
 \* Additional floor preparation will be billed at \$165.00 per man hour plus materials.  
**Payment terms:**  
 \* Customer will be responsible for any cost or fees incurred in the collection of any past due invoices, including attorney fees and that past due invoices are subject to a 1.5% per month finance charge.

**ALL QUOTES ARE SUBJECT TO CREDIT APPROVAL**

ACCEPTANCE OF PROPOSAL The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified.  
 Payment will be made as outlined above

ACCEPTED BY: \_\_\_\_\_  
 Date: \_\_\_\_\_

*Adam Zura*

Adam@hoemassociates.com



951 Linden Avenue  
 South San Francisco, CA 94080-1753  
 Phone [650] 871.5194 Fax [650] 875.1048

# PROPOSAL



Proposal Number  

**SUBMITTED TO:**

Balfour Beatty  
 Bid Due: 3.16.2023  
 Joe Hucik

SCUSD Chavez-Kemble Portable Classrooms  
 7495 29th St.  
 Sacramento, CA

**Date:** 3/14/23

**Attn:**  
**Phone:** \_\_\_\_\_ **Fax:** \_\_\_\_\_

PROPOSAL VALID FOR 30 DAYS FROM THIS DATE  
**Addenda:** \_\_\_\_\_

Furnish and Install per plans and Specs:

Date of Plans: **2.27.2023**

Code	Product	QTY	Unit	Sell	Total
CPT-1	Milliken "Journal Line By Line" glue down w/ PVC WellBac Comfort Cushion 19.7" x 19.7"	2012	SY	43.02	86,557.00
VSF	Basis-of-Design: Forbo Marmoleum Concrete Color TBD (\$30/SY Material Allowance)	124	SY	72.95	9,046.00
RB-1	TBD Coved 4" Rubber Wall Base Roll	3240	LF	3.14	10,174.00
Transition	TBD Transition Strip CPT to LSF	272	LF	9.64	2,623.00
	Moisture Test	1	EA	881.81	882.00
	Floor Prep Allowance (24 Hrs + Materials)	1	EA	3,981.62	3,982.00
	Cartage & Clean-Up	1	EA	1,763.62	1,764.00
	CA Carpet Stewardship Assessment	2012	SY	0.50	1,006.00
	Assumes standard color combinations for Journal CPT line; IF CUSTOM, upcharge will occur for material				
	Exclude Abnormal Floor Prep - Grinding, Leveling, Sanding, Scraping; Excludes any underlayment				
	Demo By Others Including Old Adhesive; Excludes Subfloor Repairs				
	Exclude Preformed Corners				
	Excludes OT or Schedule expediting; Excludes Janitorial				
	Door Sattle Threshold at Classroom Entrances By Others				
	<b>Alternate: Add CPT in Classrooms 36,37,41 &amp; 42</b>	<b>ADD</b>		<b>20,314.00</b>	
CPT Alt	Add - Carpet Tiles in Classrooms 36, 37, 41 and 42	426	SY		
RB-1	Add - Rubber Base in Classrooms 36, 37, 41 and 42	480	LF		
	<b>Attick Stock - 10%</b>	<b>ADD</b>		<b>7,288.00</b>	
CPT-1	Milliken "Journal Line By Line" glue down w/ PVC WellBac Comfort Cushion 19.7" x 19.7"	200	SY		
VSF	Basis-of-Design: Forbo Marmoleum Concrete	13	SY		
	<b>Add- Provide Ram Board (or similar) Protection</b>	<b>ADD</b>		<b>7,543.00</b>	22855 SF

**Contract Total:** **\$116,034.00**

**One Hundred Sixteen Thousand Thirty Four Dollars and No Cents**

**Proposal inclusions and exclusions**

- \* Proposal includes sales tax, job stocking, 24 hour of floor preparation, regular business hours installation and our 1 year installation warranty.
- \* Proposal excludes night and weekend work, moving furniture and fixtures, demolition, vacuuming, washing/waxing, moisture tests, moisture protection, heating/lighting and protective coverings.
- \* Additional floor preparation will be billed at \$165.00 per man hour plus materials.

**Payment terms:**

- \* Customer will be responsible for any cost or fees incurred in the collection of any past due invoices, including attorney fees and that past due invoices are subject to a 1.5% per month finance charge.

**ALL QUOTES ARE SUBJECT TO CREDIT APPROVAL**

ACCEPTANCE OF PROPOSAL The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified.  
 Payment will be made as outlined above

**ACCEPTED BY:** \_\_\_\_\_

**Date:** \_\_\_\_\_

*Adam Zura*

[Adam@hoemassociates.com](mailto:Adam@hoemassociates.com)

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal: \$116,034

Submitted Mar 16, 2023 at 9:32 AM PDT

**Hoem & Associates**

951 Linden Ave, South San Francisco, CA 94080, USA

Adam Zuur | Principal | +1 415-695-4862 | +1 415-695-4862 | adam@hoemassociates.com



### General Acknowledgments

Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.	Yes
Are you utilizing any DVBE subcontractors?	No
Is bidder DVBE certified?	No
By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.	Yes
Is the bidder prequalified with Balfour Beatty Construction, LLC?	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.	Yes
By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.	Yes
Contractors License number?	381718
License Classification?	C-15
DIR Registration number?	1000003325
EMR Rate?	.81
By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.	Yes

## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

Yes

### Bond Information

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

2.50 %

### Certifications

Do you represent a certified minority business?





No

### Additional Information

#### Notes

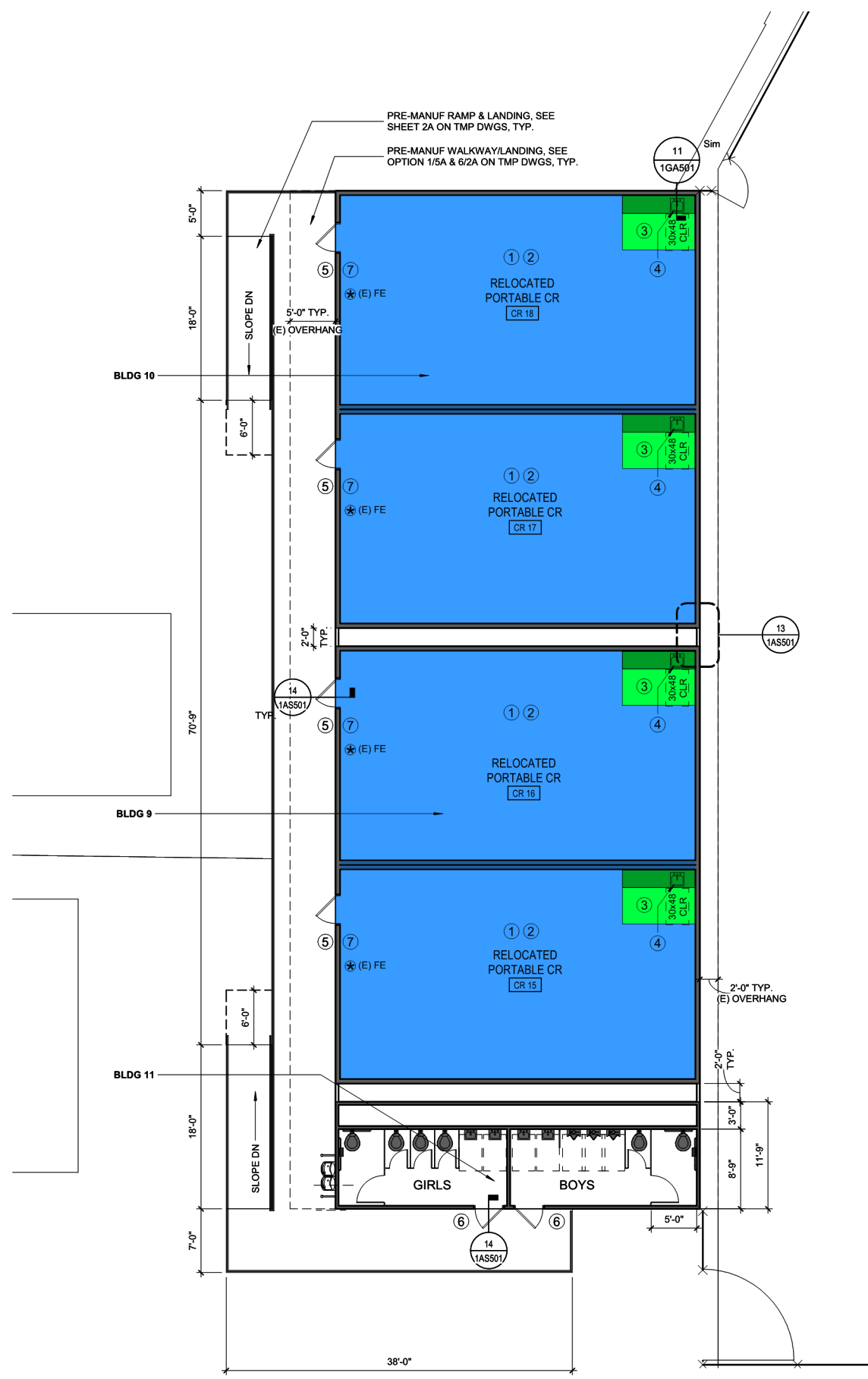
Thanks for the opportunity and please let me know if you have any questions. Thanks!

### Attachments

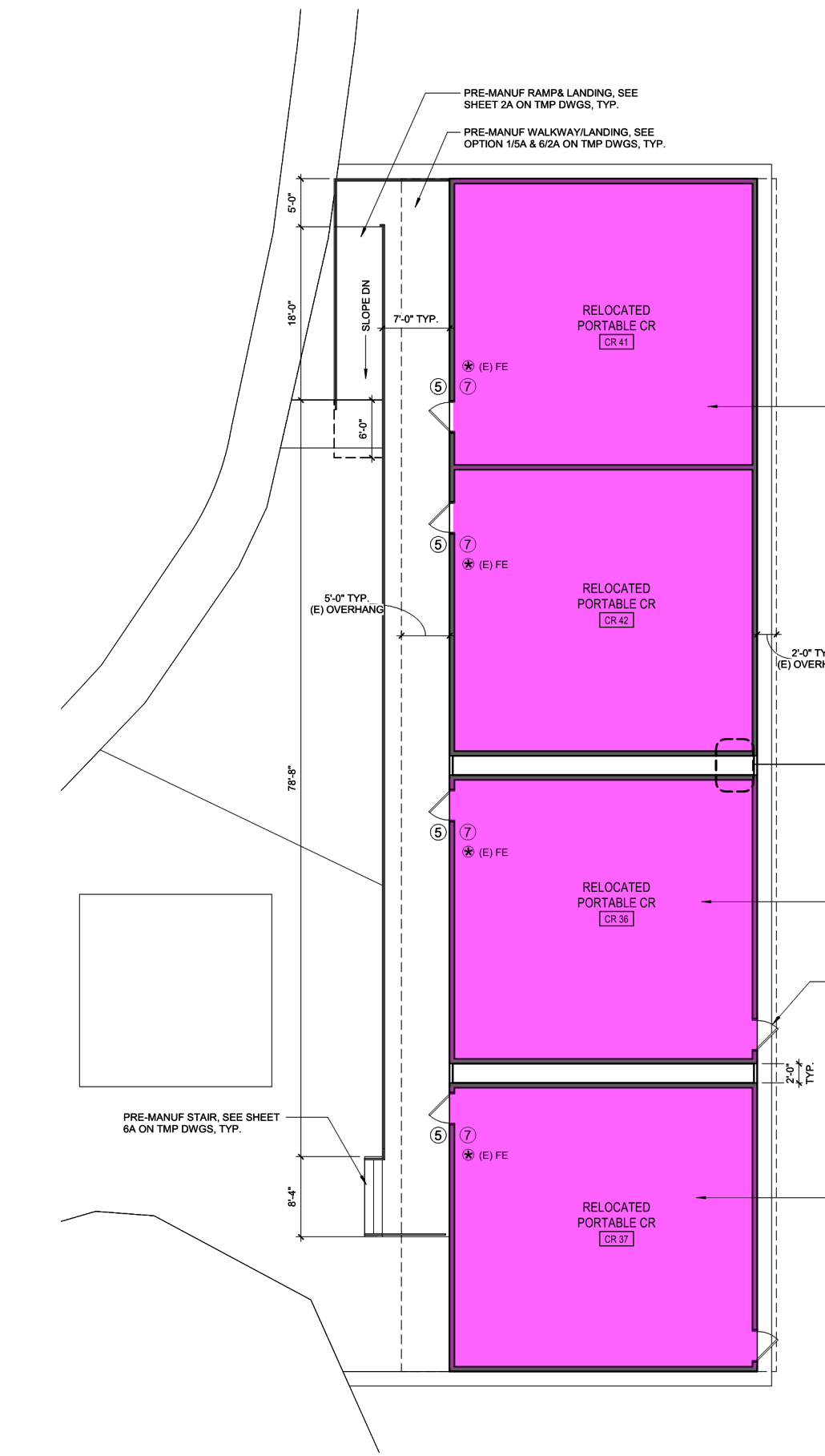
-  BalfourBeatty - Clark Sulliva... (406 KB)
-  SCUSD Chavez-Kemble Por... (1.1 MB)
-  SCUSD Chavez-Kemble Por... (883 KB)
-  SCUSD Chavez-Kemble Por... (1.1 MB)

- CPT Alt TBD Carpet Tiles
- CPT-1 TBD Carpet In Classrooms
- VSF Basis of Design Forbo Marmoleum Concrete

IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT  
 063 SCUSD Chavez - Kemble ES 022063\_ARCHSITE\_R20\_CENTRAL.rvt

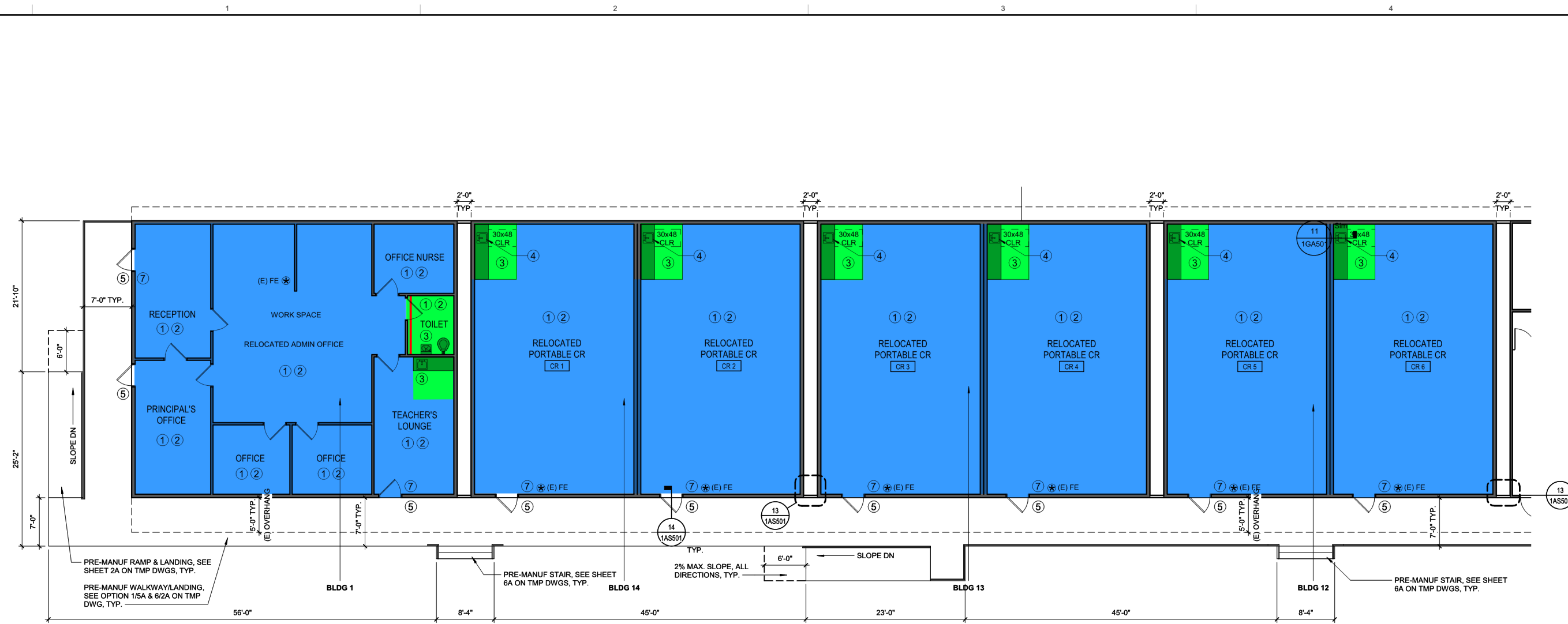


**1 ENLARGED SITE PLAN - AREA D**  
 SCALE 1/8" = 1'-0"



**2 ENLARGED SITE PLAN - AREA E**  
 SCALE 1/8" = 1'-0"

- CPT Alt TBD Carpet Tiles
- CPT-1 TBD Carpet In Classrooms
- VSF Basis of Design Forbo Marmoleum Concrete



### GENERAL NOTES

1. ALL NEW RAMPS TO BE IN COMPLIANCE WITH CBC 2019, SEE ATTACHED PREMANUFACTURED PC DRAWINGS.
2. SEE CIVIL DRAWINGS FOR DIMENSIONS NOT OTHERWISE SHOWN.
3. SEE CIVIL DRAWINGS FOR LOCATION OF ALL UNDERGROUND UTILITIES.
4. SEE PLUMBING SHEETS FOR ROUTING OF ALL UNDERGROUND GAS, WATER, AND SEWER LINES TO STORM DRAINAGE SYSTEM, AND ALL OTHERS SHOWN ON CIVIL DRAWINGS.
5. SEE ELECTRICAL DRAWINGS FOR LOCATION AND TYPES OF VARIOUS ELECTRICAL PULL BOXES AND LIGHT FIXTURES.
6. SEE SHEET 1GA102 FOR ACCESSIBLE PATH OF TRAVEL.
7. SEE CIVIL DRAWINGS FOR ALL ADA WALKWAYS, CURBS AND RAMPS.
8. ALL (E) CLASSROOM SIGNAGE TO BE REPLACED. CONTRACTOR TO PROVIDE FUNCTIONAL ROOM AND EXIT SIGN TO BE POSTED AT THE ENTRY PER CBC 11B-703 AND SHEET 1GA501.
9. PROVIDE REQ SIGNAGE AT RESTROOM PORTABLES PER CBC 11B-703.2.9.
10. SEE CIVIL FOR SANITARY SEWER & WATER LINE EXTENSIONS & PORTABLES.
11. ALL RELOCATED PORTABLE DOORS TO HAVE PUSH/PULL FORCE OF 5 LBS, PER CBC 11B-404.2.9.
12. ALL (E) ACCESSIBLE SINKS TO COMPLY WITH DTL 11/1GA-501.
13. ASSISTIVE LISTENING SYSTEM SIGN TO BE INSTALLED AT ALL RELOCATED PORTABLES PER DTL 11/1GA-501 FOR DETAILS. PRM PRO BY WILLIAMS SOUND TO BE PROVIDED.
14. GC TO COORDINATE NEW FENCE LOCATIONS WITH EXISTING IRRIGATION.

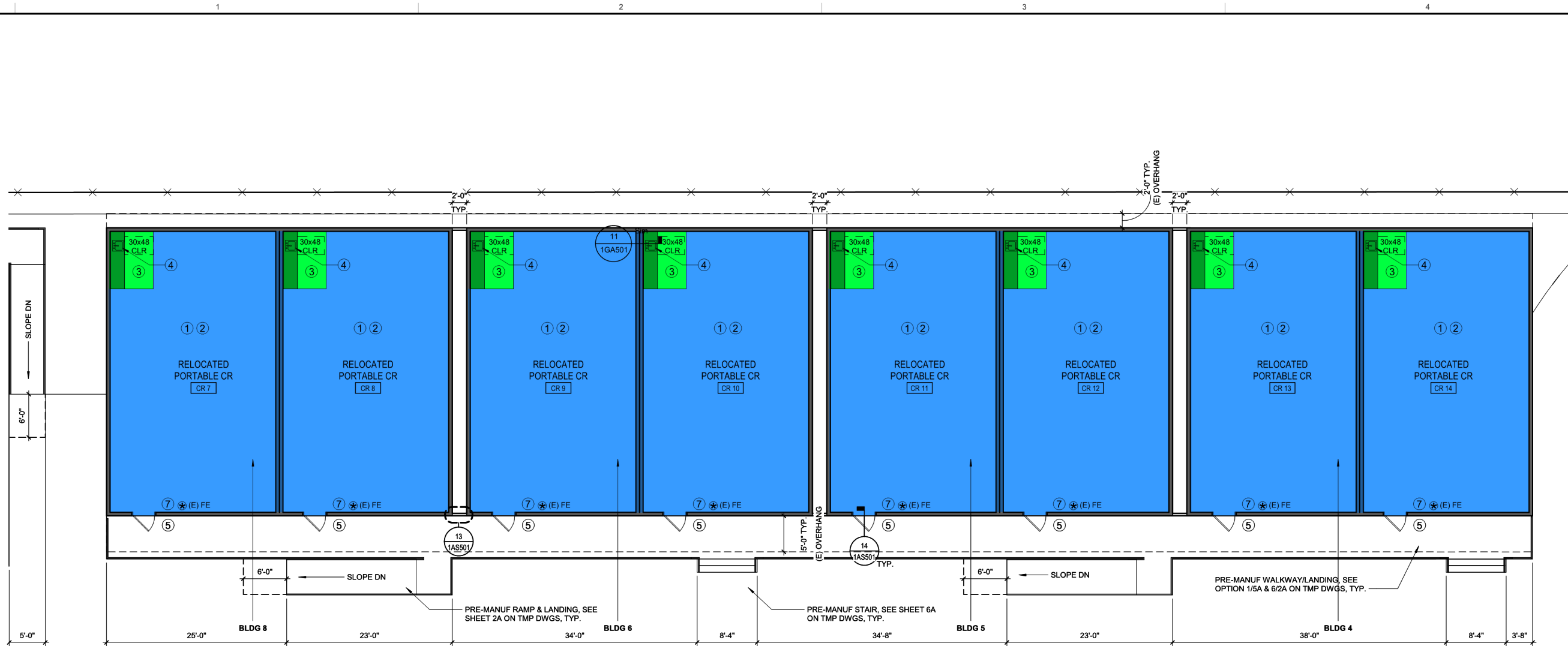
### LEGEND

- (E) RELOCATED FIRE EXTINGUISHER (2A)
- (E) FE



- CPT-1 TBD Carpet In Classrooms
- VSF Basis of Design Forbo Marmoleum Concrete

IF THIS SHEET IS NOT 30"x42", IT IS A REDUCED PRINT - SCALE ACCORDINGLY.



**GENERAL NOTES**

1. ALL NEW RAMPS TO BE IN COMPLIANCE WITH CBC 2. PREMANUFACTURED PC DRAWINGS.
2. SEE CIVIL DRAWINGS FOR DIMENSIONS NOT OTHERWISE SHOWN.
3. SEE CIVIL DRAWINGS FOR LOCATION OF ALL UNDERGROUND UTILITY LINES.
4. SEE PLUMBING SHEETS FOR ROUTING OF ALL UNDERGROUND UTILITY LINES TO STORM DRAINAGE CONNECTION POINTS SHOWN ON CIVIL DRAWINGS.
5. SEE ELECTRICAL DRAWINGS FOR LOCATION AND TYPICAL SYMBOLS FOR ELECTRICAL PULL BOXES AND LIGHT FIXTURES.
6. SEE SHEET 1GA102 FOR ACCESSIBLE PATH OF TRAVEL.
7. SEE CIVIL DRAWINGS FOR ALL ADA WALKWAYS, CURBS, AND RAMPWAYS.
8. ALL (E) CLASSROOM SIGNAGE TO BE REPLACED. COORDINATE WITH ARCHITECT FOR FUNCTIONAL ROOM AND EXIT SIGN TO BE POSTED. SEE SHEET 1GA501 FOR DETAILS.
9. PROVIDE REQ SIGNAGE AT RESTROOM PORTABLES.
10. SEE CIVIL FOR SANITARY SEWER & WATER LINE EXISTING AND PROPOSED.
11. ALL RELOCATED PORTABLE DOORS TO HAVE PUSH POUNDS, PER CBC 11B-404.2.9.
12. ALL (E) ACCESSIBLE SINKS TO COMPLY WITH DTL 11B-404.2.9.
13. ASSISTIVE LISTENING SYSTEM SIGN TO BE INSTALLED. SEE SHEET 1GA501 FOR DETAILS. PRM PRO BY WILLIAMS SOUND.
14. GC TO COORDINATE NEW FENCE LOCATIONS WITH EXISTING FENCE.

**LEGEND**

- \* (E) RELOCATED FIRE EXTINGUISHER
- E (E) FE





## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

Sent proposal: \$189,577

Submitted Mar 16, 2023 at 1:39 PM PDT

**B. T. Mancini Co., Inc.**

8571 23rd Avenue, Sacramento, CA 95826, USA

Kurt Alameda | Sales Consultant - Estimator | +1 916-381-3660 | +1 916-601-7434 | kurt.alameda@btmancini.com



### General Acknowledgments

<p>Bidder acknowledges that Balfour Beatty- Clark/Sullivan, a Joint Venture is dependent on the bids to establish a GMP with the District/Owner and that Balfour Beatty is reasonably relying on the bids. Therefore, bidder promises that it will not withdraw or unilaterally alter its bid for a period of 90 days after the date set for the opening of the bids. Bidder also acknowledges that if it fails to honor any of the promises in its bid then it is foreseeable that Balfour Beatty will be injured, and therefore bidder will be responsible for any resulting damages to Balfour Beatty, including but not limited to covering the difference for Balfour Beatty to proceed with a different subcontractor.</p>	<p>Yes</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply that they cannot add any exclusions, markups, etc. to the subcontract agreement included in the bid docs under Document 01304 Sample Long Form Subcontract or any other contract document listed in the bid manual.</p>	<p>No</p>
<p>Are you utilizing any DVBE subcontractors?</p>	<p>No</p>
<p>Is bidder DVBE certified?</p>	<p>No</p>
<p>By choosing "yes", the Bidder promises and represents that they have received notification and will comply with Addendums #1 and #2.</p>	<p>Yes</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Project Labor Agreement (PLA) upon award.</p>	<p>Yes</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Insurance Requirements for this project upon award.</p>	<p>Yes</p>
<p>Is the bidder prequalified with Balfour Beatty Construction, LLC?</p>	<p>Yes</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Front End and District Documents upon award.</p>	<p>Yes</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with the Bid Package in its entirety; Exhibit B, B1, B2 and B3 upon award.</p>	<p>No</p>
<p>Contractors License number?</p>	<p>229210</p>
<p>License Classification?</p>	<p>C-15</p>
<p>DIR Registration number?</p>	<p>1000002989</p>
<p>EMR Rate?</p>	<p>58%</p>
<p>By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing LCP Tracker upon award.</p>	<p>Yes</p>

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## SCUSD Chavez-Kemble ES Inc. 1 - Portable Relocation

7495 29th Street, Sacramento, CA 95822, United States of America

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By choosing "yes", the Bidder promises and represents that it can and will comply with this project utilizing Textura (cost to subcontractor .22% of contract value, not to exceed \$5,000) upon award.

Yes

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### Bond Information

---

Performance and Payment Bond Rate - only if total bid is over \$100,000 (Not to be included with bid price above)

0.01 %

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### Certifications

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Do you represent a certified minority business?

No

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### Attachments

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 BTM Proposal - SCUSD Cha... (1.3 MB)

 BTM Scope of Work Plans - ... (2.2 MB)

# B.T. Mancini Co., Inc.

8571 23<sup>rd</sup> Avenue  
Sacramento, CA 95826  
(916) 381-3660 Fax: (916) 381-6645  
CA Contractor's License #: 229210  
NV Contractor's License #:0010497  
DIR #: 1000002989  
www.btmancini.com



## BID PROPOSAL - FLOORING

**Company:** Balfour Beatty

**Date:** 3/16/2023

**Contact:** Joe Hucik

**Project:** SCUSD – Chavez Kimble ES Inc. 1 – Portable Relocation

**Phone:** 916-220-9391

**Project Address:** 7495 29<sup>th</sup> Street  
Sacramento, CA 95822

**Email:** jhucik@balfourbeattyus.com

### BID OVERVIEW:

**B.T. Mancini Co., Inc.** to furnish and install materials listed below in accordance with specification sections,

Section 09 68 00 Carpet	Section 09 65 00 Resilient Flooring
-------------------------	-------------------------------------

and with sheets,

1AS401 Enlarged Site Plan	1AS402 Enlarged Site Plan	1AS403 Enlarged Site Plan	1AS403 Alternate Rooms CR36, 37, 41, 42	1AS501 Site Details
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of plans prepared by **Lionakis**, dated **02/27/23** wherein all provisions listed on this proposal are honored.

- **1, 2 Addenda Noted.**
- All work to be completed only in areas, with materials, and in the proposed layout, shown on the attached colored plan, entitled: **“BTM HIGHLIGHTED WORK PLAN – SCUSD Chavez Kimble Portable Relocation Inc. 1”** in order to maintain listed pricing.

### MATERIALS INCLUDED:

1. **Carpet:** CPT1 Tarkett Aftermath II 6' Broadloom Powerbond RS, Color TBD. See Price #1 on page 4 for this option.
2. **Carpet tile:** CPT Tile 1 Milliken Journal Line By Line 50cm x 50cm, Color: TBD. See Price #2 on page 4 for this option.
3. **Linoleum sheet:** Lino1 Forbo Sheet Concrete, Color: TBD, (Net Fit Seams).
4. **Rubber base:** RB1 Roppe Pinnacle 4" Coved, Color: TBD.
5. **Plywood underlayment:** Traxx ¾" x 4' x 5' plywood board. **New plywood for BTM Scope of Work ONLY.**

### OTHER SERVICES INCLUDED/KEY NOTES:

1. **Normal Floor Prep:** See attached definition of “Normal Floor Prep” as compared to “Major Floor Prep.”
2. **Attic Stock:** Per project specifications.

### EXCLUSIONS: (To be made part of the Contract Documents)

1. Moisture testing **\*\*\*NOTE: In an effort to provide and maintain the product manufacturer's warranties, B.T. Mancini Co. can provide information for independent concrete testing companies.\*\*\***
2. Scanning, x-rays, or any other work to determine location and/or complete moisture testing where post-tension cables exist in slab.
3. Moisture remediation (including all surface preparation if moisture remediation is administered by other parties.)
4. BT Mancini is excluding “integrated walk off mats”. There is not a product or manufacture listed in specs or plans to price.
5. BT Mancini is excluding “Closure Trim and Thresholds” per detail 14/1AS501.
6. Overtime; nights or weekends.
7. Temperature and humidity control.
8. Dust or Infectious control containment.
9. The removal and relocation of furniture, counters, equipment or any other items inhibiting continuous flooring installation.
10. Demo of any existing adhesive, and/or any other materials or residues existing on slab.
11. Asbestos and/or mold removal (including, but not limited to, floor covering and adhesives)
12. Major floor preparation (including, but not limited to: cleaning and filling of saw cuts, ramping, sloping and leveling of new or existing concrete, **unforeseen sub floor repairs**, and any grinding of new or existing concrete to make flat, smooth or to remove existing adhesives.) Please see final page under heading “Major and Normal Floor Preparation” for a more detailed explanation of included and excluded services regarding floor preparation.
13. Any demo or removal of other trades' construction materials, including, but not limited to: marking pen, paint, oils, grease, curing compounds, release agents, sealers, taping mud, fire caulking.
14. Demo, Preparation, and Replacement of rejected mock-up locations. Work of this nature can be performed only as an “ADD” to the **BASE BID**.
15. Final cleaning and waxing/polishing of resilient flooring, vacuuming of carpet, and the provision of cleaning or waxing products.
16. Additional cost for the hoisting of materials to above-grade floors if traditional elevators are not available and/or the fees associated with the oversight of a dedicated lift operator.
17. Floor protection, post-installation traffic control.
18. Cost of bonds, permits or fees.
19. Liquidated damages.
20. Waiver of subrogation.

PLEASE SEE PRICING ON FINAL PAGE

**PROJECT CONDITIONS and SCOPE REQUIREMENTS: (To be made part of the Contract Documents)**

1. Pricing is based on **normal business hours, Monday - Friday, 8 hour shifts.**
2. All material to be installed concurrently (unless indicated otherwise on B.T. Mancini approved phasing plan.) to maintain listed pricing.
3. G. C. or Owner is responsible for all environmental conditions, including heat, lighting at no additional cost to B.T. Mancini Co., Inc.
4. Acceptable moisture emission test results are required prior to installation of flooring.
5. Pricing includes all applicable tax and freight.
6. **Pricing is valid for 30 days.**
7. Extra work is quoted as an "ADD" to this subcontract to be done during work duration. After our work is complete, these quoted prices may increase.
8. Area of installation must be a minimum of 65 degrees F; building completely constructed with doors, windows, heating and HVAC fully operational.
9. Area of installation will require free and clear access to construction areas.
10. B.T. Mancini will not honor any back charges, unless notified in writing at the time of occurrence and given the opportunity to verify and/or correct the issue within 48 hours.
11. B.T. Mancini Co., Inc. will not be responsible for any delays in obtaining special items, which are beyond our control.
12. B.T. Mancini Co., Inc. will not be responsible for any damage to finished or unfinished materials caused by other trades.
13. Prices based on material being fabricated and installed at one time.

**INSURANCE QUALIFICATIONS, DESCRIPTIONS and KEYNOTES: (To be made part of the Contract Documents)**

1. Upon award, all project and/or contractor specific insurance requirements will be reviewed by BTM prior to acceptance. If requested by the insurance documents, BTM will name the Contractor and the Owner as additionally insured. However, all other agents not contracted by BTM, such as the Architect/Engineer and other consultants, are excluded and will not be named as additionally insured. Coverage outlined will only be provided on forms CG 20 10 04/13 and CG 20 37 04/13, all other forms are excluded.
2. When any WRAP Program is implemented on a project, B.T. Mancini Co., Inc. will only provide Additionally Insured and Completed Operations Coverage for offsite operations.

**INDEMNIFICATION QUALIFICATIONS: (To be made part of the Contract Documents)**

1. B.T. Mancini Co., Inc. shall defend, indemnify and hold harmless the Contractor and Owner from any damages, only to the extent such damages were caused by any negligent act or omission of B.T. Mancini Co., Inc.
2. B.T. Mancini Co., Inc. will not defend, indemnify or hold harmless any other person or entity. This provision supersedes any other indemnity provision.

**ADDITIONAL QUALIFICATIONS: (To be made part of the Contract Documents)**

1. If as a direct or indirect result of any virus, disease, contagion, including but not limited to COVID-19 (individually or collectively, "Epidemic"), B.T. Mancini Company's work is delayed, disrupted, suspended, or otherwise impacted, including, but limited to, by (1) disruptions to material and/or equipment supply; (2) illness of B.T. Mancini Company's workforce and/or unavailability of labor; (3) government quarantines, shelter-in-place orders; closures, or other mandates, restrictions, and/or directives; (4) Owner or Contractor restrictions and/or directives; and/or (5) fulfillment of B.T. Mancini Company's contractual or legal health and safety obligations associated with an Epidemic; then B.T. Mancini Company, Inc. shall be entitled to an equitable adjustment to the Subcontract schedule and duration to account for such disruptions, suspensions, and impacts. To the extent any of the causes identified herein results in an increase in the price of labor, materials, or equipment used in the performance of this Subcontract, or other costs of performance of the Subcontract, B.T. Mancini Company, Inc. shall be entitled to an equitable adjustment to the Subcontract price for such increases, provided B.T. Mancini Company, Inc. presents documentation of such increases (including the original prices and/or estimates) and evidence of B.T. Mancini Company's reasonable efforts to find alternative sources of material or equipment supply and/or labor at the original/non-impacted prices and/or estimates.

**PAYMENT TERMS:**

Payment to Seller is express obligation of Buyer and is not dependent upon "the condition precedent" of buyer receiving funds from other sources. Seller to be paid according to the following schedule:

1. B.T. Mancini Co., Inc. will order materials to meet your schedule. We will bill for these materials when delivered to our warehouse or the job site as arranged. We shall expect payment for the materials to be paid by the tenth of the month following your receipt of our invoice.
2. If we perform installation work, we shall expect to be paid a minimum of 95% of our invoice for installation by the tenth of the month following your receipt of our invoice.
3. Any retention that you may have withheld shall be paid not later than thirty days following the completion of the work.

**SPECIAL PROVISIONS:**

Should a dispute arise over the provisions of the subcontract, change order, delays, or any other matters, and litigation or arbitration ensue, the prevailing party will be entitled to reasonable attorney's fees and costs.

**GENERAL CONDITIONS TO AGREEMENT:**

1. **Definitions** – The word "Seller" as used herein means B.T. Mancini Co., Inc. and the word "Buyer" means the purchaser of material and services ("Work") hereunder from the Seller for the specific project referenced herein.
2. **Incorporation** – Buyer agrees that these General Conditions are a material part of the agreement between Buyer and Seller for the Work ("Agreement"), will be and hereby are incorporated into any further expression of that Agreement, and when in conflict with any other written terms and conditions governing Seller's performance of the Work, shall take precedence thereover.
3. **Prompt Performance** – Seller shall make reasonable efforts to perform the Work promptly in accordance with the terms of this Agreement, but shall not be liable for delay or schedule impacts arising from strikes, lockouts, fire, earthquake, war, governmental acts, Acts of God, or other events beyond Seller's reasonable control, whether affecting the production, loading, transportation, delivery, or installation of the Work.
4. **Warranty** – Seller warrants that the Work will be of good quality and new unless the Agreement requires or permits otherwise. For one (1) year from the date of substantial completion of the Work, Seller will at its sole discretion repair or replace any non-conforming Work under this warranty. Seller's warranty excludes remedy for damage or defect caused by abuse, alterations not executed by Seller, improper or insufficient maintenance, improper operation, normal wear and tear, and normal usage. Seller makes no other warranty, express or implied, regarding the Work, including the suitability thereof for any specific project. After substantial completion, Buyer's rights under this warranty are its sole and exclusive remedy against Seller for non-conforming Work.
5. **Delay** – In the event the Work is stopped or delayed for any cause beyond the reasonable control and not the fault of Seller, then Seller shall in addition to any remedies otherwise available, be entitled to an equitable adjustment to both the time and cost of performing the Work, and may, if such stoppage or delay continues for thirty (30) days, terminate this Agreement and be paid for all Work performed. Stoppage or delay shall be presumed not to be the fault of Seller unless proved otherwise.

6. **Indemnification** – To the fullest extent of Seller’s own negligence, Seller agrees to indemnify Buyer against damages arising out of Seller’s performance of the Work and resulting in bodily injury or property damage other than to the Work itself.
7. **Dispute Resolution** – In any legal proceeding related to this Agreement, and in addition to any costs otherwise recoverable, the prevailing party shall be entitled to its reasonable attorneys’, experts’, and consulting fees. Venue for any dispute shall lie in the county where the Work is to be performed or in Santa Clara County. This Agreement shall be governed by California law without regard to its choice of law provisions.
8. **Claims** – Claims by Buyer for shortages or for improper, defective or damaged material must be made in writing specifying in detail the nature and extent of the shortage, defect or damage within five (5) days of delivery, and accompanied by the original freight bill with a notation on the face thereof by local agent of the carrier as to the items and quantity short or damaged. Risk of damage shall be on Buyer when materials are delivered to a common carrier F.O.B. shipping point. Title to material shall remain with Seller until payment in full is made by Buyer.
9. **Limitation on Claims** – Any claim by Buyer, whether for breach of contract, tort, property damage, or personal injury must be made in writing within one (1) year of substantial completion of the Work, or such claim shall be deemed forever waived. Buyer and Seller hereby waive any claim against each other for consequential, special, exemplary, or other indirect damages.
10. **Protection and Security** – Buyer shall take reasonable steps to protect the Work installed and/or stored at the job site from damage, vandalism and theft, and shall provide, as appropriate, security guards and secure storage areas. Once accepted, damaged or stolen materials shall be Buyer’s responsibility.
11. **Assignment** – Buyer shall not assign its rights or obligations under this Agreement, in whole or in part, without Seller’s written consent.
12. **Bankruptcy** – In the event Buyer is adjudicated bankrupt, files a voluntary petition in bankruptcy, makes an assignment for the benefit of creditors, or applies for or consents to the appointment of a trustee or receiver over a substantial part of the Buyer’s property, Seller shall have the right to terminate the Agreement, and in addition to any other remedies, collect for all Work performed.
13. **Payment** – Buyer shall pay Seller according to the following schedule for the Work:
  - (a) For materials delivered, the cost of those materials to Buyer shall be paid by the 10th day of the month following delivery.
  - (b) For installation, not less than 90% of the cost to Buyer performed in any month shall be paid by the 10th day of the following month.
  - (c) Retention shall be paid within thirty (30) days of the completion and acceptance of Seller’s Work. The benefit of any reduction of the retention under any agreement between Buyer and its customer (for example, from 10% to 5%), will be passed proportionally on to Seller.
  - (d) Buyer shall not make any payment to Seller in the form of a joint check, or any other type of payment other than payment solely in the name of Seller, unless agreed to by the Seller in writing. Buyer’s payment shall constitute acceptance of the Work. Any sums not paid when due shall bear interest at the rate of 1 1/2 % per month, annual percent rate 18%, until paid, provided that if such rate of late charge is not permitted by law, the highest legal rate shall be charged. In the event payment is not made as provided herein, Seller shall have the right to withhold further Work until paid, or upon five (5) days’ written notice to Buyer, to terminate this Agreement and seek damages.
14. **Job Conditions** – Unless otherwise stated herein, the working surfaces and job conditions shall be ready to receive Seller’s Work upon issuance of Buyer’s notice to proceed. Seller is entitled to rely on Buyer’s notice as representation that Buyer has carefully inspected and approved the work performed by others that it is to receive, align, abut, adjoin, accept, or similarly relate to Seller’s Work.
15. **Penalties and Back charges** – No back charges, penalties, liquidated damages or other deductions against the price set forth herein may be withheld from Seller unless (1) Buyer notifies Seller in writing of the basis for such charge no later than thirty (30) days after the cause for such charge is established; (2) Buyer is first provided sufficient opportunity to cure or correct any claimed defect or default in its Work; and (3) in no event will Seller be charged after payment would otherwise be due Seller per paragraph 13 hereof. Buyer’s failure to strictly comply with these conditions shall constitute a waiver by Buyer of any such charge against Seller.
16. **Extra Work** – Prior to making any change in the Work, including the time for storage, delivery, or installation thereof, Buyer will provide Seller with a written change order. Unless expressly agreed otherwise, Seller will be paid for any change in the Work on the basis of its actual costs, including taxes and insurance, plus 15% overhead and 10% profit thereon. Seller is not obligated to perform any changes to the Work until it receives a written change order or written directive from the Seller agreeing to the price for and/or any time extension required by the change.
17. **Bonds** – Unless specifically included, the cost of any required surety bonds shall be paid for by Buyer.
18. **Escalation** – Seller’s price is based on completion of the Work in accordance with the project schedule provided to Seller prior to this Agreement or as otherwise described herein. In the event commencement of the project or the Work is delayed through no fault of the Seller, prices for the Work shall be equitably adjusted by any actual cost increases incurred by and not reasonably avoidable by Seller.
19. **Contract and Credit Acceptance** – All agreements are subject to approval by Seller’s authorized employee(s). Acceptance of this Agreement by Seller and continued performance of Work shall at all times be subject to Buyer’s creditworthiness, and Seller reserves the right to require full or partial payment in advance if Buyer’s financial condition creates a reasonable concern that Buyer cannot meet its financial obligations to Seller.
20. **Material Approval** – Samples or other submittals furnished by Seller, when reviewed without any noted objection or exception by Buyer, Buyer’s customer, or any agent, architect, or engineer thereof, shall be deemed the correct interpretation of the Work to be furnished.
21. **Inspection and Acceptance** – Upon completion, Buyer shall promptly inspect Seller’s Work and notify Seller in writing of the basis for any rejection, default, or deficiency. Buyer’s failure to timely inspect or reject Seller’s Work within ten (10) days after completion of Seller’s Work, shall constitute Buyer’s complete and final acceptance of the Work.
22. **Labor Rates and Working Conditions** – Seller’s price is based on working full-time and continuously without interruption on normal work days at straight time hourly rates prevailing in the area where the Work is to be performed. If Buyer requests overtime, off-hours Work, or multiple mobilizations, the price shall be equitably adjusted to cover Seller’s additional costs, including any increase in wages, taxes, insurance, set-up, or travel costs, plus overhead at 15% and profit at 10% thereon.

**CONTRACTORS ARE REQUIRED BY LAW TO BE LICENSED AND REGULATED BY THE CONTRACTORS’ STATE LICENSE BOARD.  
 ANY QUESTIONS CONCERNING A CONTRACTOR MAY BE REFERRED TO THE REGISTRAR OF THE BOARD WHOSE ADDRESS  
 IS: CONTRACTORS’ STATE LICENSE BOARD, 9821 BUSINESS PARK DRIVE, SACRAMENTO, CALIFORNIA 95827 OR  
 222.cslb.ca.gov.**



**MAJOR AND NORMAL FLOOR PREPARATION:**

**Major Preparation:**

The following is what BT Mancini Co., Inc. considers Major Floor preparation. If the general contractor/owner would like BT Mancini Co. Inc. address any of the following items, it will be performed on a "Time & Materials" basis. The hourly rate will be as stated on our schedule of time and material costs which will be returned with the executed contract.

**Major Preparation is:**

1. The clean-up or moving of other trade's materials that are left on, spilled on, dropped on, sprayed on, etc... the floor.
2. The clean-up of mud that is tracked on the floor during construction.
3. **Markings or lines of any kind on slab in Resilient Flooring Areas are not acceptable (this includes but is not limited to: permanent marker, spray paint). The removal of these marks is considered major floor preparation.**
4. **Any** work required to bring the slab to the flatness required in the specifications or by the owner. This includes slab curl at joints and key ways.
5. **Any** work required to create a smooth trowel finish.
6. Remediating fissures and cracks greater than 1/16"
7. Cleaning and filling of saw cuts.
8. On wood floors, the setting of nails so they are below the surface of the wood. The filling and sanding of a poor grade of underlayment. The filling or preparing of divots at nail heads. Also additional nailing. **(Note; Wood Subfloors should have Flooring Grade Subfloor installed to meet Manufacturer's Spec's)**
9. The installation of a cementitious topping over moisture mitigation system administered by others.

**Normal Preparation:**

The following is what BT Mancini Co. Inc. expects to do for normal floor preparation.

**Normal Preparation is:**

1. A final sweep to remove the fine dust that has settled after the general contractor has swept and cleaned the floor just prior to BT Mancini Co. Inc. arriving at the job.
2. The filling of small holes and normal shrinkage and/or expansion cracks in the slab which are less than 1/16".
3. Fill Normal Butt or Keyed construction joints or zip strips.
4. Fill all seams on wood subfloors.

**PLEASE NOTE:** Floor preparation is cosmetic only and should not be considered a structural repair.

**BASE BID Price #1: \$189,577.00**

**Alternate 1: ADDITION to base bid price #1 for Rooms CR36, 37, 41 & 42: \$37,230.00**

**BASE BID Price #2: \$179,045.00**

**Alternate 1: ADDITION to base bid price #2 for Rooms CR36, 37, 41 & 42: \$36,581.00**

Respectfully Submitted,  
Kurt Alameda – 916-601-7434  
kurt.alameda@btmancini.com

**QUOTATION ACCEPTANCE:**

This quotation, unless otherwise noted, will remain in effect for 30 days from the above date. Upon acceptance by the Buyer and credit approval by the B.T. Mancini Co., Inc. this instrument shall constitute a binding contract. In the event the Buyer elects to issue his own purchase order or contract based on this quotation, the conditions contained herein shall be deemed to be incorporated in said purchase order or contract. This proposal expressly limits acceptance to terms of The General Conditions of Sale contained herein. No terms additional or different from The General Conditions will be accepted, including, but not limited to, any terms which establish a "condition precedent" to the Buyer making payment to the Seller other than any "condition precedent" already contained in this proposal. **The undersigned hereby accepts this proposal and states that he has read The General Conditions of Sale attached to this proposal.**

**ACCEPTED:** \_\_\_\_\_

**DATE:** \_\_\_\_\_

**PRINT NAME:** \_\_\_\_\_

**COMPANY:** \_\_\_\_\_